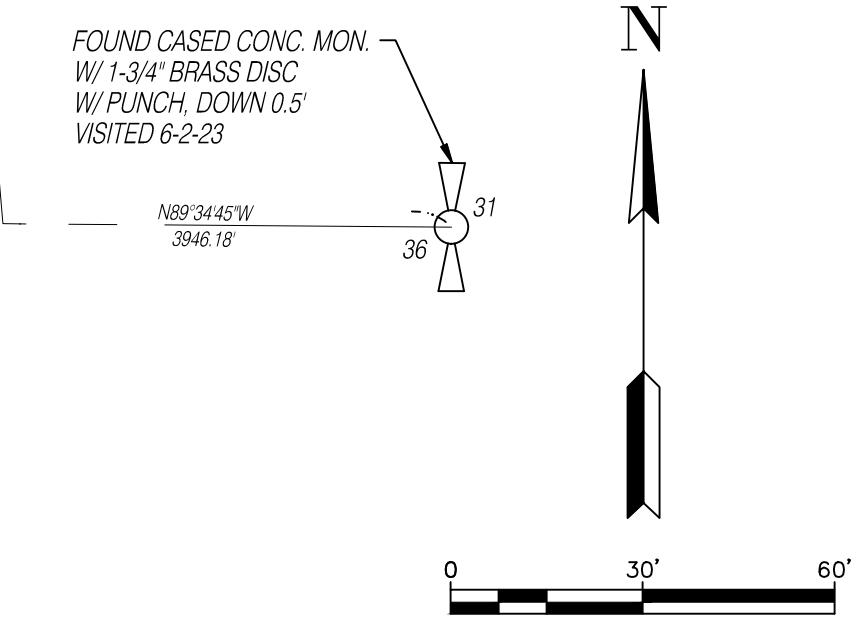
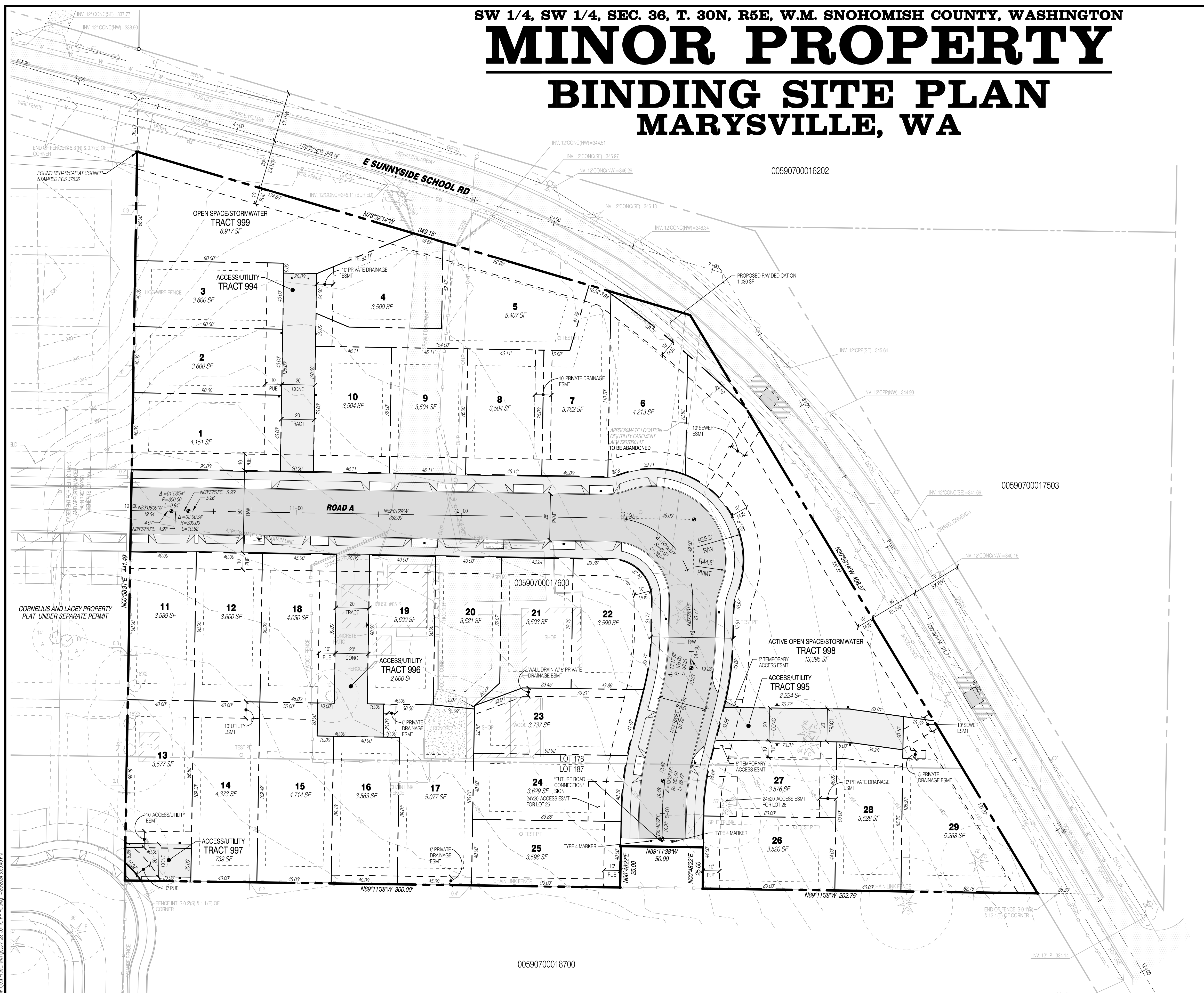


