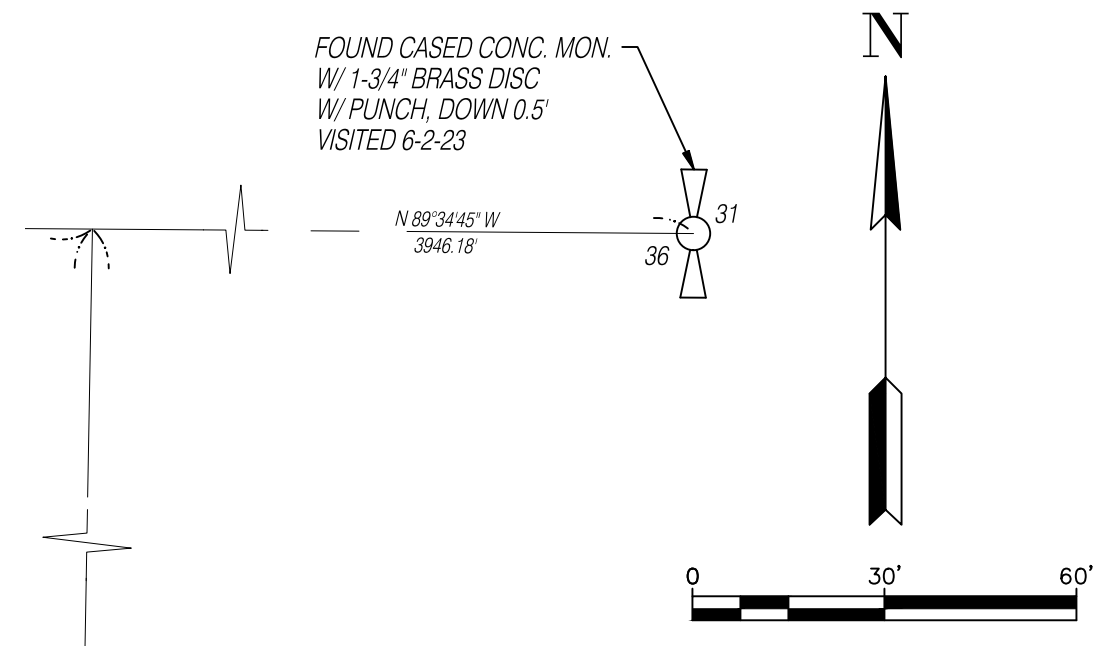


SW 1/4, SW 1/4, SEC. 36, T. 30N, R5E, W.M. SNOHOMISH COUNTY, WASHINGTON

00590700016201  
00590700016202

FOUND CASED CONC. MON.  
W/ 1 3/4" BRASS DISC  
W/ PUNCH DOWN 0.5"  
VISITED 6-2-23



**LEGEND**

SYMBOLS	DESCRIPTION
(Symbol: Dashed line with dots)	REMOVABLE BOLLARD
(Symbol: Dashed line)	'FIRE LANE NO PARKING' SIGN
(Symbol: Dashed line with dots)	LOCK n LOAD RETAINING WALL (UNLESS OTHERWISE NOT)
(Symbol: Dotted line)	ASPHALT PAVEMENT
(Symbol: Dotted line with dots)	ASPHALT GRIND AND OVERLAY
(Symbol: Solid line)	CONCRETE PAVEMENT
(Symbol: Dashed line with dots)	FALL PROTECTION FENCING

