



COMMUNITY DEVELOPMENT DEPARTMENT
501 Delta Avenue ♦ Marysville, WA 98270 ♦ (360) 363-8000

March 12, 2024

Mr. Ryan Larsen
Land Pro Group, Inc.
10515 20th St SE, STE 116
Woodinville, WA 98258

Re: PA24-003 – Minor PRD – Technical Review 1

Ryan,

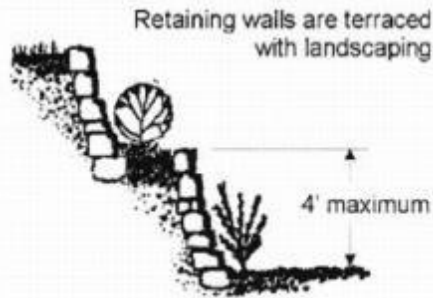
After preliminary review of the above referenced proposal, the Planning Division has the following comments:

1. Include File Number PA24-003 on all future plans and correspondence.
2. Please note this project is subject to the codified standards of the East Sunnyside Whiskey Ridge (ESWR) Design Standards in [MMC 22C.070](#).
3. Please depict all encumbrances noted in the title report that and whether or not they be relinquished on the site plan, including Assessor File Numbers (AFN's). It does not appear AFN 7903290226 or 7905180246 were included on the site plan.
4. Please depict on-site and adjacent property septic systems and water wells.

BINDING SITE PLAN / PLANNED RESIDENTIAL DEVELOPMENT COMMENTS

1. The City will require that this project work closely with the Cornelius Lacey project to the west to ensure continuity and a cohesive design.
2. [MMC 22G.090.560](#) requires that the design and development of subdivisions attempt to preserve the topography of the site by selection and location of buildings which fit the natural slope of the land. Walls proposed strictly to obtain flat lots will not be permitted. Other alternatives (i.e. tuck-under house plans) should be implemented to reduce/eliminate wall height. Please review proposed walls and adjust accordingly.
3. Pursuant to [MMC 22D.050.030](#)(4)(e), if retaining walls taller than four feet are used, and are visible from the street or adjacent property, they shall be terraced so that no individual segment is taller than four feet. Any walls ultimately permitted exceeding 4 feet shall comply with these requirements. Walls between lots 11 and 13, 12 and 14, 18 and 15, and adjacent to lots 6 and 29 shall meet these requirements. Please provide details/sections of the proposed walls.

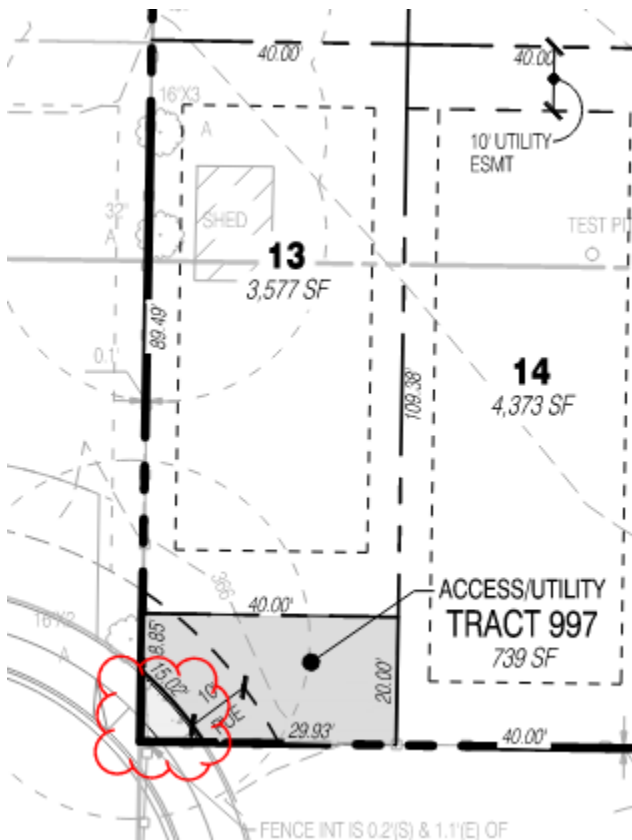
Figure 1. Tall retaining walls must be terraced with landscaping as depicted below.