MINOR PROPERTY BINDING SITE PLAN

MARYSVILLE, WA



LEGEND

SYMBOLS	DESCRIPTION
(Symbol: Small circle with dot)	REMOVABLE BOLLARD
(Symbol: Small square with dot)	"FIRE LANE NO PARKING" SIGN
(Symbol: Dashed line)	LOCK n LOAD RETAINING WALL (UNLESS OTHERWISE NOTED)
(Symbol: Solid line)	ASPHALT PAVEMENT
(Symbol: Dotted line)	ASPHALT GRIND AND OVERLAY
(Symbol: Horizontal lines)	CONCRETE PAVEMENT
(Symbol: Wavy line)	STORM MAIN PIPE
(Symbol: Square with dot)	PROPOSED MONUMENT

PROJECT INFORMATION

TAX PARCELS:	00590700017600, 00590700018700, 00590700018203
SITE ADDRESS:	8512 E. SUNNYSIDE SCHOOL RD
SITE AREA:	169001 SF 3.88 AC
PROPOSED ZONING:	WR R-6-18
PROPOSED LAND USE:	DETACHED SINGLE FAMILY HOMES
FUTURE LAND USE:	URBAN LOW RESIDENTIAL
(PER COMP PLAN)	
PROPOSED LOTS:	29 LOTS
BUILDING SETBACKS:	29 GARAGE 5 SIDE / 11' WHEN ADJACENT TO RW 10 REAR CITY OF MARYSVILLE CITY OF MARYSVILLE SNOHOMISH COUNTY PUD CASCADE NATURAL GAS FRONTIER COMCAST LAKE STEVENS SCHOOL DISTRICT NO. 5 MARYSVILLE FIRE DISTRICT RFA
WATER:	
SEWER:	
POWER:	
GAS:	
TELEPHONE:	
CABLE:	
SCHOOL DISTRICT:	
FIRE DISTRICT:	

DENSITY CALCULATIONS

ZONE (DENSITY):	WR R-6-18
GROSS AREA:	169,001 SF (3.88 AC)
FLAT 20% DEDUCTION:	33,800 SF (0.78 AC)
NET AREA:	135,201 SF (3.10 AC)
BASE DENSITY:	3.10 x 6 = 18.60 = 19 LOTS
MAX DENSITY:	3.10 x 18 = 55.8 = 56 LOTS
LOTS PROPOSED:	29 LOTS

RDI CREDITS PER MMC 22C.090.030
 RDI CREDITS REQUIRED: 10 CREDITS
 RDI CREDITS PROPOSED: 3(A) - COMMUNITY IMAGE AND IDENTITY (\$25,000/CREDIT); \$250,000 = 10.0 CREDITS

