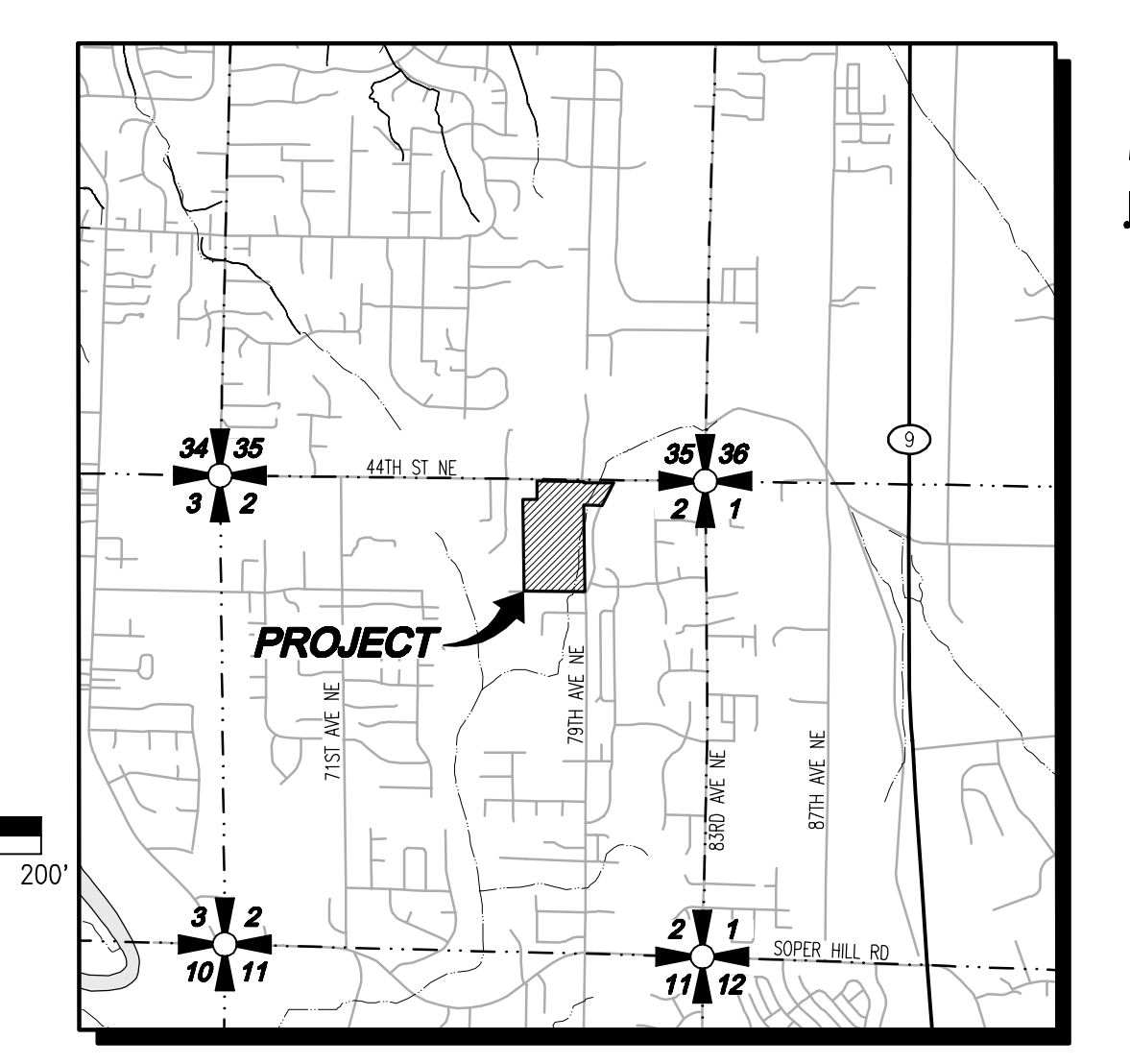
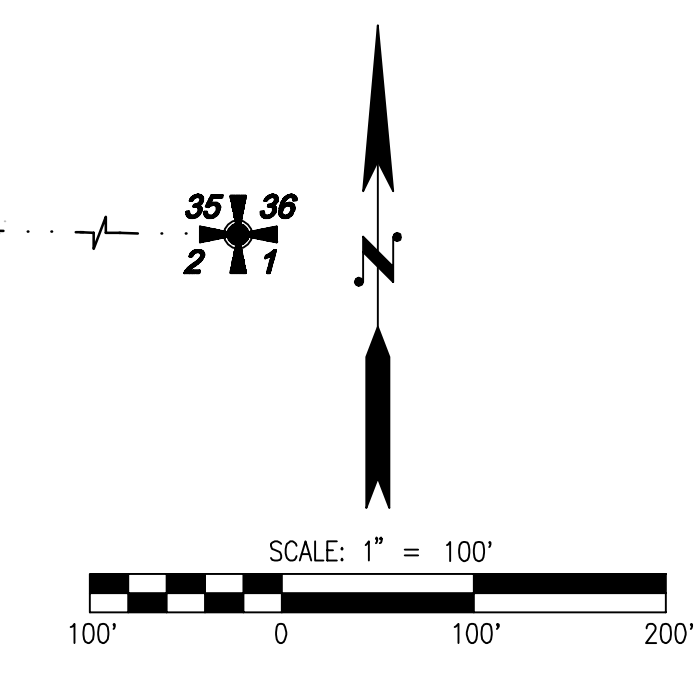