4. Please identify the Residential Density Incentives (RDI) proposed for 10 bonus lots/units.
5. The following design standards, outlined in the East Sunnyside/Whiskey Ridge Design Standards in [MMC 22C.070](#), apply to the PRD:
 - All residential developments shall be designed to front onto streets. Configurations where dwelling units and/or residential lots back up any street are prohibited except for those lots adjacent to State Route 9. For example, new subdivisions along 83rd Avenue NE could be configured so that lots fronting on the street feature alley access in the rear or other shared driveway access as approved by the City on the side of the lots. Lot configurations where side yards face the street are acceptable.
 - The maximum height of solid (more than 50% opaque) freestanding walls, fences, or hedges in any front yard or other location between the street and the façade shall be 3-1/2 feet unless a taller wall is required, per the Director, to mitigate significant noise and traffic impacts. **This will be applied to all lots adjacent to Road A, as well as lots interior to the project.**
 - The maximum height of any decorative wall or fence which allows visibility (no more than 50% opaque), such as a wrought iron or split rail fences, shall be 6 feet. Such fences shall be set back from the sidewalk at least 3 feet to allow for landscaping elements to soften the view of the fence.
 - In development configurations where side yards abut a street, fences taller than 3-1/2 feet shall be setback at least 5 feet from the sidewalk to allow for landscaping to soften the view of the fence. Provisions for long-term maintenance of this landscaping shall be addressed on the plat. **This will be applied to all lots adjacent to Road A and applicable interior lots (Lot 1, Lot 22, and Lot 26). Landscape plans shall be revised prior to civil construction plan approval.**
 - Developments shall avoid configurations that have uses that back up against a street. Where unavoidable, fences between a street and any use shall be limited to 3-1/2 feet in height.
6. Auto courts shall be constructed with scored concrete, paving blocks, bricks, or other ornamental pavers to clearly indicate that the entire surface is intended for pedestrians as well as vehicles, as outlined in the City of Marysville Design Guidelines and Engineering Design and Development Standard (EDDS) Section 3-219, or as amended. A detail of the surfacing of the auto court will be required to be provided on the civil construction plans and approved by the City Engineer. This applies to Tracts 994, 995, and 996.
7. Building setbacks shall be measured from the edge of the temporary cul-de-sac. Please revise setbacks on lots 23, 24 and 26 accordingly.

7.1. The setback/building envelope on lot 24 shall reflect the access easement for lot 25.

8. Prior to recording the **FINAL BSP** the applicant shall be required to provide **FINAL** restrictive covenants as required by [MMC 22G.080.120](#) and including provisions to address parking enforcement, together with a statement from a private attorney as to the adequacy of the same to fulfill the requirements of the PRD code.
9. All lots less than 5,000 square feet shall comply with the Small lot single family dwelling development standards outlined in [MMC 22C.010.310](#).
10. Language regarding dedication and construction of ROW improvements in Tract 997 (see area clouded below) shall be provided on the plat map.



11. See comments from Brian Merkley, Deputy Fire Marshall, related to sprinkler requirements.

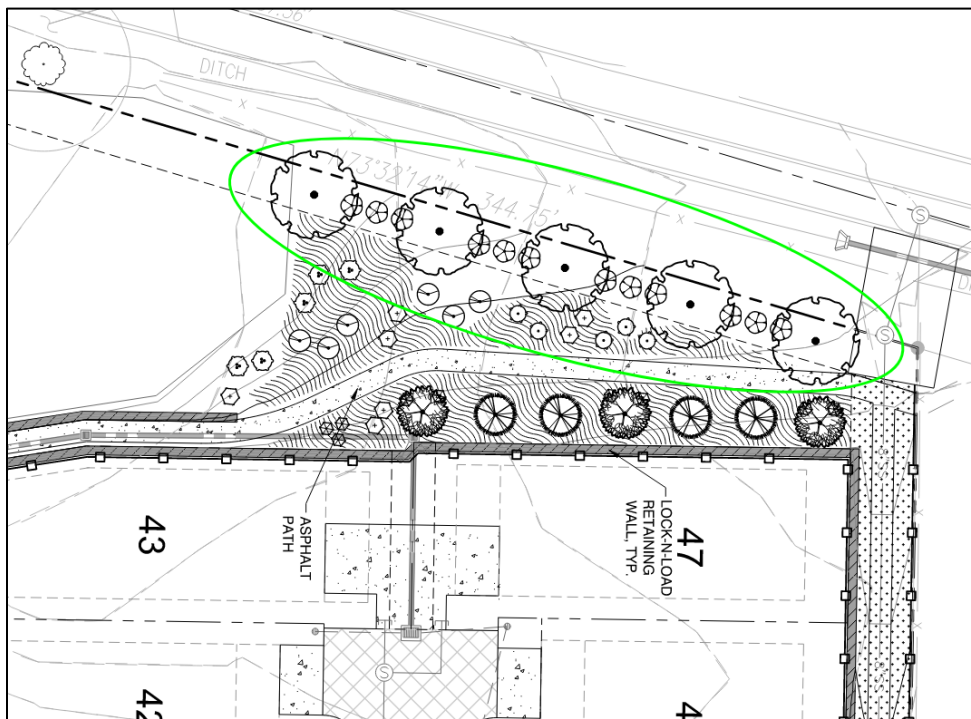
OPEN SPACE COMMENTS

12. Please add an asphalt path in Tract 999 connecting to the path in the Cornelius Lacey project to the west. As currently proposed, a landscape area is blocking the continuation of the path from the adjacent property.

