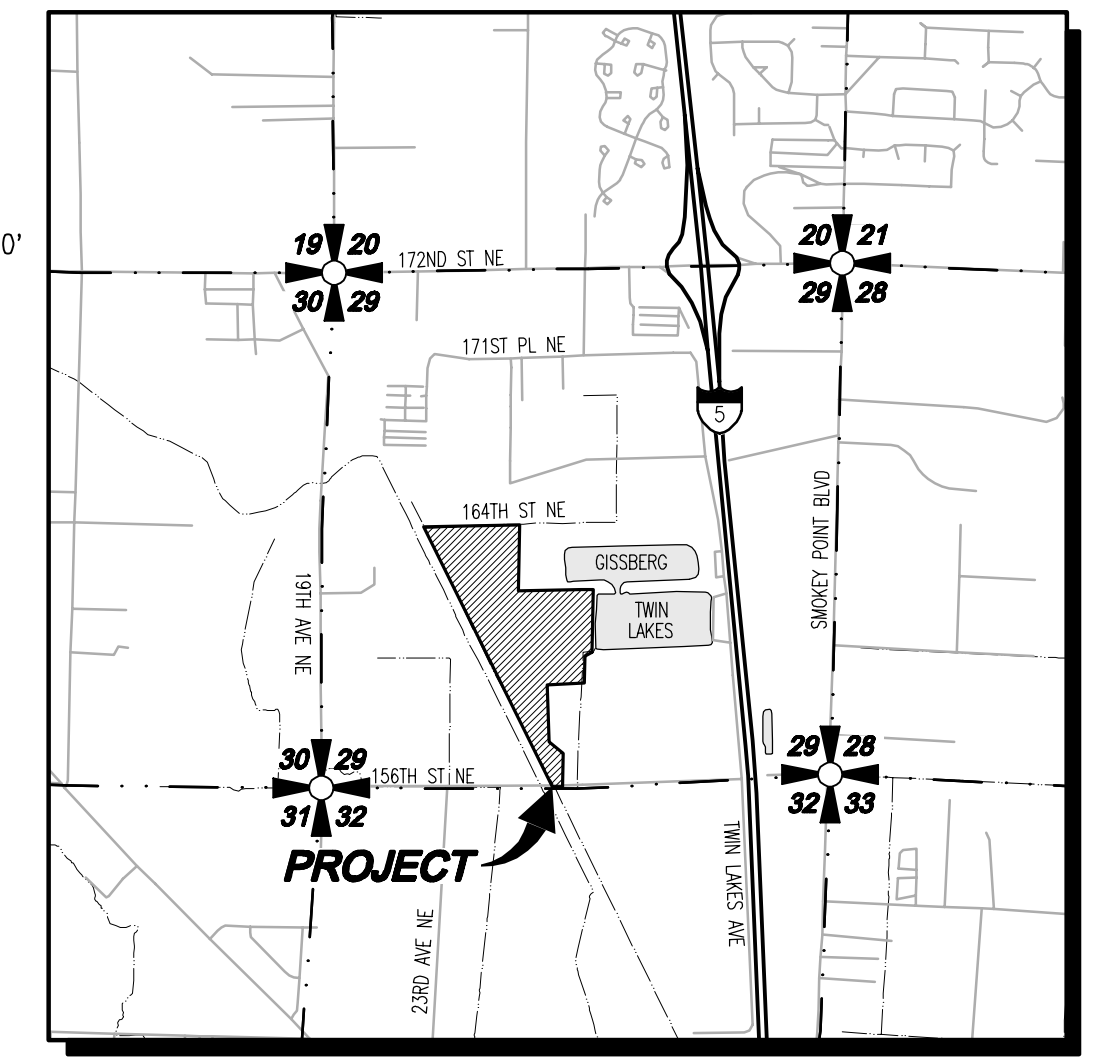
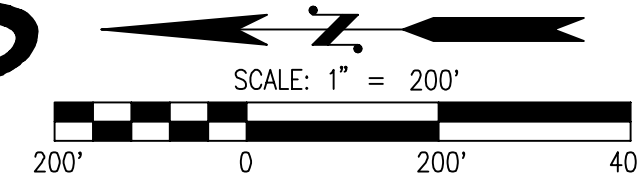


MARYSVILLE 10 DEGREES PRELIMINARY PLAT



SURVEY INFORMATION

LEGAL DESCRIPTION

PARCEL A: PARCEL A OF SNOHOMISH COUNTY BOUNDARY LINE ADJUSTMENT NO. BLA 179-93 RECORDED UNDER AUDITOR'S FILE NO. 9603180555, BEING A PORTION OF PARCEL A OF EXEMPT 20 ACRE SEGREGATION ESTABLISHED BY DECLARATION OF SEGREGATION RECORDED UNDER AUDITOR'S FILE NO. 9104230242 AND CORRECTION UNDER 9109130489, AND OF PARCEL B OF SNOHOMISH COUNTY BOUNDARY LINE ADJUSTMENT NO. 178-93 RECORDED UNDER AUDITOR'S FILE NO. 9603180554, RECORDS OF SNOHOMISH COUNTY, WASHINGTON, SITUATED WITHIN THE SOUTH HALF OF SECTION 29, TOWNSHIP 31 NORTH, RANGE 5 EAST OF THE WILLAMETTE MERIDIAN;

EXCEPT THOSE PORTIONS CONVEYED TO CITY OF MARYSVILLE BY DEEDS RECORDED UNDER AUDITOR'S FILE NO. 200710160330 AND 200911100594, RECORDS OF SNOHOMISH COUNTY, WASHINGTON.

SITUATE IN THE COUNTY OF SNOHOMISH, STATE OF WASHINGTON.

PARCEL B: PARCEL B OF SNOHOMISH COUNTY BOUNDARY LINE ADJUSTMENT NO. BLA 179-93 RECORDED UNDER AUDITOR'S FILE NO. 9603180555, RECORDS OF SNOHOMISH COUNTY, WASHINGTON, BEING A PORTION OF THE SOUTH HALF OF SECTION 29, TOWNSHIP 31 NORTH, RANGE 5 EAST OF THE WILLAMETTE MERIDIAN.

SITUATE IN THE COUNTY OF SNOHOMISH, STATE OF WASHINGTON.

HORIZONTAL DATUM

NAD 83/2011 WASHINGTON STATE COORDINATES-NORTH ZONE

VERTICAL DATUM

NORTH AMERICAN VERTICAL DATUM-1988

BASIS OF BEARING

NAD83/91 FROM GPS OBSERVATION MONUMENTED CENTERLINE OF THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 27 (BEARING = N 87°48'12" W)

BENCHMARK

BENCHMARK
SNOHOMISH COUNTY BENCHMARK NO. LW04 FOUND MONUMENT IN CASE WITH 1" BRASS DISC BEING THE WEST QUARTER CORNER OF SECTION 29, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M. ELEVATION=129.54'