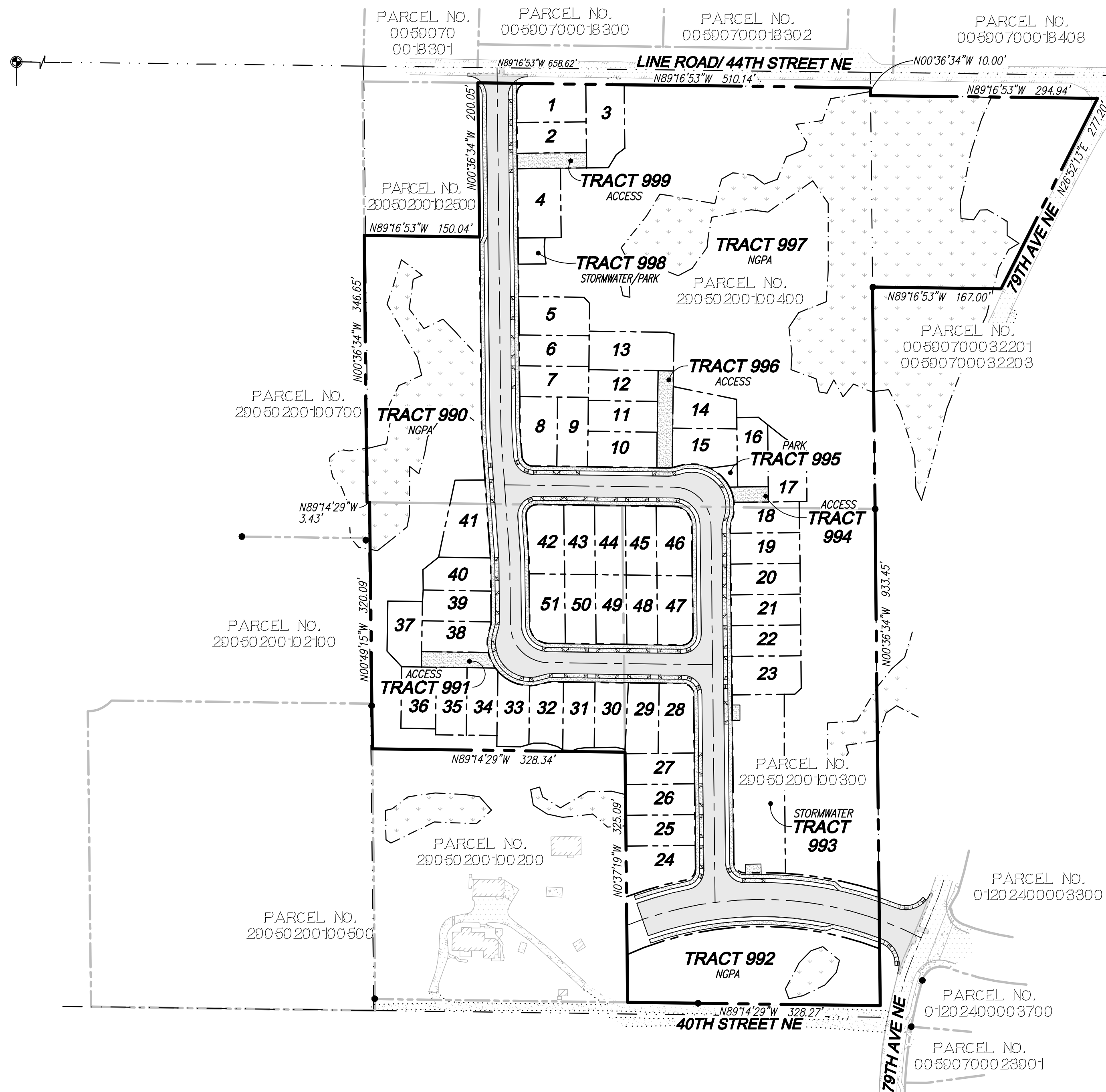