LANDSCAPING COMMENTS

13. A final landscape plan shall be required to be approved, prior to civil construction plan approval, and designed to comply with the applicable provisions outlined in [MMC Chapter 22C.120, Landscaping and Screening](#).
 - 13.1. Open space is required to incorporate perimeter plantings.

- 13.2. Location of precast vault lids need to be shown as well as proposed access to said lids.
- 13.3. Ensure compliance with the fencing/screening standards of [East Sunnyside Whiskey Ridge Design Standards](#).
14. In development configurations where side yards abut a street, fences taller than 3-1/2 feet shall be setback at least 5 feet from the sidewalk to allow for landscaping to soften the view of the fence. Provisions for long-term maintenance of this landscaping shall be addressed on the plat. ***This will be applied to all lots adjacent to Road A and applicable interior lots (Lot 1, Lot 22, and Lot 26). Please indicate fence heights for these lots and add landscaping as required.***
15. Please provide a similar planting plan along the edge of Tract 999 to what is proposed for the Cornelius Lacey Project (circled in green below) to create continuity and a smooth transition.



16. Street tree species on Road A should be consistent with the street tree species on Road C in the Cornelius Lacey project.

CRITICAL AREA REVIEW COMMENTS

17. Staff has reviewed and concurs with the findings in the Critical Area Reconnaissance Report prepared by Wetland Resources, dated January 31, 2024.

Enclosed are copies of comments received from other City departments, and reviewing agencies. Revised application materials must be accompanied with a written response detailing how each of the items outlined above and attached hereto have been addressed, and what sheet the change(s) can be found on.

After you have had an opportunity to review, please let me know what technical review comments you need clarification on, or reach out to a particular staff person. Once received, I can set up a conference meeting with all of the applicable city and agency representatives, if needed. If you have any questions, please do not hesitate to contact me at 360.363.8215, or by e-mail at ahess@marysvillewa.gov.

Sincerely,

Amy Hess

Amy Hess
Senior Planner

ecc: Chris Holland, Planning Manager



MARYSVILLE FIRE DISTRICT
REGIONAL FIRE AUTHORITY
Fire Marshal's Office
1635 Grove St. Marysville, WA 98270 - (360) 363-8500
MFInspectors@MFDRFA.org - www.marysvillefiredistrict.org



To: Amy Hess, Senior Planner
From: Brian Merkley, Deputy Fire Marshal
Date: February 29, 2024
Subject: PA24-003 ~ Minor PRD ~ 8512 E Sunnyside School Rd.

I have completed a review of the plans for this project proposing development of a 4.66-acre site for residential development for a proposed 29-lot single family subdivision. Site borders Cornelius PRD to the west.

Additional comments related to fire code compliance for this project are noted below:

1. GENERAL INFORMATION:

- a. The project shall comply with current fire code requirements (2018 IFC) including WA State and local City of Marysville amendments to the fire code, city design standards, and all applicable NFPA standards, including IFC Chapter 33 and NFPA 241 construction codes.
- b. Fire marshal approval of fire access and fire hydrant/water supply systems is required as part of the civil construction plan review and approval process.

2. WATER RELATED: *No water detail shown on plans.*

- a. **All lots will require residential sprinklers due to single access.**
- b. It is the developer's responsibility to see that adequate water for fire protection is attainable. The minimum required fire flow is determined using IFC Appendix B, and depends upon building sizes, construction types, and sprinkler systems. Proof of fire flow will be required. *No fire flow information provided at this time, must be provided prior to approval of civil plans.*
- c. Documentation/certification of available water supplies for providing the required fire flows is required for final approval of the water system for this project and prior to building construction. Check with the city Public Works Dept. for water system information.
- d. The minimum required fire flow for hydrants protecting SFR dwellings is 1,000 gpm (with 20-psi minimum residual pressure) for dwellings not exceeding 3,600 SF in size.
- e. The minimum required fire flow for dwellings exceeding 3,600 SF is 1,500 gpm.
- f. Fire hydrants shall comply with city Water Design Standard 2-060 Hydrants, including 5" Storz fittings, with blue reflective hydrant markers to be provided in the roadways, located four inches off the centerline on the hydrant side of the road.
- g. Provide water main extensions with hydrants along the new roadways and at all road intersections in approved locations, with maximum spacing of 600 feet apart.
- h. Fire hydrants with approved water supply must be in service prior to building construction.

- i. Fire hydrant coverage shall be provided along all roads and at intersections. “Fire hydrants meeting city specifications shall be installed on all extensions of the city water system at the time such extensions are constructed. All hydrants shall be owned and maintained by the city. The location and frequency of fire hydrants shall be specified by the city utility department and fire department; provided, that fire hydrants in single-family residential zones shall be spaced not more than 600 feet apart” (MMC 14.03.050).
- j. Where residential fire sprinklers may be required the developer should install a water service per Standard Plan 2-090-001 Full ¾” x 1” Meter Service. Under this plan a 1” tap is made at the water main and 1” piping is run to the 1” meter setter. If in the end a ¾” water meter will suffice then all that is required is to install two reducer bushings with the ¾” water meter. A single service tap should be used where sprinklers are required, not a double service installation.