RESTRICTIONS

- THIS SITE IS SUBJECT TO RESERVATIONS AND RECITALS CONTAINED IN THE DEED RECORDED UNDER SNOHOMISH COUNTY AUDITOR'S FILE NO. 5668. (SURVEYOR'S NOTE: BLANKET IN NATURE.)
- THIS SITE IS SUBJECT TO CONDEMNATION OF ACCESS TO STATE OF HIGHWAY NUMBER SR 5 AND OF LIGHT, VIEW AND AIR BY DECREE IN FAVOR OF THE STATE OF WASHINGTON, AS DISCLOSED BY SUPERIOR CASE CAUSE NUMBER 60448 AND 90719. (SURVEYOR'S NOTE: BLANKET IN NATURE.)
- THIS SITE IS SUBJECT TO TERMS, COVENANTS AND PROVISIONS OF CITY OF MARYSVILLE RECOVERY CONTRACT NO. 271, AS DISCLOSED BY INSTRUMENT RECORDED UNDER SNOHOMISH COUNTY AUDITOR'S FILE NO. 200610260422. (SURVEYOR'S NOTE: BLANKET IN NATURE.)
- THIS SITE IS SUBJECT TO A LOCATION OF CREEK, AS DISCLOSED BY SURVEY RECORDED UNDER SNOHOMISH COUNTY AUDITOR'S FILE NO. 9904015001. (SURVEYOR'S NOTE: BLANKET IN NATURE.)
- THIS SITE IS SUBJECT TO ANY QUESTION THAT MAY ARISE DUE TO UNNAMED AND CHANGING IN THE COURSE, BOUNDARIES OR HIGHWAY LINE OF SHIFING CREEK. (SURVEYOR'S NOTE: BLANKET IN NATURE.)
- THIS SITE IS SUBJECT TO A DRAINAGE AND SLOPE EASEMENT, AS DISCLOSED BY INSTRUMENT RECORDED UNDER SNOHOMISH COUNTY AUDITOR'S FILE NO. 201010190528. (SURVEYOR'S NOTE: PLOTTED.)
- THIS SITE IS SUBJECT TO TERMS, COVENANTS AND PROVISIONS OF A NATIVE GROWTH PROTECTION AREA/EASEMENT, AS DISCLOSED BY INSTRUMENT RECORDED UNDER SNOHOMISH COUNTY AUDITOR'S FILE NO. 201112190431. (SURVEYOR'S NOTE: PLOTTED.)

SURVEY NOTES

- PRECISION OF CONTROL TRAVERSE IS AT HIGHER LEVEL THAN MINIMUM STANDARDS REQUIRED BY WAC 332-130-090.
- FIELD SURVEY CONDUCTED USING A COMBINATION OF GPS USING THE WASHINGTON STATE REFERENCE NETWORK (WSRN) AND/OR A 5 SECOND DIRECT READING TOTAL STATION. METHOD: GPS, TRAVERSE AND RADIAL SURVEY.
- ALL DISTANCES ARE IN FEET.
- THIS SURVEY REPRESENTS VISIBLE PHYSICAL IMPROVEMENT CONDITIONS EXISTING ON JUNE 28, 2020. ALL SURVEY CONTROL INDICATED AS "FOUND" WAS RECOVERED FOR THIS PROJECT IN JUNE OF 2020.
- THIS SURVEY WAS CONDUCTED ACCORDING TO THE DESCRIPTION SHOWN, FURNISHED BY CHICAGO TITLE INSURANCE COMPANY, GUARANTEE NO. 500050438, DATED OCTOBER 20, 2020. THE EASEMENTS SHOWN OR NOTED HEREON RELATE TO THIS COMMITMENT.
- THE WETLAND LOCATIONS AND SETBACK LINES WERE PROVIDED BY THE CLIENT, NORTH PEAK ASSOCIATES LLC DID NOT LOCATE THE WETLAND LOCATIONS, AND DOES NOT PURPORT TO SHOW THE WETLAND LOCATIONS OR APPLICABLE SETBACKS AS IF SURVEYED BY THIS FIRM.

LANDSCAPE/OPEN SPACE CALCULATIONS

TOTAL SITE AREA:	2,131,125 SF	(48.92 AC)
TOTAL ON-SITE R/W DEDICATION AREA:	620,919 SF	(14.25 AC)
TOTAL OPEN SPACE AREA:	145,140 SF	(3.33 AC)
TOTAL OPEN SPACE PER UNIT:	145,140 SF / 333 UNITS	435.56 SF/UNIT
TOTAL OPEN SPACE PER ACRE:	145,140 SF / 3.33 AC	43,556 SF/ACRE
TOTAL ON-SITE WETLAND AREA:	130,226 SF	(2.99 AC)
TOTAL ON-SITE WETLAND/STREAM BUFFER AREA:	356,614 SF	(8.19 AC)
NET SITE AREA (MINUS PUBLIC R/W):	1,510,206 SF	(34.67 AC)

TOTAL OPEN SPACE REQUIRED:	1,510,206 SF x 15% = 226,531 SF (5.20 AC)
MAX CRIT. AREA AS OPEN SPACE:	226,531 SF x 65% = 147,245 SF (3.38 AC)
TOTAL REQ. OPEN SPACE REQUIRED:	226,531 SF x 35% = 79,285 SF (1.82 AC)
TOTAL REQ. OPEN SPACE DESIGNED:	79,936 SF (1.83 AC)
TOWNHOME PRIVATE OPEN SPACE REQUIRED:	200 SF PRIVATE OPEN SPACE PER DWELLING UNIT
	166 TOWNHOMES x 200 SF = 33,200 SF (0.76 AC)

EMPIRE PROPERTY HOLDINGS LP
PARCEL NO. 31052900100000

EMPIRE PROPERTY HOLDINGS LP
PARCEL NO. 31052900201700

SATHER C LLC
PARCEL NO. 31052900201401

CONTACT LIST

DEVELOPER/OWNER:
PULTE GROUP
3535 FACTORIA BLVD SE
SUITE 600
BELLEVUE, WASHINGTON 98006
CONTACT: RYAN KOHLMANN
PHONE: (425) 922-9805
EMAIL: ryan.kohlmann@pultegroup.com

CIVIL ENGINEER:
LDC, INC.
20210 142ND AVENUE NE
WOODVILLE, WASHINGTON 98072
CONTACT: JESSE JARRELL, PE
PHONE: (425) 806-1869
FAX: (425) 482-2893
EMAIL: jjjarrell@ldccorp.com

WETLAND BIOLOGIST:
SEWALL WETLAND CONSULTING, INC.
PO BOX 880
FALL CITY, WASHINGTON 98024
CONTACT: ED SEWALL
PHONE: (253) 859-0515
EMAIL: esewall@sewallwv.com

SURVEYOR:
NORTH PEAK ASSOCIATES LLC
17270 WOODVILLE REDMOND RD NE
SUITE 705
WOODVILLE, WASHINGTON 98072
CONTACT: RICHARD VAN MOURIK, PLS
PHONE: (206) 601-4682
EMAIL: richv@northpeakassociates.com

LANDSCAPE ARCHITECT:
ORIGIN DESIGN GROUP LLC
1031 185TH AVE NE
SNOHOMISH, WA 98290
CONTACT: KRISTAL LOWE
PHONE: (425) 346-1905
EMAIL: origin@gdgroup.com

GEOTECHNICAL ENGINEER:
EARTH SOLUTIONS NW LLC
15365 NE 90TH ST, STE 100
REDMOND, WA 98072
CONTACT: KYLE KELLEY
PHONE: (425) 449-4704
EMAIL: henry@esnw.com

EARTHWORK QUANTITIES

CUT:	0 CY
FILL:	300,000 CY
NET:	300,000 CY
DISTURBED AREA:	1,749,098 SF (40.15 AC)
CUT/FILL AMOUNTS DO NOT INCLUDE YARDAGE APPROVED THROUGH 2019 EC&G PERMIT. THE ABOVE QUANTITIES ARE FOR PERMITTING PURPOSES. CONTRACTOR TO VERIFY.	