CREEKSIDE PRELIMINARY PLAT

LEGEND AND ABBREVIATIONS

EXISTING SYMBOLS		ABBREVIATIONS	
SYMBOL	DESCRIPTION	AC	ASPHALT CONCRETE
△	CONTROL TRAVERSE POINT	BWF	BARBED WIRE FENCE
●	MONUMENT FOUND	CB	CATCH BASIN
○	FOUND SURVEY PROPERTY MARKER	CL	CENTERLINE
□	CATCH BASIN	CMP	CORRUGATED METAL PIPE
⊙	STORM MANHOLE	CPP	CORRUGATED POLYETHYLENE PIPE
○	CULVERT	CP	CONCRETE PIPE
○	SANITARY SEWER MANHOLE	EL	ELEVATION
○	FIRE HYDRANT	EX	EXISTING
○	TREE CONIFEROUS	E	FLOWLINE
○	TREE DECIDUOUS	FN	FENCE
○	UTILITY POLE	HWF	HOG WIRE FENCE
○	WATER METER	IE	INVERT ELEVATION
○	WATER VALVE	LCPE	LINED CORRUGATED POLYETHYLENE PIPE
○	MAILBOX	O/H	OVERHEAD
○	SIGN POST	P	PROPERTY LINE
○	POWER VAULT	P/P	POWER POLE
○	FIBER OPTIC CABLE MARKER	PVC	POLYVINYL CHLORIDE PIPE
○	WELL	R/W	RIGHT-OF-WAY
○	WELL (APPROXIMATE LOCATION)	STA	STATION
○		SD	STORM DRAIN
○		SDMH	STORM DRAIN MANHOLE
○		SS	SANITARY SEWER
○		SSCO	SANITARY SEWER CLEANOUT
○		SSMH	SANITARY SEWER MANHOLE
○		SWPE	SOLID WALL POLYETHYLENE PIPE
○		TYP	TYPICAL
○		TBR	TO BE REMOVED
PROPOSED STORM SYMBOLS		PROPOSED WATER SYMBOLS	
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
○	SD CAP	○	WATER CAP
○	TYPE 1 CATCH BASIN, GRATED LID	○	CONCRETE BLOCKING
○	TYPE 1 CATCH BASIN, SOLID LID	○	BUTTERFLY VALVE
○	TYPE 2 CATCH BASIN, GRATED LID	○	11" BEND
○	TYPE 2 CATCH BASIN, SOLID LID	○	45° BEND
○	BEEHIVE MANHOLE COVER	○	90° BEND
○	SQUARE YARD DRAIN	○	22° BEND
○	ROUND YARD DRAIN	○	VALVE
○	STORM CLEAN OUT	○	HYDRANT ASSEMBLY
○	STORM PIPE	○	BLOW-OFF VALVE
○		○	REDUCER
○		○	AIR-VAC ASSEMBLY
○		○	WATER METER
○		○	WATER PIPE
PROPOSED SEWER SYMBOLS			
SYMBOL	DESCRIPTION		
○	SEWER CAP		
○	SEWER CLEANOUT		
○	SEWER MANHOLE		
○	SEWER PIPE		