3. **ACCESS RELATED:**

- a. Turnaround provision is required for dead-end access in excess of 150 feet long. Turnarounds shall comply with city standard plans. (MMC 9.04.503.2.5). ***Tract 996 will require an approved turn-around, Appendix C in Land use narrative reflects this addition.***
- b. An adequate access route for fire apparatus must be in service prior to any building construction.
- c. Access for firefighting operations along all sides of all buildings is required. A minimum 5’ wide access is required for SF dwellings. All parts of building exteriors should be accessible for firefighting by an approved route around the building, and be within 150 feet of a minimum 20’ wide fire apparatus access.
- d. A minimum 26 feet wide aerial fire apparatus access is required in the immediate vicinity of any building more than 30 feet in height for ladder truck operations, and within 20 feet on both sides of fire hydrants.
- e. **“NO PARKING - FIRE LANE”** signs are required on both sides of all roads that are 26 feet wide or less. The signage shall be identified on the approved Civil Plans. (MMC 9.04.101, 2018 IFC Appendix D103.6.1)
- f. The city address committee will determine road names and address numbers for the lots.



MARYSVILLE
WASHINGTON

PUBLIC WORKS DEPARTMENT
501 Delta Ave. ♦ Marysville, WA 98270
(360) 363-8100 ♦ (360) 651-5099 FAX

MEMORANDUM

To: Amy Hess, Senior Planner

From: Shane Whitney, Civil Plan Reviewer

RE: Minor PRD, File# PA24-003
29 Lot Subdivision
8512 E Sunnyside Blvd & Parcel # 00590700017600

Date: 3/11/2024

The following comments are offered after review of the above referenced application.

1. **Existing utilities:**

- a. There are no record drawings for sewer or storm that front the property.
- b. Water: The waterline within E Sunnyside Blvd is shown on record drawing WE-61.

2. Per MMC 14.03.250, utilities are to be extended along the street frontages of the proposed project. The project will need to extend utilities within the new City roadway. We may need to tap into the water main within E Sunnyside Blvd for water looping purposes.

3. **Frontage Improvements:** Frontage improvements are required per MMC 12.02A.090 on all projects. Frontage improvements are described as curbs, gutters, and sidewalks; underground storm drainage facilities; patching the street from its preexisting edge to the new curb line; and overlayment of the existing public street to its centerline. Any requirements for improvements along E Sunnyside Blvd will be provided by the Traffic Engineer.

4. **Dedication Requirements:**

- a. The internal roadway will need to dedicate a 50 foot right-of-way, as is currently shown.
- b. Should right-of-way need to be dedicated on E Sunnyside Blvd, that also will tie in with comments from the Traffic Engineer.

5. **Access:**

- a. No access shall be given to E Sunnyside Blvd, none is shown.
- b. The minimum width of a residential driveway is 12-feet and the maximum is 26-feet. Curb cuts shall be limited to a 20 foot maximum.
- c. The new roads shall be constructed to SP 3-202-002.

- d. Auto courts are permitted in a PRD. The auto court is to be built per the private road profile, SP 3-202-004, with decorative concrete or stamped asphalt.
6. **Drainage:** All projects in the city of Marysville must comply with requirements stipulated under the MMC 14.15.040 and 14.15.050.
 - a. Stormwater drainage: The city has adopted the 2019 Ecology Manual, the project as proposed will need to be compliant with minimum requirements 1 – 9. The supplied report demonstrates general compliance with the required standards. The following items will need to be addressed in the civil submittal:
 1. A conveyance analysis will be required for the stormwater conveyance system.
 2. A breakdown of the impervious surfaces is necessary to demonstrate that there is a 70% impervious coverage on the lots, in addition to all the impervious surfaces within the right-of-way.

Other Comments:

7. Survey control datum NAVD-88 and NAD-83 are required to be used. Civil construction plans will not be accepted in any other datum.
8. Trench restoration is to be completed in accordance with section 3-703 of the EDDS. A full lane or full street overlay may be required.
9. The stormdrain system will need to be extended to the end of the road so that once the property to the south builds that they will be able to connect their outfall system.
10. A 5 foot drainage easement should run along the backs of the lots where there is also a retaining wall.
11. The onsite grading and placement of any retaining walls must be compliant with section 22D.050.030 of the MMC.
12. A right of way use permit for all work proposed within City right of way is required. Cost for the ROW permit is \$648.00. ROW permit fees must be paid before right of way permit issuance.
13. The applicant is responsible for identifying any existing well or septic systems on site or on adjacent properties. If there are any existing septic systems on site they need to be decommissioned based on the Snohomish Health District standards. If there are any wells on site they need to be decommissioned based on Department of Ecology standards.
14. Engineering construction plan review fees will be due prior to release of approved civil construction plans.
Engineering construction plan review per MMC 22G.030.020:
\$976 plus a \$2000 deposit are due for submittal of the grading permit.
Review fee of \$130 per hour will be charged against the deposit.