**PROJECT INFORMATION**

TAX PARCELS:	00590700017600, 00590700018700, 00590700018703
SITE ADDRESS:	8512 E. SUNNYSIDE SCHOOL RD
PROPOSED ZONING:	WR R-4-18 3.88 AC
FUTURE LAND USE:	DETACHED SINGLE FAMILY HOMES
(PER COMP PLAN)	URBAN LOW RESIDENTIAL
PROPOSED LOTS:	29 LOTS
BUILDING SETBACKS:	20' GARAGE 5' SIDE / 11' WHEN ADJACENT TO R/W 10' REAR CITY OF MARYSVILLE CITY OF MARYSVILLE SNOHOMISH COUNTY PUD CASCADE NATURAL GAS FRONTIER COMCAST LAKE STEVENS SCHOOL DISTRICT NO. 5 MARYSVILLE FIRE DISTRICT RFA
WATER:	
SEWER:	
POWER:	
GAS:	
TELEPHONE:	
CABLE:	
SCHOOL DISTRICT:	
FIRE DISTRICT:	

**DENSITY CALCULATIONS**

ZONE (DENSITY):	WR R-4-18
GROSS AREA:	169,001 SF (3.88 AC)
FLAT 20% DEDUCTION:	33,800 SF (0.78 AC)
NET AREA:	135,201 SF (3.10 AC)
BASE DENSITY:	3.10 x 6 = 18.60 = 19 LOTS
MAX DENSITY:	3.10 x 18 = 55.8 = 56 LOTS
LOTS PROPOSED:	29 LOTS
RDI CREDITS NECESSARY:	10 UNITS

**OPEN SPACE CALCULATIONS**

REQUIRED OPEN SPACE:	15% NET AREA = 15% x 135,201 = 20,280 SF
PROVIDED OPEN SPACE (TRACT 999, 998):	20,813 SF
REQUIRED ACTIVE OPEN SPACE:	35% x OPEN SPACE = 35% x 20,280 = 7,098 SF
PROVIDED ACTIVE OPEN SPACE (TRACT 998):	11,999 SF



00590700017501  
00590700017502  
00590700017503

00590700018700  
00590700018703

00590700018702

00590700018701

C:\Users\pcc\Documents\Solid Ground Engineering\23-001 Minor Property Plat\Drawings\Plan\023-001-PP-01.dwg

**SOIL TYPE AND VEGETATIVE COVER**

SOILS: TILL SOILS  
VEGETATIVE COVER: PRIMARILY LAWN

**UTILITY NOTE**

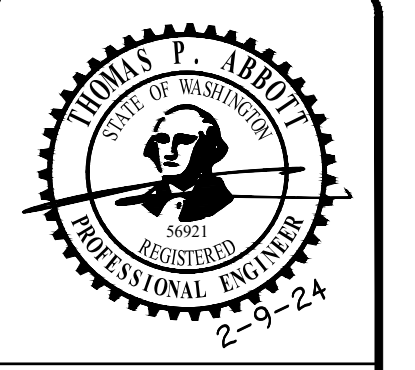
THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. AGENCIES INVOLVED SHALL BE NOTIFIED WITHIN A REASONABLE TIME PRIOR TO THE START OF CONSTRUCTION.

**SURVEY DISCLAIMER**

THE TOPOGRAPHIC SURVEY WAS PERFORMED BY PACIFIC COAST SURVEYS. SOLID GROUND ENGINEERING ASSUMES NO LIABILITY AS TO THE ACCURACY AND COMPLETENESS OF THIS DATA. ANY DISCREPANCIES FOUND BETWEEN WHAT IS SHOWN ON THE PLANS AND WHAT IS NOTED IN THE FIELD SHOULD BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ENGINEER.



SAFETY IS IN YOUR HANDS.  
EVERY DIG. EVERY TIME.



ENGINEER'S STAMP

REVISIONS	DESCRIPTION	DATE

Solid Ground Engineering  
8105 168th Ave NE  
Redmond, WA 98052

**PRELIMINARY PLAT MAP**

**SOUTH LAKE RIDGE, LLC.**  
**MINOR PROPERTY**  
**8512 E. SUNNYSIDE SCHOOL RD**

DRAWN BY:	AJP
CHECKED BY:	TPA
DATE:	2-9-24
JURISDICTION:	CITY OF MARYSVILLE
JOB NUMBER:	23-0011

**PP-01**  
**3 OF 7**