TABLE OF CONTENTS

- 1 COVER SHEET
- 2-6 PRELIMINARY PLAT

PROJECT INFORMATION

TAX PARCELS: 31052900303100
SITE ADDRESS: 2703 156TH ST NE, MARYSVILLE, WA 98270
TOTAL SITE AREA: 2,131,125 SF (48.92 AC)
NET SITE AREA: 1,504,637 SF (34.54 AC)
EXISTING ZONING: 6.8 UNITS/ACRE = 333 UNITS
PROPOSED ZONING: R12 MULTI-FAMILY AND COMMUNITY BUSINESS
PROPOSED LAND USE: TOWNHOMES AND DETACHED SINGLE FAMILY
PROPOSED LOTS: 333
PROPOSED UNITS: 166
PROPOSED TOWNHOMES: 166
PROPOSED DETACHED SINGLE FAMILY: 167
BUILDING SETBACKS: FRONT: 10', GARAGE: 20' / 0' FROM ALLEY, SIDE: 5', SIDE NEAR ROAD: 10' / 0' FROM ALLEY, REAR: 15', WETLAND BUFFER: 15'
WATER: CITY OF MARYSVILLE
SEWER: CITY OF MARYSVILLE
POWER: SNOHOMISH COUNTY PUD NO. 1
GAS: FRONTIER
TELEPHONE: COMCAST
CABLE: LAKEWOOD SCHOOL DISTRICT NO. 306
SCHOOL DISTRICT: MARYSVILLE FIRE DISTRICT RFA
FIRE DISTRICT:

LEGEND AND ABBREVIATIONS

EXISTING SYMBOLS	DESCRIPTION	ABBREVIATIONS
●	FOUND REBAR W/ CAP AS NOTED	CB CATCH BASIN
○	SET REBAR W/ CAP	CL CENTERLINE
○	SOIL LOG	CMP CORRUGATED METAL PIPE
<	CULVERT	CP CONCRETE PIPE
⊠	CATCH BASIN	EL ELEVATION
⊠	MONITOR WELL	EXIST. EXISTING
⊠	WATER VALVE	E FLOWLINE
⊠	FIRE HYDRANT	IE INVERT ELEVATION
⊠	SEWER MANHOLE	LCPE LINE CORRUGATED POLYETHYLENE
⊠	POWER POLE	E PROPERTY LINE
⊠	CONIFEROUS TREE	PP POWER POLE
⊠	DECIDUOUS TREE	PVC POLYVINYL CHLORIDE PIPE
⊠		R/W RIGHT-OF-WAY
⊠		STA STATION
⊠		SD STORM DRAIN
⊠		SS SANITARY SEWER
⊠		SSMH SANITARY SEWER MANHOLE
⊠		SWPE SOLID WALL POLYETHYLENE PIPE
⊠		TYP TYPICAL
⊠		TBR TO BE REMOVED
⊠		A ALDER
⊠		B BIRCH
⊠		C CEDAR
⊠		COT COTTONWOOD
⊠		CH CHERRY
⊠		WIL WILLOW
⊠		DEC DECIDUOUS

PROPOSED STORM SYMBOLS

SYMBOL	DESCRIPTION
⊠	SD CAP
⊠	TYPE 1 CATCH BASIN, GRATED LID
⊠	TYPE 1 CATCH BASIN, SOLID LID
⊠	TYPE 2 CATCH BASIN, GRATED LID
⊠	TYPE 2 CATCH BASIN, SOLID LID
⊠	BEEHIVE MANHOLE COVER
⊠	SQUARE YARD DRAIN
⊠	ROUND YARD DRAIN
⊠	STORM CLEAN OUT
⊠	STORM PIPE

PROPOSED SEWER SYMBOLS

SYMBOL	DESCRIPTION
⊠	SEWER CAP
⊠	SEWER CLEANOUT
⊠	SEWER MANHOLE
⊠	SEWER PIPE

PROPOSED SURVEY SYMBOLS

SYMBOL	DESCRIPTION
⊠	SURVEY MONUMENT IN PROPOSED ROAD

PROPOSED WATER SYMBOLS

SYMBOL	DESCRIPTION
⊠	WATER CAP
⊠	CONCRETE BLOCKING
⊠	BUTTERFLY VALVE
⊠	11' BEND
⊠	45' BEND
⊠	90' BEND
⊠	22' BEND
⊠	VALVE
⊠	HYDRANT ASSEMBLY
⊠	BLOW-OFF VALVE
⊠	REDUCER
⊠	AIR-VAC ASSEMBLY
⊠	WATER METER
⊠	WATER PIPE

PARKING INFORMATION

REQUIRED PARKING SPACES: 2 OFF STREET PARKING SPACES + 1 GUEST STALL PER UNIT
PROVIDED PARKING SPACES: TOWNHOME - 4 SPACES, SINGLE FAMILY DETACHED - 4 SPACES, 1,332 TOTAL PARKING SPACES

NOTES: 1. DRIVEWAY PADS FRONTING EACH UNIT TO PROVIDE A MINIMUM OF 1 GUEST PARKING STALL FOR THE CORRESPONDING UNIT.
2. SEE SHEET PP-02 FOR TYPICAL GARAGE AND PARKING DETAILS.

PA__

DISCLAIMER

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Call 2 Business Days Before You Dig
811 or 1-800-424-5555
Utilities Underground Location Center

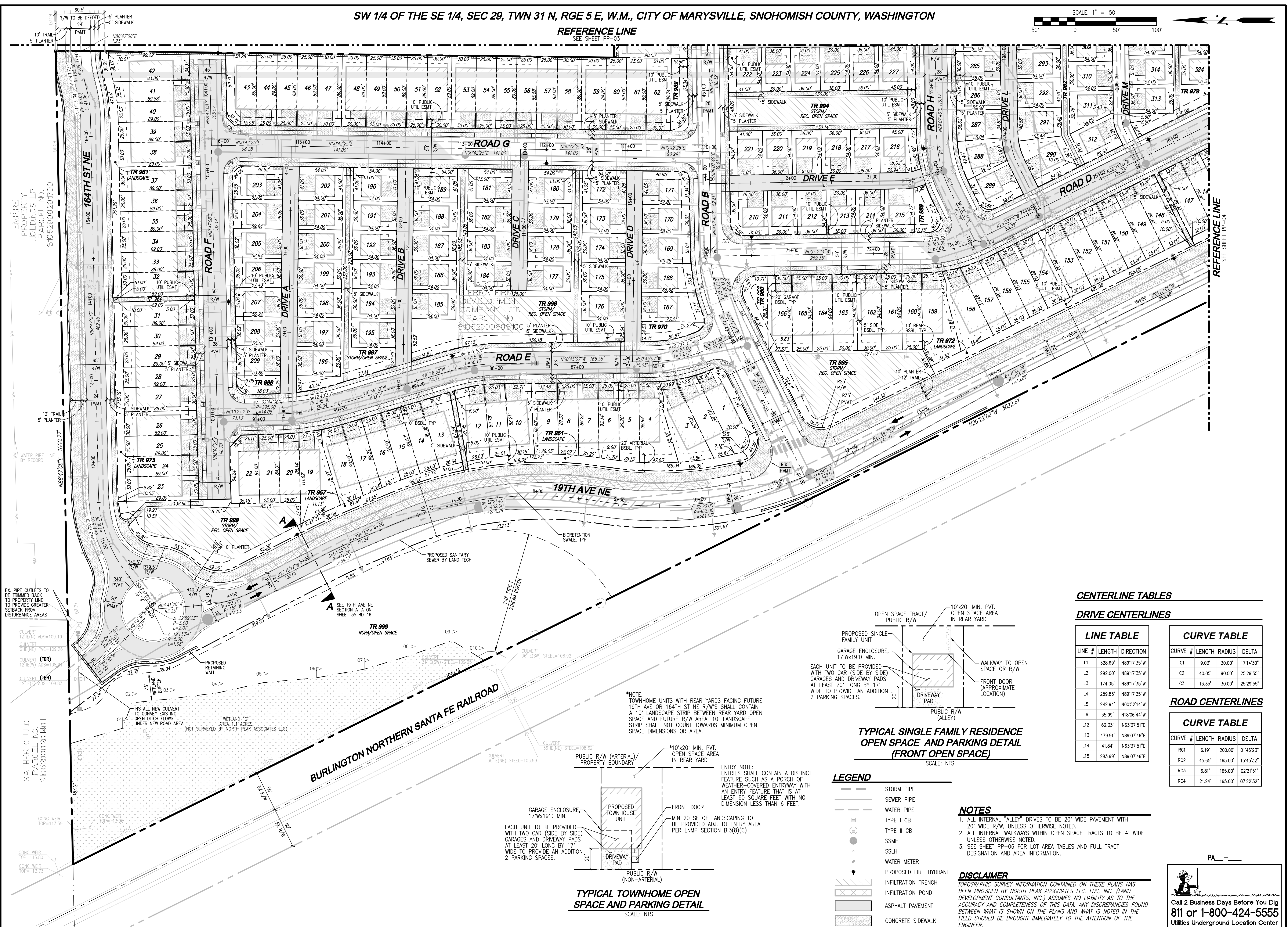
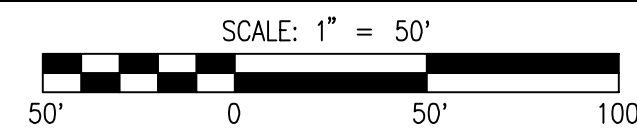
LDC
Surveying Engineering Planning
Olympia
Woodville
20210 142nd Avenue NE
Woodville, WA 98072
www.LDCcorp.com
T 425.806.1869 F 425.482.2893