15. Engineering construction inspection fees will be due prior to project final or building final whichever comes first.

Engineering construction inspection fees per MMC 22G.030.020:

Inspection is charged at \$130 per hour with a \$2500 deposit required.

16. **All civil construction plan submittals are to be routed directly to Shane Whitney, Civil Plan Reviewer.** The first *civil construction* plan submittal is to consist of a completed grading permit application, a plan set, a copy of the drainage report, and a copy of the geotechnical report. **Once the documents are ready to be submitted, we will provide you a link to where the materials can be uploaded to.**

a. Review timing:

i. First review = 5 weeks

ii. Second review = 3 weeks

iii. Third review = 3 weeks

iv. Subsequent reviews will be 3 weeks.

17. Please be advised these comments are in reference to specific items and do not imply a full review of the proposed application. Additional comments which may change the design requirements will be provided during the civil construction plan review process.

If you have additional questions regarding the above comments, please contact me at swhitney@marysvillewa.gov or at (360) 363-8227.

cc: Josh King, PE, Engineering Services Manager



MEMORANDUM

TO: Amy Hess, Senior Planner

FROM: Brad Zahnow, Development Services Technician

DATE: March 12, 2024

SUBJECT: PA24-003 Minor Planned Residential Development (PRD)
8512 E. Sunnyside School Road
APN: 00590700017600

Utility Capital Improvement Fees

Capital utility fees are assessed in accordance with the attached rate sheet. The “City” rates will be applicable to this project.

Recovery (Latecomer) Fees

No recovery fees are currently applicable to this project. A proposed recovery contract associated with the newly constructed Densmore Sewer Lift Station, if approved, will likely apply to this project.

Utility Main Fees

No main fees are applicable to this project.

ULID/LID Fees

No ULID or LID fees are applicable to this project.



UTILITY CAPITAL IMPROVEMENT CHARGES - 2024

MMC Section 14.07.010 - Marysville Ord. Nos. 2607 & 2670
 Community Development Department ♦ 501 Delta Avenue ♦ Marysville, WA 98270
 (360) 363-8100 ♦ Office Hours: Monday - Friday 8:00 AM - 4:30 PM

**MARYSVILLE
PUBLIC WORKS**

RESIDENTIAL UNITS

Type of Connection		Water		Sewer	
		City	Outside City	City	Outside City
Residential DU*	Eff 1/1/06	\$4,750/du	\$5,490/du	\$4,490/du	\$4,890/du
Inspection		Plumb permit varies	Plumb permit	\$100	\$100
Admin/Filing Fee		\$20	\$20	\$20	\$20

*Dwelling unit includes single-family, multi-unit housing, apts, condos, manufactured homes and mobile homes.
 Main fees or latecomer fees may apply, depending on location.

Type of Connection		Water		Sewer	
		City	Outside City	City	Outside City
Hotel/Motel	Eff 1/1/06	\$1,816/rm	\$2,099/rm	\$1,717/rm	\$1,870/rm
RV Park Pads	Eff 1/1/06	\$2,375/pad	\$2,745/pad	\$2,245/pad	\$2,445/pad

COMMERCIAL / INDUSTRIAL

WATER

Gallons per Minute	City	Outside City
0 – 2000 gpm	\$1.64 / square foot (bldg)	\$1.99 / square foot (bldg)
2001 – 4000 gpm	\$2.40 / sf	\$2.87 / sf
4001+ gpm	\$3.16 / sf	\$3.80 / sf
Warehouse/Storage (Ord No. 3026, Eff 7/15/16)	\$0.48 / sf	\$0.65 / sf
Warehouse/Storage with fire sprinklers	\$0.36 / sf	\$0.49 / sf

SEWER

Type of Use	City	Outside City
Retail Sales/Manufacturing/ Churches/Schools/Day Care	\$1.03 / square foot (bldg)	\$1.24 / square foot (bldg)
Offices/Medical/Dental/Nursing Homes and all other uses not listed	\$1.67 / sf	\$2.00 / sf
Warehouses/Storage	\$0.49 / sf	\$0.65 / sf
Restaurants/Taverns/Esspresso	\$2.38 / sf	\$2.86 / sf
Schools without kitchens	\$0.77 / sf	\$0.93 / sf

SURFACE WATER / STORM DRAINAGE

Surface water capital fee – Eff 1/1/11	Residential - \$95/du	Commercial - \$95/3200sf of imp surface
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METER SERVICES

Meter Size	Tapping Fee	Meter Drop Fee
5/8" x 3/4"	\$1,050	\$500
3/4" x 3/4"	\$1,075	\$525
1"	\$1,200	\$560
1.5"	\$1,600	\$750
2"	\$1,900 min	\$850
3", 4", 6", 8"	Time and Material - \$3,500 min + \$1K/inch	Included in tapping fee

Fire sprinkler systems may require a larger meter for adequate fire flow – consult your designer.