OPEN SPACE CALCULATIONS

REQUIRED OPEN SPACE:	15% NET AREA = 15% x 135,201 = 20,280 SF
PROVIDED OPEN SPACE (TRACT 999, 998):	20,312 SF
REQUIRED ACTIVE OPEN SPACE:	35% x OPEN SPACE = 35% x 20,280 = 7,098 SF
PROVIDED ACTIVE OPEN SPACE (TRACT 998):	13,395 SF

SOIL TYPE AND VEGETATIVE COVER

SOILS:	TILL SOILS
VEGETATIVE COVER:	PRIMARILY LAWN

CONTACT LIST

DEVELOPER:	SOUTH LAKE RIDGE, LLC 10515 20th ST SE #202 LAKE STEVENS, WA 98258 CONTACT: RYAN LARSEN PHONE: (360) 631-1820 EMAIL: rlarsen@landprogr.com	CIVIL ENGINEER:	SOLID GROUND ENGINEERING 8105 166th AVE NE REDMOND, WA 98052 CONTACT: TOM ABBOTT, PE PHONE: (206) 281-8324 EMAIL: tabbott@solidgroundpnw.com
GEOTECHNICAL ENGINEER:	TERRA ASSOCIATES, INC 12220 113TH AVE NE #130 KIRKLAND, WA 98034 CONTACT: CAROLYN DECKER, PE PHONE: (425) 821-7777 EMAIL: cdecke@terra-associates.com	LANDSCAPE ARCHITECT:	ORIGIN DESIGN GROUP 1031 185TH AVE NE SNOHOMISH, WA 98290 CONTACT: KRISTAL LOWE PHONE: (425) 346-1905 EMAIL: krystal@origindesigngroup.com

SURVEYOR:
 PACIFIC COAST SURVEYS, INC.
 P.O. BOX 13619
 MILL CREEK, WASHINGTON 98082
 CONTACT: DARREN RIDDLE, PLS
 PHONE: (425) 512-7099
 FAX: (425) 357-3577
 EMAIL: darren@pcsurveys.net

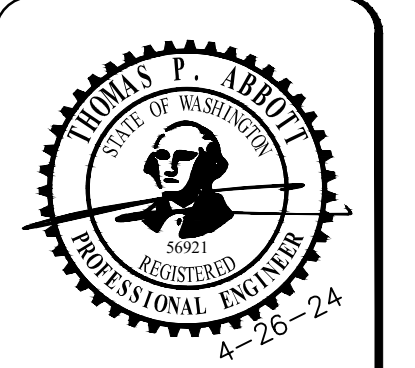


SAFETY IS IN YOUR HANDS.
EVERY DIG. EVERY TIME.

- NOTES**
- UNDERGROUND OF EXISTING UTILITIES ALONG E. SUNNYSIDE SCHOOL ROAD IS REQUIRED.
 - RESIDENTIAL FIRE SPRINKLERS WILL BE REQUIRED ON ALL LOTS.

UTILITY NOTE
 THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. AGENCIES INVOLVED SHALL BE NOTIFIED WITHIN A REASONABLE TIME PRIOR TO THE START OF CONSTRUCTION.

SURVEY DISCLAIMER
 THE TOPOGRAPHIC SURVEY WAS PERFORMED BY PACIFIC COAST SURVEYS. SOLID GROUND ENGINEERING ASSUMES NO LIABILITY AS TO THE ACCURACY AND COMPLETENESS OF THIS DATA. ANY DISCREPANCIES FOUND BETWEEN WHAT IS SHOWN ON THE PLANS AND WHAT IS NOTED IN THE FIELD SHOULD BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ENGINEER.



ENGINEER'S STAMP

REVISIONS

DATE	DESCRIPTION	REVISED PER	1ST CITY COMMENTS
4-28-24			

Solid Ground Engineering
 8105 166th Ave NE
 Redmond, WA 98052

BINDING SITE PLAN

SOUTH LAKE RIDGE, LLC.
MINOR PROPERTY
8512 E. SUNNYSIDE SCHOOL RD

DRAWN BY:	KMV
CHECKED BY:	TPA
DATE:	2-9-24
JURISDICTION:	CITY OF MARYSVILLE
JOB NUMBER:	23-0011

BSP-01
1 OF 1