PULTE GROUP
MARYSVILLE 10 DEGREES
COVER SHEET

JESSE A. JARRELL
PROFESSIONAL ENGINEER
C21150
DRAWING NAME: C21150PP-CS-PL
DESIGNER: JAJ
DRAFTING BY: RCJ
DATE: 8-18-21
SCALE: 1"=200'
JURISDICTION: MARYSVILLE
PP-01
SHEET 1 OF 6

SW 1/4 OF THE SE 1/4, SEC 29, TWN 31 N, RGE 5 E, W.M., CITY OF MARYSVILLE, SNOHOMISH COUNTY, WASHINGTON

REFERENCE LINE
SEE SHEET PP-03



REVISIONS

NO.	DATE	DESCRIPTION

LDC | Surveying Engineering Planning

Kent
Woodinville
Woodville, WA 98072
www.LDCorp.com

Olympia
20210 142nd Avenue NE
Woodville, WA 98072
www.LDCorp.com
T 425.806.1869 F 425.482.2893

PULTE GROUP
MARYSVILLE 10 DEGREES
PRELIMINARY PLAN

JOE A. JARRELL
PROFESSIONAL ENGINEER
16844

JOB NUMBER: C21150
DRAWING NAME: C21150PP-PP-PL
DESIGNER: JAU
DRAFTING BY: RCR
DATE: 8-18-21
SCALE: 1"=50'
JURISDICTION: MARYSVILLE

Call 2 Business Days Before You Dig
811 or 1-800-424-5555
Utilities Underground Location Center

PP-02
SHEET 2 OF 6

CENTERLINE TABLES

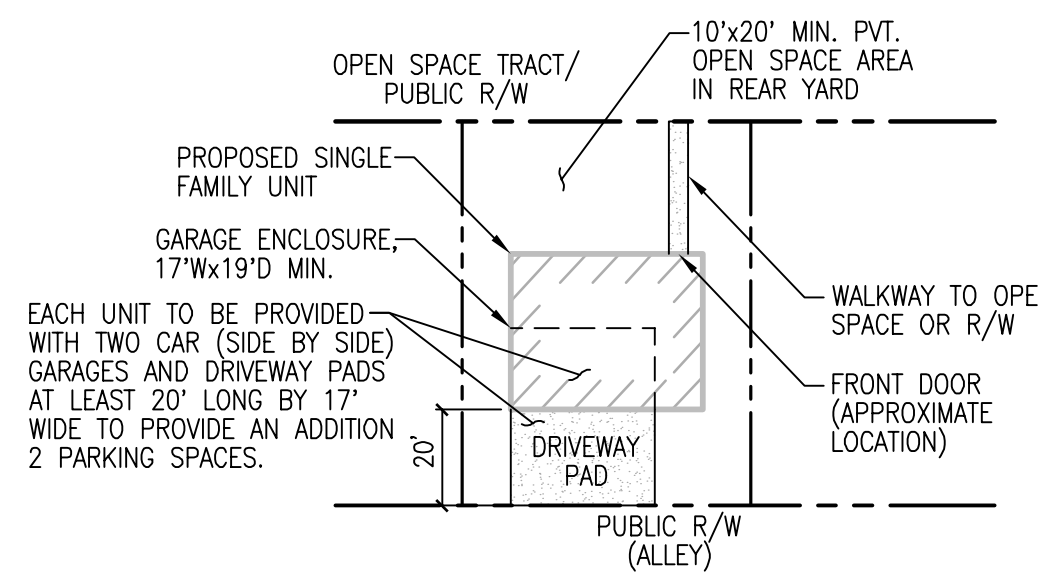
DRIVE CENTERLINES

LINE #	LENGTH	DIRECTION
L1	328.69'	N89°17'35"W
L2	292.00'	N89°17'35"W
L3	174.05'	N89°17'35"W
L4	259.85'	N89°17'35"W
L5	242.94'	N00°52'14"W
L6	35.99'	N18°06'44"W
L12	62.33'	N63°37'51"E
L13	479.91'	N89°07'46"E
L14	41.84'	N63°37'51"E
L15	283.69'	N89°07'46"E

CURVE #	LENGTH	RADIUS	DELTA
C1	9.03'	30.00'	17°14'30"
C2	40.05'	90.00'	25°29'55"
C3	13.35'	30.00'	25°29'55"

ROAD CENTERLINES

CURVE #	LENGTH	RADIUS	DELTA
RC1	6.19'	200.00'	01°46'23"
RC2	45.65'	165.00'	15°45'32"
RC3	6.81'	165.00'	02°21'51"
RC4	21.24'	165.00'	07°22'32"