All non-residential water services, including fire sprinkler systems and irrigation systems, require a backflow prevention assembly to be installed immediately downstream of the water meter. Contact the city's cross connection control specialist at (360) 363-8100 to determine the type of assembly required.

(360) 363-8100

Public Works
 80 Columbia Avenue
 Marysville, WA 98270



MARYSVILLE
PUBLIC WORKS

MEMORANDUM

TO: Amy Hess, Senior Planner

FROM: Ryan Carney, Surface Water Inspector

DATE: 3/6/2024

SUBJECT: PA24-003 Minor PRD

1. For residential projects triggering minimum requirements #6 Runoff Treatment and #7 Flow Control, the stormwater facility lot will be dedicated to the HOA when there are park amenities on the lot. The HOA will be responsible to maintain the landscaping and park amenities. The City will receive an easement to maintain the vault. This policy may be modified depending on facility design.
2. Please include all vault access locations (vents and manholes) on landscaping plans.

If you have questions regarding these comments, please contact me at 360-363-8140 or rcarney@marysvillewa.gov.

cc: Nate Dickey, Storm/Sewer Supervisor

(360) 363-8100

Public Works
80 Columbia Avenue
Marysville, WA 98270



Stormwater Covenant and Easement

Community Development Department 80 Columbia Avenue Marysville, WA 98270

(360) 363 -8100 Phone (360) 651-5099 FAX Office Hours: Monday – Friday 7:30 AM -4:00 PM

Instructions Page

For the Developer:

Does your Project trigger minimum requirements #6 Runoff Treatment, or #7 Flow Control AND the facility(ies) will be on private property?

If “no” then this covenant does not need to be recorded.

Otherwise, please complete the enclosed documents. The draft document should be submitted for review with the other civil plan documents. It does not need signatures at that time. Exhibit B- Facilities Maintenance Plan should include a map showing where the storm water features are located on the property and describe the maintenance requirements. Once the infrastructure is built, review the document. If construction altered the stormwater utility layout update the appropriate information. The documents must be signed by all parties with an ownership interest in the property (include additional signature blocks and notary acknowledgement forms as necessary). Have the final document signatures notarized. Record before final occupancy is issued.

Recording notes:

- Do not write within the one-inch border
- Type or print legibly and in an easily readable font
- Print documents single sided and provide original copies with original signatures

When Recorded, Return to:

City of Marysville
Community Development
80 Columbia Ave
Marysville, WA 98270

**Stormwater Covenant and Easement
(MMC 14.15.155)**

DOCUMENT TITLE: <i>Project Name</i> Stormwater Covenant and Easement
Grantor: <i>Property Owner Name</i>
Grantee: CITY OF MARYSVILLE, a Municipal Corporation
Legal Description (abbreviated):
Assessor's Parcel(s):
Address:
Reference Number(s):
City of Marysville Project No: City of Marysville Building Permit No:
Note The Auditor/Recorder will rely on the information provided on this form. City staff will not read the document to verify the accuracy or completeness of the indexing information provided herein.

Stormwater Covenant and Easement (MMC 14.15.155)

This Stormwater Covenant and Easement (the "Agreement") is executed in favor of the City of Marysville (the "City") by the undersigned owner(s) (the "Grantor") of the following described real property situated in the City of Marysville, Snohomish County, State of Washington (the "Property") (insert complete legal description):

(attach Exhibit A if necessary to fit full legal description)

WHEREAS, pursuant to Marysville Municipal Code Chapter 14.15, as may be hereafter amended, a condition of developing the Property requires that it have adequate stormwater drainage; and

WHEREAS, the Grantor has installed a private storm drainage system for the Property; and

WHEREAS, such a private storm drainage system will require ongoing maintenance as detailed in the approved Facility Maintenance Plan to ensure it operates as designed;

WHEREAS, the private storm drainage system includes the following specified drainage control facilities, which are documented in the drainage control plan drawing(s), as amended by record drawing(s) on file with the City of Marysville. The following runoff treatment or flow control facilities are onsite:

	Detention or Infiltration Pond		BMP T8.20 Sand Filter vault
	Detention or Infiltration Vault		BMP T8.30 Linear Sand Filter
	BMP T5.15 Permeable Pavements		BMP T8.40 Media Filter Drain
	Detention Tank/Pipes		BMP T9.10 Basic Biofiltration Swale
	BMP T5.16 Tree Retention and Tree Planting		BMP T9.20 Wet Biofiltration Swale
	BMP T5.17 Vegetated Roofs		BMP T9.30 Continuous Inflow biofiltration Swale
	BMP T5.20 Rainwater Harvesting		BMP T9.40 Basic Filter Strip
	BMP T5.30 Full Dispersion area		BMP T10.10 Wetponds-Basic and Large
	BMP T6.10 Presettling Basin		BMP T10.20 Wetvaults
	BMP T7.10 Infiltration Basins		BMP T10.30 Stormwater Treatment Wetlands
	BMP T7.20 Infiltration trenches		BMP T10.40 Combined Detention and Wetpool Facilities
	BMP T7.30 Bioretention Cells, Swales and Planter Boxes		BMP T11.10 API (Baffle type) Separator bay
	BMP T7.40: Compost-amended Vegetated Filter Strips (CAVFS)		BMP T11.11 Coalescing Plate (CP) Separator Bay

	BMP T8.10 Basic Sand Filter basin	Ecology approved Emerging Technology Manufacturer: Device Name:
	BMP T8.11 Large Sand Filter basin	

Now, therefore, the Grantor, on behalf of Grantor and Grantor's heirs, successors, and assigns, agrees to the following and hereby creates a covenant running with the land that shall be binding upon all parties and their heirs, successors, and assigns forever:

- (1) The Grantor, on behalf of the Grantor and the Grantor's heirs, successors, and assigns, agrees to and shall:
 - (a) inspect and maintain the above described drainage control facilities in accordance with the provisions of Marysville Municipal Code (MMC) Title 14, the approved Facility Maintenance Plan (attached hereto as Exhibit B and incorporated by this reference), and any other provisions applicable to the facilities, as now and hereafter in effect;
 - (b) implement the terms of the drainage control plan required for development; and
 - (c) inform all future purchasers, heirs, successors, and assigns of the existence of the drainage control facilities and other elements of the drainage control plan and the limitations of the drainage control facilities.

- (2) The Grantor, on behalf of the Grantor and the Grantor's heirs, successors, and assigns, hereby grants permission for authorized representatives of the City of Marysville to enter onto the Property for inspection, monitoring, correction, or abatement of conditions related to the Property's drainage control plan, drainage control facilities, MMC Title 14, or any other MMC provision applicable to drainage control, as now and hereafter in effect.

- (3) If the private storm drainage system is not maintained in accordance with the approved or record drawing design, the Grantor, on behalf of the Grantor and the Grantor's heirs, successors, and assigns grants the City the right to inspect and repair the system and assess reasonable costs for the work that may be charged against the Property, the Property owner, or any beneficiary.

- (4) The Grantor, on behalf of the Grantor and the Grantor's heirs, successors, and assigns:
 - (a) Agrees and acknowledges that the City is not responsible for the adequacy or performance of the drainage control plan or the drainage control facilities;
 - (b) Agrees to accept any and all risks of harm, loss, injury, or damage related to the drainage control plan or the drainage control facilities; and
 - (c) Hereby waives any right to assert any and all present and future claims against the City, whether known or unknown, for any harm, loss, injury, or damage occurring either on or off the Property, related to the drainage control plan, the drainage control facilities, or drainage

or erosion on the Property, except only for such harm, loss, injury, or damage that directly results from the sole negligence of the City.

- (5) This Agreement shall be recorded in the real estate records of the Auditor's Office of Snohomish County, Washington. If any provision of this Agreement is held invalid, the remainder of the Agreement is not affected.
- (6) The obligations of the Grantor and each of the Grantor's heirs, successors, and assigns under this Agreement shall terminate when that person sells, devises, or transfers the Property, or his or her interest therein, unless the obligation arises out of a claim of negligence or intentional act of that person.

Now, therefore, to this end, the Grantor, on behalf of the Grantor and the Grantor's heirs, successors, and assigns, hereby grants a perpetual easement to the City of Marysville and its authorized representatives to enter the Property, inspect the private storm drainage system, and make necessary repairs, with any expenses incurred being chargeable against the Property, the Property owner, and any beneficiary.

By: _____ Date: _____

Type signer's name here, Type signer's title or affiliation

Type company name here

Type address here

Type City, State, Zip here

By: _____ Date: _____

Type signer's name here, Type signer's title or affiliation

Type company name here

Type address here

Type City, State, Zip here

ACKNOWLEDGEMENT

(Individual)

STATE OF WASHINGTON)
)ss.
COUNTY OF SNOHOMISH)

I certify that I know or have satisfactory evidence that _____
_____ is the person who appeared before me, and said person
acknowledged that he/she signed this instrument and acknowledged it to be his/her free and voluntary
act for the uses and purposes mentioned in the instrument.

DATED this _____ day of _____, 20_____.

(Legibly print name of notary)

NOTARY PUBLIC in and for the State of

Washington, residing at _____

My commission expires _____

(Entity)

STATE OF WASHINGTON)
)ss.
COUNTY OF SNOHOMISH)

I certify that I know or have satisfactory evidence that _____
_____ is the person who appeared before me, and said person
acknowledged that he/she signed this instrument, on oath stated that he/she was authorized to execute
the instrument and acknowledged it as the _____
of _____ to be the free and voluntary act of such party for the uses
and purposes mentioned in the instrument.