PROJECT INFORMATION
 SITE ADDRESS: 7715 & 7811 40TH ST NE, 7808 44TH ST NE, MARYSVILLE, WA 98270
 TAX PARCELS: 29050200100200, 29050200100300, 29050200100400
 TOTAL SITE AREA: 705,331 SF (16.19 AC)
 EXISTING ZONING: R-6.5
 PROPOSED ZONING: R-6.5
 PROPOSED LAND USE: DETACHED SINGLE FAMILY
 PROPOSED LOTS: 51
 MINIMUM LOT AREA: 3,500 SF
 MAX IMPERVIOUS COVERAGE: 70% PER LOT
 WATER: CITY OF MARYSVILLE
 SEWER: CITY OF MARYSVILLE
 POWER: SNOHOMISH COUNTY PUD
 GAS: PUGET SOUND ENERGY
 TELEPHONE: FRONTIER
 CABLE: COMCAST
 SCHOOL DISTRICT: LAKEWOOD SCHOOL DISTRICT NO. 4
 FIRE DISTRICT: MARYSVILLE FIRE DISTRICT RFA
 BUILDING SETBACKS:
 FRONT: 5 FEET
 REAR: 10 FEET
 SIDE: 5 FEET
 PARKING REQUIREMENTS:
 PARKING REQUIRED: 2 PER DU=102 STALLS
 204 STALLS
 PARKING PROVIDED: (2 IN GARAGE, 2 IN DRIVEWAY PER LOT)

EARTHWORK QUANTITIES

CUT: 10,000 CY
 FILL: 10,000 CY
 NET: 0 CY
 DISTURBED AREA: 346,363 SF (7.95 AC)
 *EARTHWORK QUANTITIES ARE FOR PERMITTING PURPOSES ONLY

NET AREA: R-6.5 ZONING (PER MMC 22A.020.150)

	AC (unless otherwise noted)	SF (unless otherwise noted)
GROSS PARCEL AREA	16.19	705,331
DEDUCTION FOR ROADS, PANHANDLES, AND ACCESS EASEMENTS	2.71	118,048
NON-TRANSFERRED CRITICAL AREAS	5.98	260,489
TOTAL REMOVAL FOR NPA	8.69	378,536
NET PROJECT AREA (NPA)	7.5	326,700
MAXIMUM BASE DENSITY (NPA X 6.5 DU/AC)	49 LOTS	

PROJECT ZONING DENSITY CALCULATIONS

	DU (UNLESS OTHERWISE NOTED)	SF (UNLESS OTHERWISE NOTED)
GROSS PROJECT SITE AREA (AC)	16.19	705,331
NET PROJECT AREA (NPA) (AC)	7.5	326,700
BASE NET DENSITY	49 LOTS	
MAX DENSITY (WITH PRD BONUS DENSITY) = 120% X BASE DENSITY	59 LOTS	
DWELLING UNITS PROPOSED	51 LOTS	
BONUS DENSITY REQUIRED	2	
RDI 3.a: COMMUNITY FUNDS	\$50,000 PROPOSED	2 BONUS UNITS

TABLE OF CONTENTS

- 1 COVER SHEET
- 2-3 PRELIMINARY PLAT

CONTACT LIST

APPLICANT/OWNER:
 HORIZON VIEW HOLDINGS, INC.
 6443 NE 181ST ST
 KENMORE, WA 98028
 CONTACT: DANIEL WICK
 PHONE: (206) 551-0499
 EMAIL: dan@hvhi.com

CIVIL ENGINEER:
 LDC, INC.
 20210 142ND AVE NE
 WOODVILLE, WASHINGTON 98072
 CONTACT: TOM ABBOTT, PE
 PHONE: (425) 806-1869
 FAX: (425) 482-2893
 EMAIL: tabbott@ldcorp.com

SURVEYOR:
 LDC, INC.
 20210 142ND AVE NE
 WOODVILLE, WASHINGTON 98072
 CONTACT: VINCE TOWNSEND, PLS
 PHONE: (425) 806-1869
 FAX: (425) 482-2893
 EMAIL: vtownsend@ldcorp.com

GEOTECH ENGINEER:
 NELSON GEOTECHNICAL ASSOCIATES, INC.
 17311 135TH AVE NE SUITE A-500
 WOODVILLE, WA 98072
 CONTACT: ALEX B. RINALDI, LG
 PHONE: (425) 486-1669
 EMAIL: alex@nelsongeotech.com

WETLAND BIOLOGIST:
 SOUNDVIEW CONSULTANTS, LLC
 2907 HARBORVIEW DRIVE
 GIG HARBOR, WA 98355
 CONTACT: JON PICKETT
 PHONE: (253) 514-8952
 EMAIL: jon@sounviewconsultants.com

UTILITY NOTE

THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. AGENCIES INVOLVED SHALL BE NOTIFIED WITHIN A REASONABLE TIME PRIOR TO THE START OF CONSTRUCTION.