TYPICAL SINGLE FAMILY RESIDENCE OPEN SPACE AND PARKING DETAIL (FRONT OPEN SPACE)
SCALE: NTS

LEGEND

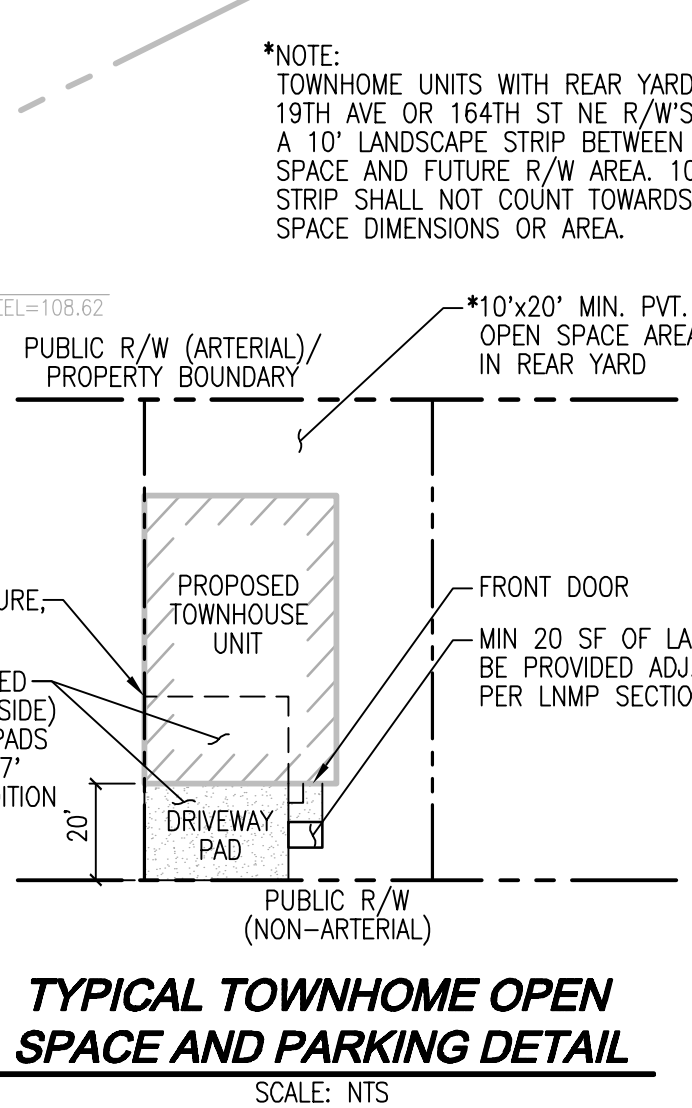
- STORM PIPE
- SEWER PIPE
- WATER PIPE
- TYPE I CB
- TYPE II CB
- SSMH
- SSLH
- WATER METER
- PROPOSED FIRE HYDRANT
- INFILTRATION TRENCH
- INFILTRATION POND
- ASPHALT PAVEMENT
- CONCRETE SIDEWALK

NOTES

- ALL INTERNAL "ALLEY" DRIVES TO BE 20' WIDE PAVEMENT WITH 20" WIDE R/W, UNLESS OTHERWISE NOTED.
- ALL INTERNAL WALKWAYS WITHIN OPEN SPACE TRACTS TO BE 4' WIDE UNLESS OTHERWISE NOTED.
- SEE SHEET PP-06 FOR LOT AREA TABLES AND FULL TRACT DESIGNATION AND AREA INFORMATION.

DISCLAIMER

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TYPICAL TOWNHOME OPEN SPACE AND PARKING DETAIL
SCALE: NTS

*NOTE: TOWNHOME UNITS WITH REAR YARDS FACING FUTURE 19TH AVE OR 164TH ST NE R/W'S SHALL CONTAIN A 10' LANDSCAPE STRIP BETWEEN REAR YARD OPEN SPACE AND FUTURE R/W AREA. 10' LANDSCAPE STRIP SHALL NOT COUNT TOWARDS MINIMUM OPEN SPACE DIMENSIONS OR AREA.

ENTRY NOTE: ENTRIES SHALL CONTAIN A DISTINCT FEATURE SUCH AS A PORCH OR WEATHER-COVERED ENTRYWAY WITH AN ENTRY FEATURE THAT IS AT LEAST 60 SQUARE FEET WITH NO DIMENSION LESS THAN 6 FEET.

EMPIRE PROPERTY HOLDINGS LP
PARCEL NO. 31052000201700

SATHER C LLC
PARCEL NO. 31052000201401

WETLAND "O" AREA, I.J. ACRES (NOT SURVEYED BY NORTH PEAK ASSOCIATES LLC)

EX PIPE OUTLETS TO BE TRIMMED BACK TO PROPERTY LINE TO PROVIDE GREATER SETBACK FROM DISTURBANCE AREAS

CULVERT 12" (E) ABS=109.19
CULVERT 6" (E) PVC=109.26
CULVERT (TBR) 12" (E) ABS=109.55
CULVERT (TBR) 12" (E) ABS=108.83

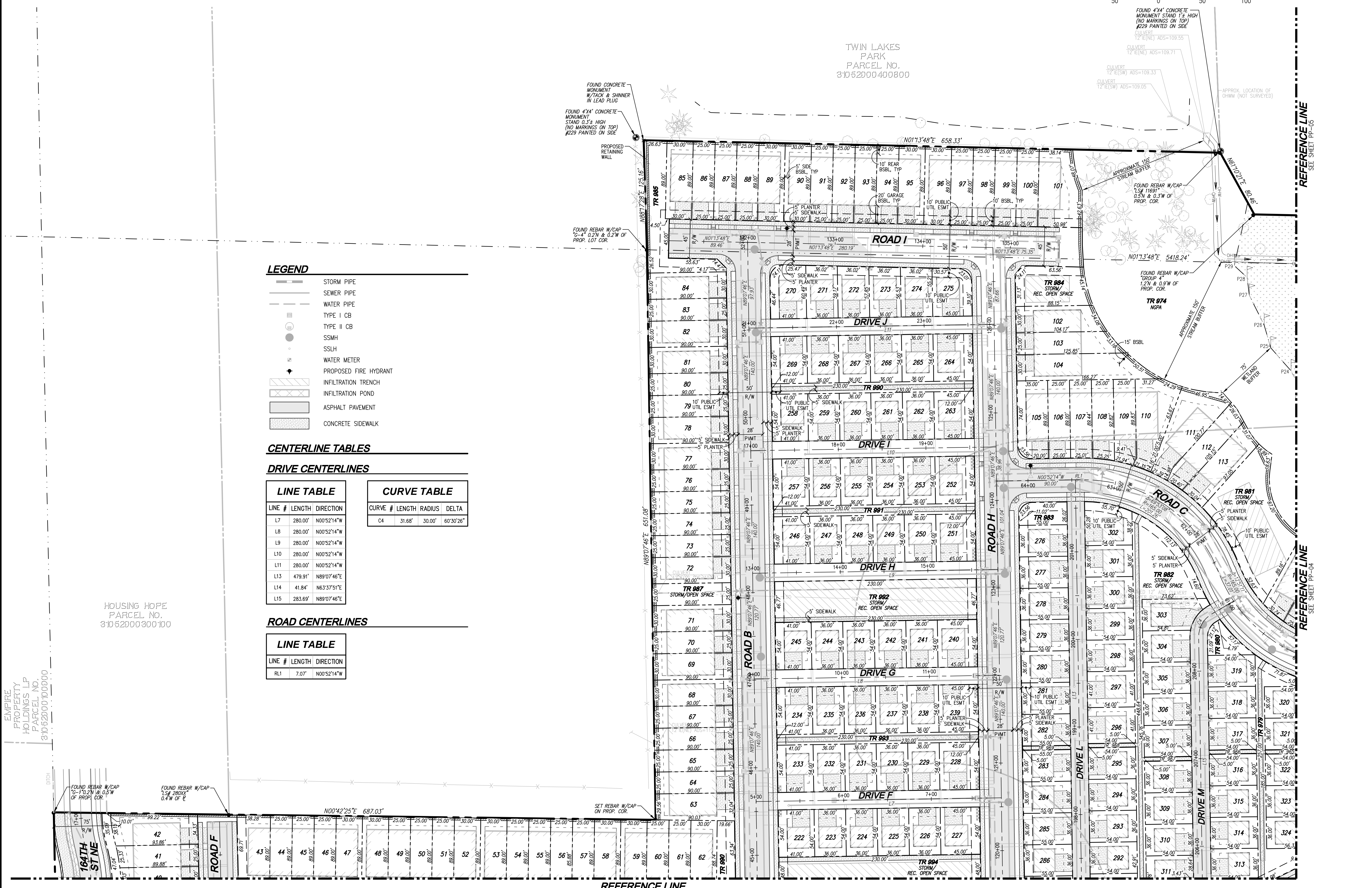
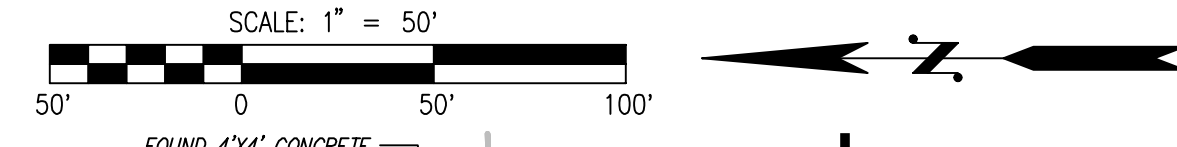
INSTALL NEW CULVERT TO CONVEY EXISTING OPEN DITCH FLOWS UNDER NEW ROAD AREA