DATED this _____ day of _____, 20_____.

(Legibly print name of notary)

NOTARY PUBLIC in and for the State of

Washington, residing at _____

My commission expires _____

ACKNOWLEDGEMENT

(Individual)

STATE OF WASHINGTON)
)ss.
COUNTY OF SNOHOMISH)

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act for the uses and purposes mentioned in the instrument.

DATED this _____ day of _____, 20_____.

(Legibly print name of notary)

NOTARY PUBLIC in and for the State of

Washington, residing at _____

My commission expires _____

(Entity)

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the instrument and acknowledged it as the _____
of _____ to be the free and voluntary act of such party for the uses
and purposes mentioned in the instrument.

DATED this _____ day of _____, 20_____.

(Legibly print name of notary)

NOTARY PUBLIC in and for the State of

Washington, residing at _____

My commission expires _____

EXHIBIT A

LEGAL DESCRIPTION

(Insert complete legal description):

Situated in the City of Marysville, County of Snohomish, State of Washington.

EXHIBIT B

FACILITIES MAINTENANCE PLAN



MARYSVILLE
PUBLIC WORKS

MEMORANDUM

TO: Amy Hess, Associate Planner

FROM: Kim Bryant, Water Operations Supervisor
Tim King, Utility Construction Lead II
Ryan Keefe, Water Operations Lead II

DATE: March 11th, 2024

SUBJECT: Minor Planned Residential Development, PA24-003

Public Works Operations has reviewed the Minor Development submittal and has the following comments:

1. Water details not shown;
2. Do not see locations for hydrant assemblies, blow off assemblies or mainline valves.

If the applicant has any questions about these comments, I can be contacted at (360) 363-8163 or kbryant@marysvillewa.gov.

(360) 363-8100

Public Works
80 Columbia Avenue
Marysville, WA 98270

MEMORANDUM

Date: **February 27, 2024**

PA24-003

To: **Amy Hess, Senior Planner**

From: **Michael Snook, Building Official**

Re: **Project Name:** Minor Planned Residential Development

Applicant: Land Pro Group, Inc. /Ryan Larsen

Proposal: Proposed twenty-nine (29) lot Binding Site Plan, Planned Residential Development and associated improvements. Existing structures to be demolished.

Address: 8512 E. Sunnyside School Road

In response to your request for review of the above project. Please see requirements below:

1. Applicant shall comply with any and or all provisions the 2021 Edition of the International Building, Residential, Mechanical, 2021 Uniform Plumbing Codes, and current Washington State Amendments.
2. All plans and permit applications will be required to be submitted electronically as part of their submittal process. One (1) complete set of building plans, structural calculations, and 2021 Washington State Energy Code work sheets.
3. Contact our office if you have questions in regards to permit applications, checklists and/or handouts that you or your design team will be preparing plans for on your project.
4. If any demolition of structures is proposed, and you are unsure if permit/s will be required for the removal of any existing structures. Please contact the Building Division at 360-363-8100, to ask any specific questions. An asbestos report will be required for each demo permit.
5. Separate permits will be required for any proposed rockeries or underground storm vaults. One (1) complete set of building plans, structural calculations, site plan, and Geotech Report are to be submitted for review.
6. A grading permit will be required. A Geotechnical report shall be submitted to the City for this project. This is to be an in-depth report to address the following:
 - Soil Classification
 - Required Drainage Systems
 - Soil Compaction Requirements
 - Type of Footings, Foundations, and Slabs Allowed
 - Erosion Control Requirements
 - Retaining Walls
 - Fill and Grade
 - Final Grade

Please provide the below information in regards to this overall project:

1. The building structure will be required to be designed under the 2021 IBC, Chapter 16, and Structural Design Requirements. The seismic zone criteria is to be established under the guidelines of a Washington State Licensed Architect and/or Structural Engineer.
2. Please provide scaled floor plans with square footage.

3. Show on the plans the type of building materials proposed, and if required, what type of fire-resistant construction will be required.
4. Site plan is to show the distance from the proposed structure to the property lines, from all sides of the building.
5. A Fire Sprinkler system may be required. The applicant is to verify this requirement with the Fire Marshal's Office.
6. All Electrical installations are to be permitted, inspected and approved through the City. The current code is the 2023 NEC. A separate application, plans, and plan review will be required.
7. Special Inspection may be required. The list of the type of inspections shall be indicated on the plans by the Engineer of Record. The owner is to notify the City of the registered special inspection agency prior to permit issuance.

Building application for plan review will be approximately 4-6 weeks for first-time plan review comments.

We look forward to your project coming to our City!

If I may be of any further assistance, please feel free to contact me.

Michael Snook, Building Official, 360-363-8210 or msnook@marysvillewa.gov during office hours 7:30 am – 4:00 pm, Monday through Friday.