DISCLAIMER

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 Utilities Underground Location Center

HORIZON VIEW HOLDINGS, INC.
CREEKSIDE
 COVER SHEET

LDC
 Surveying
 Engineering
 Planning
 Olympia
 Woodville
 20210 142nd Avenue NE
 Woodville, WA 98072
 www.LDCcorp.com
 T 425.806.1869 F 425.482.2893

NO. DATE DESCRIPTION

JOB NUMBER: C22-173
 DRAWING NAME: C22173PP-CS-PL
 DESIGNER: TPA
 DRAFTING BY: DAD
 DATE: _____
 SCALE: 1"=100'
 JURISDICTION: MARYSVILLE

PP-01
 SHEET 1 OF 3

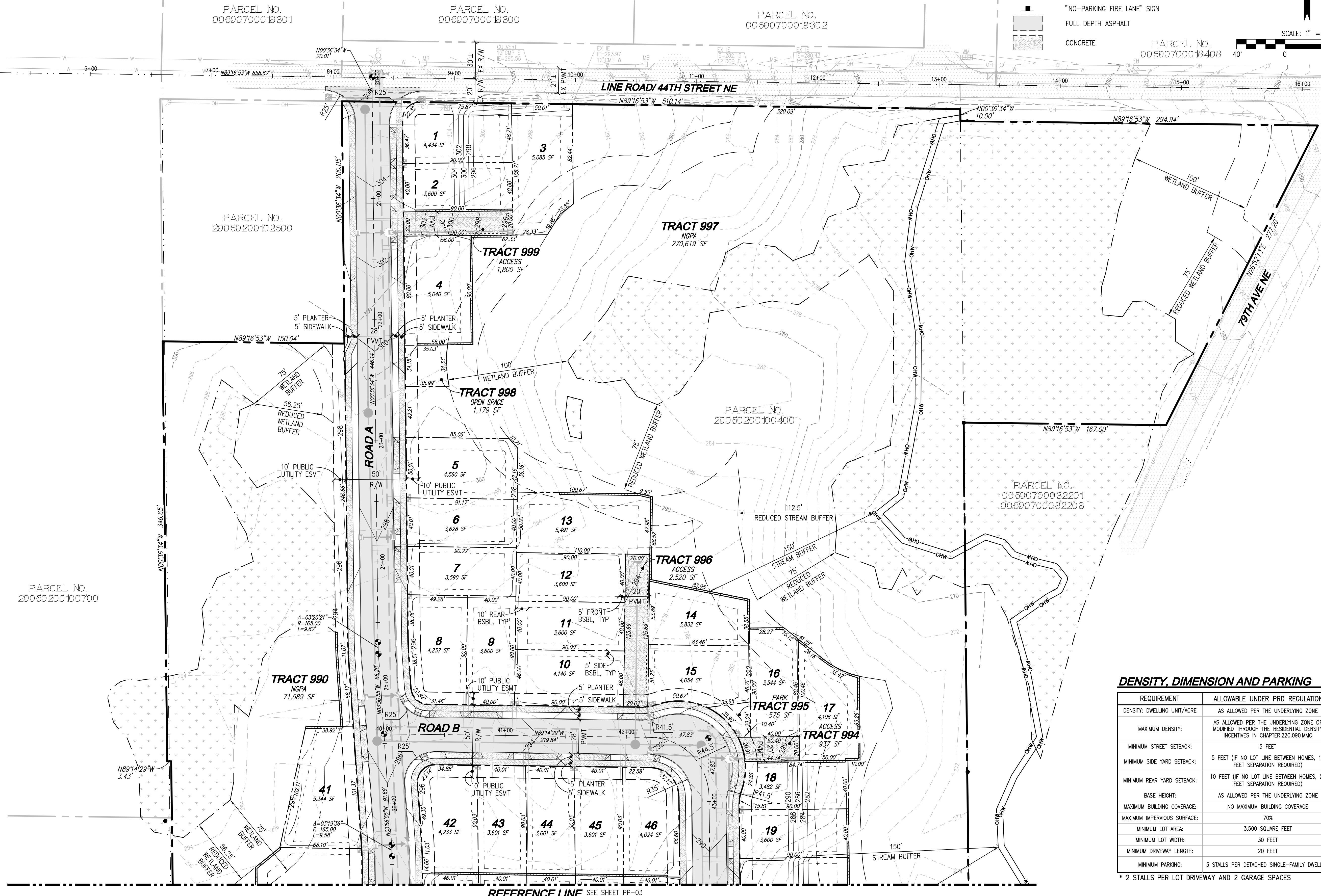
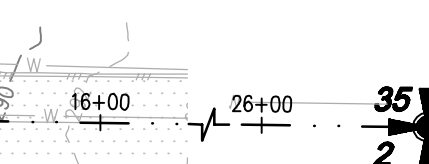
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PORTION OF THE NE, SEC 2, TWN 29 N, RGE 5 E, W.M., MARYSVILLE, WASHINGTON