WETLAND "O" AREA, I.J. ACRES (NOT SURVEYED BY NORTH PEAK ASSOCIATES LLC)

CONC. WEIR TOP=113.80
CONC. WEIR TOP=113.73

Drawing: P:\Civil\2021\C21150-Marysville 10 Degrees\Drawings\Pre-Plan\C21150PP-PP-PL.dwg
Plotted: Mar 29, 2022 - 4:35pm

SW 1/4 OF THE SE 1/4, SEC 29, TWN 31 N, RGE 5 E, W.M., CITY OF MARYSVILLE, SNOHOMISH COUNTY, WASHINGTON



LEGEND

- STORM PIPE
- SEWER PIPE
- WATER PIPE
- TYPE I CB
- TYPE II CB
- SSMH
- SSLH
- WATER METER
- PROPOSED FIRE HYDRANT
- INFILTRATION TRENCH
- INFILTRATION POND
- ASPHALT PAVEMENT
- CONCRETE SIDEWALK

CENTERLINE TABLES

DRIVE CENTERLINES

LINE #	LENGTH	DIRECTION
L7	280.00'	N00°52'14"W
L8	280.00'	N00°52'14"W
L9	280.00'	N00°52'14"W
L10	280.00'	N00°52'14"W
L11	280.00'	N00°52'14"W
L13	479.91'	N89°07'46"E
L14	41.84'	N63°37'51"E
L15	283.69'	N89°07'46"E

CURVE #	LENGTH	RADIUS	DELTA
C4	31.68'	30.00'	60°30'26"

ROAD CENTERLINES

LINE #	LENGTH	DIRECTION
RL1	7.07'	N00°52'14"W

REFERENCE LINE
SEE SHEET PP-02

PA__

- NOTES**
- ALL INTERNAL "ALLEY" DRIVES TO BE 20' WIDE PAVEMENT WITH 20' WIDE R/W, UNLESS OTHERWISE NOTED.
 - ALL INTERNAL WALKWAYS WITHIN OPEN SPACE TRACTS TO BE 4' WIDE UNLESS OTHERWISE NOTED.
 - SEE SHEET PP-06 FOR LOT AREA TABLES AND FULL TRACT DESIGNATION AND AREA INFORMATION.

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Olympia
F 425.482.2893

PULTE GROUP
MARYSVILLE 10 DEGREES
PRELIMINARY PLAT

WESSIE A. JARRELL
PROFESSIONAL ENGINEER

JOB NUMBER: C21150
DRAWING NAME: C21150PP-PP-03
DESIGNER: JAJ
DRAFTING BY: RCR
DATE: 8-18-21
SCALE: 1"=50'
JURISDICTION: MARYSVILLE

PP-03
SHEET 3 OF 6

Drawing: P:\Civil\2021\C21150\Drawings\Pre-Plan\C21150PP-PP-03.dwg
 Plotted: Mar 29, 2022 - 4:38pm
 EMPIRE
 PROPERTY
 HOLDINGS LP
 PARCEL NO.
 31062000100000

HOUSING HOPE
PARCEL NO.
31062000300100

DITCH

FOUND REBAR W/CAP
6" x 10" x 0.2N & 0.2W
OF PROP. LOT COR.

FOUND REBAR W/CAP
1.5" x 280x1
0.4W OF R

FOUND CONCRETE
MONUMENT
W/TACK & SHINNER
IN LEAD PLUG

FOUND 4"x4" CONCRETE
MONUMENT
STAND 0.3' HIGH
(NO MARKINGS ON TOP)
#229 PAINTED ON SIDE

FOUND REBAR W/CAP
6" x 4" x 0.2N & 0.2W
OF PROP. LOT COR.

TWIN LAKES
PARK
PARCEL NO.
31062000400800

FOUND 4"x4" CONCRETE
MONUMENT STAND 1.5' HIGH
(NO MARKINGS ON TOP)
#229 PAINTED ON SIDE

CULVERT
12" (ENE) ADS=109.55

CULVERT
12" (E-W) ADS=109.71

CULVERT
12" (SW) ADS=109.33

CULVERT
12" (E-W) ADS=109.05

APPROX. LOCATION OF
GHW (NOT SURVEYED)

APPROXIMATE 150'
STREAM BUFFER

FOUND REBAR W/CAP
1.5" x 168"
0.5N & 0.5W OF
PROP. COR.

FOUND REBAR W/CAP
1.5" x 168"
0.5N & 0.5W OF
PROP. COR.

FOUND REBAR W/CAP
1.5" x 168"
0.5N & 0.5W OF
PROP. COR.

FOUND REBAR W/CAP
1.5" x 168"
0.5N & 0.5W OF
PROP. COR.

FOUND REBAR W/CAP
1.5" x 168"
0.5N & 0.5W OF
PROP. COR.

FOUND REBAR W/CAP
1.5" x 168"
0.5N & 0.5W OF
PROP. COR.