LEGEND

- STORM PIPE
- SEWER PIPE
- WATER PIPE
- DRAIN LINE
- PRIVACY FENCE
- RETAINING WALL
- "NO-PARKING FIRE LANE" SIGN
- FULL DEPTH ASPHALT
- CONCRETE

SCALE: 1" = 40'



DENSITY, DIMENSION AND PARKING

REQUIREMENT	ALLOWABLE UNDER PRD REGULATION	PROPOSED
DENSITY: DWELLING UNIT/ACRE	AS ALLOWED PER THE UNDERLYING ZONE	6.5 DU/AC
MAXIMUM DENSITY:	AS ALLOWED PER THE UNDERLYING ZONE OR MODIFIED THROUGH THE RESIDENTIAL DENSITY INCENTIVES IN CHAPTER 22C.090 MMC	11.38 DU/AC
MINIMUM STREET SETBACK:	5 FEET	5 FEET
MINIMUM SIDE YARD SETBACK:	5 FEET (IF NO LOT LINE BETWEEN HOMES, 10 FEET SEPARATION REQUIRED)	5 FEET
MINIMUM REAR YARD SETBACK:	10 FEET (IF NO LOT LINE BETWEEN HOMES, 20 FEET SEPARATION REQUIRED)	10 FEET
BASE HEIGHT:	AS ALLOWED PER THE UNDERLYING ZONE	30 FEET MAX
MAXIMUM BUILDING COVERAGE:	NO MAXIMUM BUILDING COVERAGE	NONE
MAXIMUM IMPERVIOUS SURFACE:	70%	70%
MINIMUM LOT AREA:	3,500 SQUARE FEET	3,462 SF
MINIMUM LOT WIDTH:	30 FEET	40 FEET
MINIMUM DRIVEWAY LENGTH:	20 FEET	20 FEET
MINIMUM PARKING:	3 STALLS PER DETACHED SINGLE-FAMILY DWELLING	204 TOTAL*