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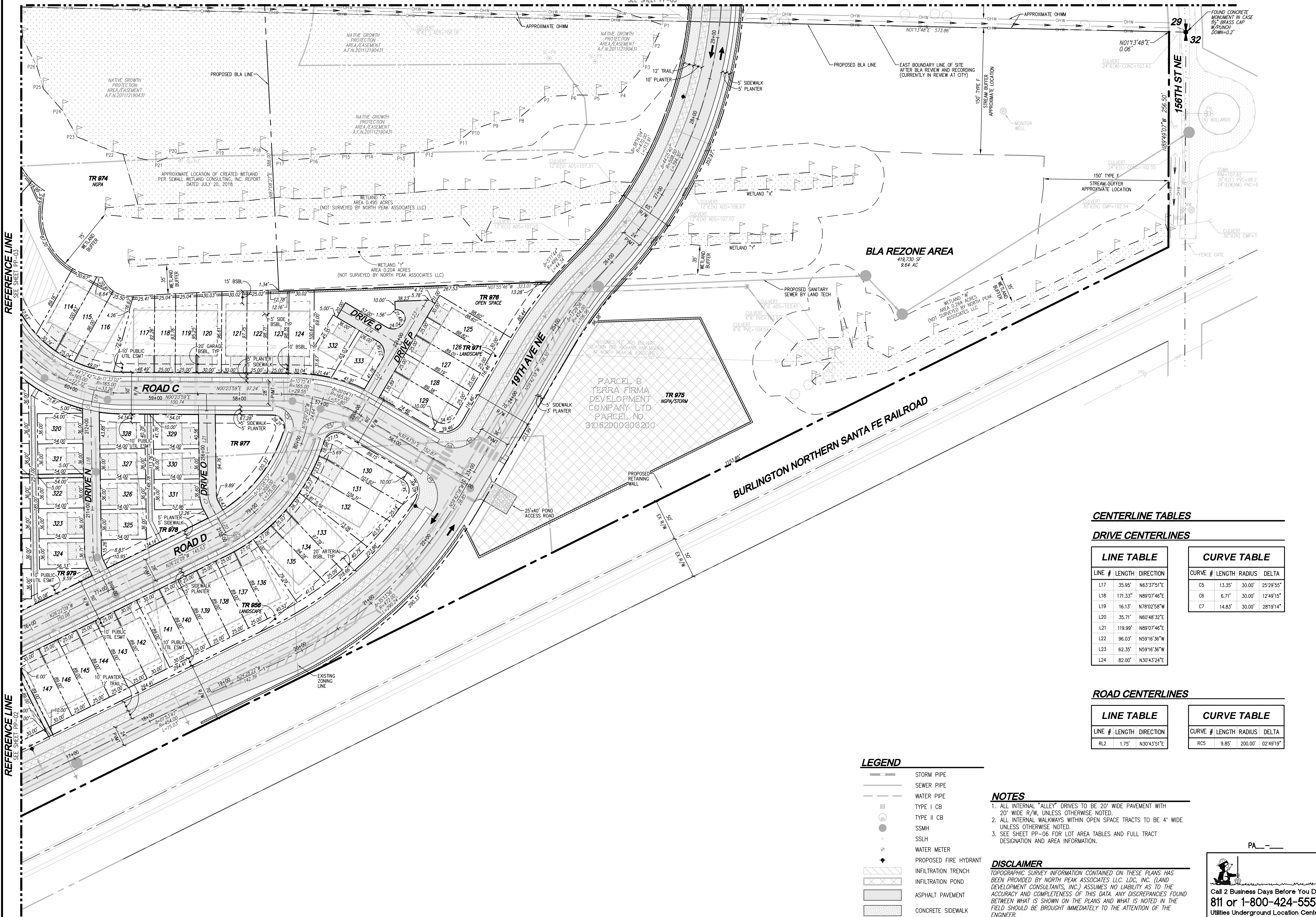
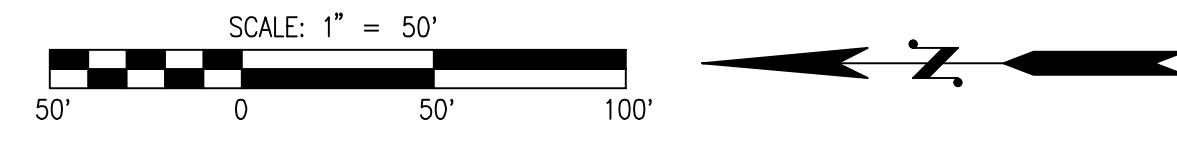
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SW 1/4 OF THE SE 1/4, SEC 29, TWN 31 N, RGE 5 E, W.M., CITY OF MARYSVILLE, SNOHOMISH COUNTY, WASHINGTON



REFERENCE LINE
SEE SHEET PP-03

REFERENCE LINE
SEE SHEET PP-02

REFERENCE LINE
SEE SHEET PP-05

LEGEND

- STORM PIPE
- SEWER PIPE
- WATER PIPE
- TYPE I CB
- TYPE II CB
- SSMH
- SSLH
- WATER METER
- PROPOSED FIRE HYDRANT
- INFILTRATION TRENCH
- INFILTRATION POND
- ASPHALT PAVEMENT
- CONCRETE SIDEWALK

- NOTES**
- ALL INTERNAL "ALLEY" DRIVES TO BE 20' WIDE PAVEMENT WITH 20' WIDE R/W, UNLESS OTHERWISE NOTED.
 - ALL INTERNAL WALKWAYS WITHIN OPEN SPACE TRACTS TO BE 4' WIDE UNLESS OTHERWISE NOTED.
 - SEE SHEET PP-06 FOR LOT AREA TABLES AND FULL TRACT DESIGNATION AND AREA INFORMATION.

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CENTERLINE TABLES

DRIVE CENTERLINES

LINE TABLE

LINE #	LENGTH	DIRECTION
L17	35.95'	N63°37'51"E
L18	171.33'	N89°07'46"E
L19	16.13'	N78°02'58"W
L20	35.71'	N60°48'32"E
L21	119.99'	N89°07'46"E
L22	96.03'	N59°16'36"W
L23	62.35'	N59°16'36"W
L24	82.00'	N30°43'24"E

CURVE TABLE

CURVE #	LENGTH	RADIUS	DELTA
C5	13.35'	30.00'	25°29'55"
C6	6.71'	30.00'	12°49'15"
C7	14.83'	30.00'	28°19'14"

ROAD CENTERLINES

LINE TABLE

LINE #	LENGTH	DIRECTION
RL2	1.75'	N30°43'51"E

CURVE TABLE

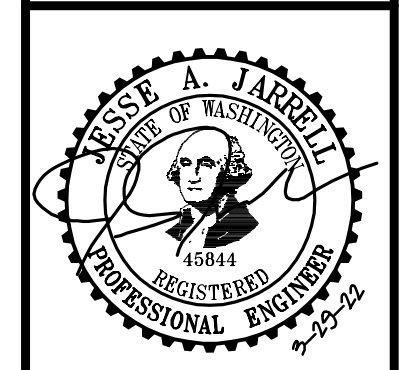
CURVE #	LENGTH	RADIUS	DELTA
RC5	9.85'	200.00'	02°49'19"

REVISIONS

NO.	DATE	DESCRIPTION

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 Kent Woodinville Olympia
 20210 142nd Avenue NE Woodinville, WA 98072
 T 425.806.1869 www.LDCorp.com F 425.482.2893

PULTE GROUP
MARYSVILLE 10 DEGREES
 PRELIMINARY PLAT



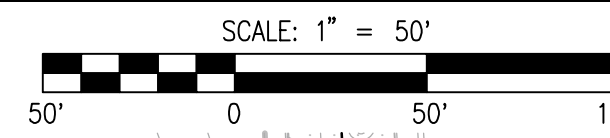
JOB NUMBER: C21150
 DRAWING NAME: C21150PP-PP-PL
 DESIGNER: JAJ
 DRAFTING BY: RCR
 DATE: 8-18-21
 SCALE: 1"=50'
 JURISDICTION: MARYSVILLE

PP-04
 SHEET 4 OF 6

Drawing: P:\Civil\2021\C21150-Marysville 10 Degrees\Drawings\Pre-Plan\C21150PP-PP-PL.dwg Plotted: Mar 29, 2022 - 4:36pm

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 Utilities Underground Location Center