* 2 STALLS PER LOT DRIVEWAY AND 2 GARAGE SPACES

UTILITY NOTE

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NO.	DATE	DESCRIPTION

LDC | Surveying
Engineering
Planning

Kent
Woodinville
20210 142nd Avenue NE
Woodinville, WA 98072
www.LDCorp.com

Olympia
F 425.482.2893

HORIZON VIEW HOLDINGS, INC.
CREEKSIDE
PRELIMINARY PLAT

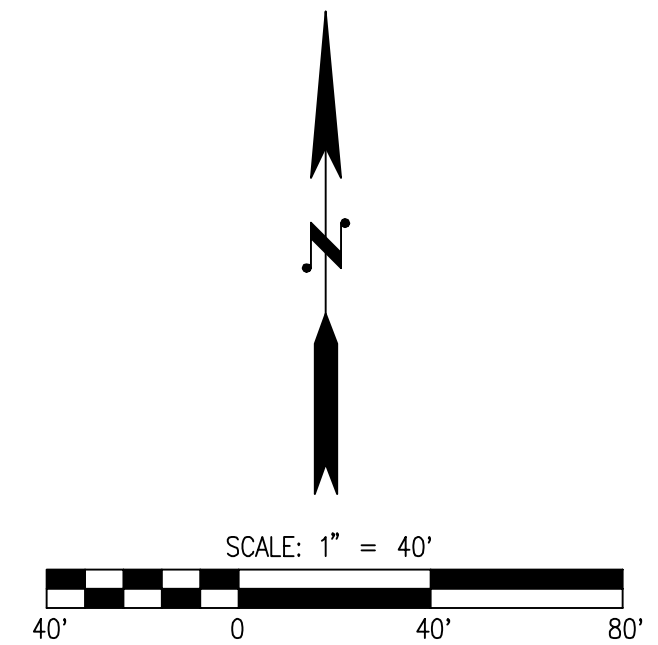


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DRAWING NAME: C22173PP-PP-PL
DESIGNER: TPA
DRAFTING BY: DAD
DATE: 1"=40"
SCALE: MARYSVILLE

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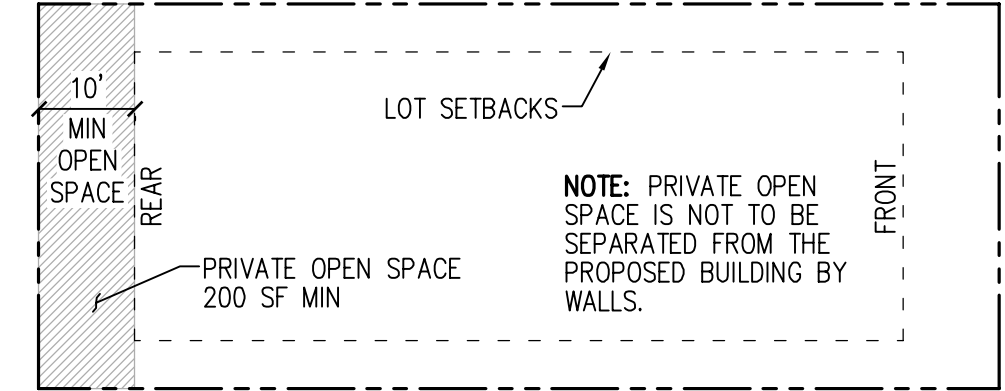
PORTION OF THE NE, SEC 2, TWN 29 N, RGE 5 E, W.M., MARYSVILLE, WASHINGTON

REFERENCE LINE SEE SHEET PP-02



LEGEND

- STORM PIPE
- SEWER PIPE
- WATER PIPE
- DRAIN LINE
- PRIVACY FENCE
- RETAINING WALL
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- FULL DEPTH ASPHALT
- CONCRETE



TYPICAL PRIVATE OPEN SPACE DETAIL
SCALE: 1"=20'

OPEN SPACE CALCULATIONS

	AC (UNLESS OTHERWISE NOTED)	SF (UNLESS OTHERWISE NOTED)
GROSS PROJECT SITE AREA	16.19	705,331
NET PROJECT AREA (NPA)	7.5	326,700
REQ. OPEN SPACE (15% NPA)	1.13	49,005
REQ. ACTIVE OPEN SPACE (35% TOTAL REQUIRED OPEN SPACE)	0.4	17,152
PROVIDED ACTIVE OPEN SPACE (TRACT 993, 995, AND 998)	0.4	17,235
PROVIDED PASSIVE OPEN SPACE (TRACT 990, 992, AND 997)	0.73	31,770
TOTAL PROVIDED OPEN SPACE	1.13	49,005

PROJECT ZONING DENSITY CALCULATIONS

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CREEKSIDE
PRELIMINARY PLAT

LDC
Surveying
Engineering
Planning

THOMAS P. ABBOTT
PROFESSIONAL ENGINEER

JOB NUMBER: C22-173
DRAWING NAME: C22173PP-PP-PL
DESIGNER: TPA
DRAFTING BY: DAD
DATE:
SCALE: 1"=40'
JURISDICTION: MARYSVILLE

PP-03
SHEET 3 OF 3

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