SW 1/4 OF THE SE 1/4, SEC 29, TWN 31 N, RGE 5 E, W.M., CITY OF MARYSVILLE, SNOHOMISH COUNTY, WASHINGTON



LEGEND

- STORM PIPE
- SEWER PIPE
- WATER PIPE
- TYPE I CB
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- SSMH
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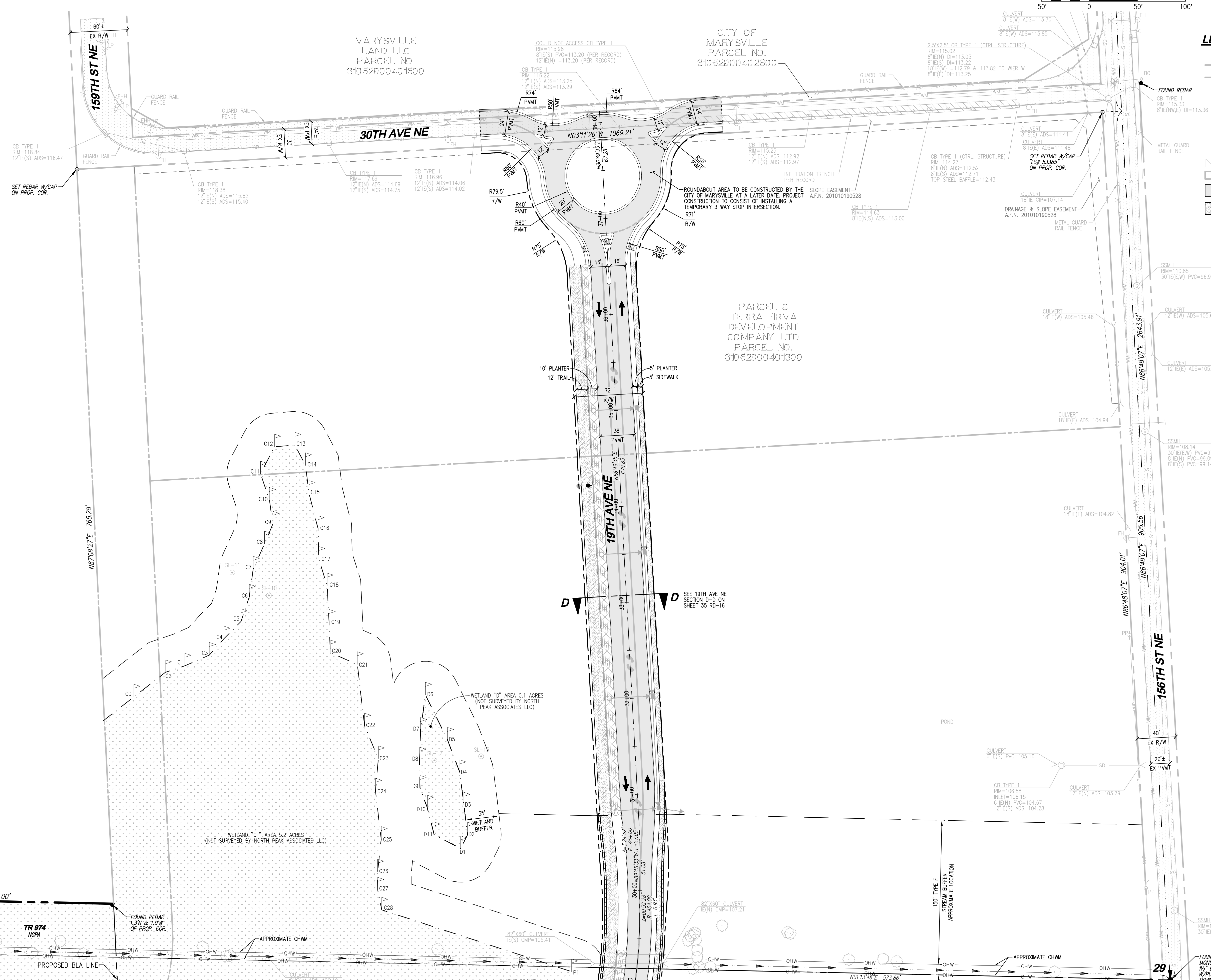
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PULTE GROUP
MARYSVILLE 10 DEGREES
PRELIMINARY PLAT

KESSIE A. JARRELL
PROFESSIONAL ENGINEER

JOB NUMBER: C21150
DRAWING NAME: C21150PP-PP-PL
DESIGNER: JAJ
DRAFTING BY: RCR
DATE: 8-18-21
SCALE: 1"=50'
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PP-05
SHEET 5 OF 6



- NOTES**
- ALL INTERNAL "ALLEY" DRIVES TO BE 20' WIDE PAVEMENT WITH 20' WIDE R/W, UNLESS OTHERWISE NOTED.
 - SEE SHEET PP-06 FOR LOT AREA TABLES AND FULL TRACT DESIGNATION AND AREA INFORMATION.

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REFERENCE LINE
SEE SHEET PP-03

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SEE SHEET PP-04

SW 1/4 OF THE SE 1/4, SEC 29, TWN 31 N, RGE 5 E, W.M., CITY OF MARYSVILLE, SNOHOMISH COUNTY, WASHINGTON

TRACT AREA TABLE

TRACT NUMBER	TRACT DESIGNATION	TRACT AREA (SF)	*REC. AREA (SF)
999	NGPA/OPEN SPACE	125,191	
998	STORM/REC. OPEN SPACE	13,544	13,544
997	STORM/OPEN SPACE	5,932	
996	STORM/REC. OPEN SPACE	17,660	12,216
995	STORM/REC. OPEN SPACE	12,269	12,269
994	STORM/REC. OPEN SPACE	11,040	11,040
993	OPEN SPACE	2,760	
992	STORM/REC. OPEN SPACE	10,756	10,756
991	OPEN SPACE	2,760	
990	OPEN SPACE	2,760	
989	OPEN SPACE	1,717	
988	OPEN SPACE	1,445	
987	STORM/OPEN SPACE	2,250	
986	OPEN SPACE	1,190	
985	OPEN SPACE	4,688	
984	STORM/OPEN SPACE	3,650	
983	OPEN SPACE	1,383	
982	STORM/REC. OPEN SPACE	9,320	4,824
981	STORM/REC. OPEN SPACE	9,442	8,826
980	OPEN SPACE	1,236	
979	OPEN SPACE	5,912	
978	OPEN SPACE	4,441	
977	REC. OPEN SPACE	6,459	6,459
976	OPEN SPACE	9,379	
975	NGPA/STORM	286,918	
974	NGPA	157,030	
973	LANDSCAPE	2,450	
972	LANDSCAPE	3,508	
971	LANDSCAPE	1,473	
970	OPEN SPACE	1,494	
969	ACCESS	275	
968	ACCESS	270	
967	ACCESS	270	
966	ACCESS	270	
965	ACCESS	270	
964	ACCESS	594	
963	LANDSCAPE	3,037	
962	ACCESS	586	
961	LANDSCAPE	3,741	
960	OPEN SPACE	1,655	
959	ACCESS	594	
958	LANDSCAPE	5,481	
957	LANDSCAPE	2,140	
TOTAL LANDSCAPE		19,690	
TOTAL OPEN SPACE		292,385	
TOTAL TRACT AREA		737,098	
TOTAL REC OPEN SPACE			79,936

*NOTE: REC OPEN SPACE INCLUDES AREAS WITHIN ASSOCIATED OPEN SPACE THAT CONTAIN AT LEAST A 30' DIMENSION.

LOT SIZE SUMMARY

LOTS PROPOSED: 333
 AVERAGE LOT SIZE: 2,327 SF
 SMALLEST LOT SIZE: 1,944 SF (SFR LOTS)
 LARGEST LOT SIZE: 4,321 SF (LOT 104)

LOT AREA TABLE

LOT NUMBER	LOT AREA (SF)	LOT NUMBER	LOT AREA (SF)	LOT NUMBER	LOT AREA (SF)	LOT NUMBER	LOT AREA (SF)
1	3,531	85	2,670	169	2,137	253	1,944
2	2,679	86	2,225	170	2,099	254	1,944
3	3,356	87	2,225	171	2,330	255	1,944
4	3,502	88	2,225	172	2,217	256	1,944
5	2,439	89	2,670	173	1,944	257	2,214
6	2,358	90	2,670	174	1,944	258	2,214
7	2,267	91	2,225	175	1,944	259	1,944
8	2,205	92	2,225	176	1,944	260	1,944
9	2,703	93	2,225	177	1,944	261	1,944
10	2,716	94	2,225	178	1,944	262	1,944
11	2,228	95	2,670	179	1,944	263	2,430
12	2,947	96	2,670	180	2,217	264	2,430
13	2,881	97	2,225	181	2,217	265	1,944
14	2,123	98	2,225	182	1,944	266	1,944
15	2,134	99	2,225	183	1,944	267	1,944
16	2,176	100	2,225	184	1,944	268	1,944
17	2,240	101	4,133	185	1,944	269	2,214
18	2,758	102	2,863	186	1,944	270	2,458
19	3,889	103	2,855	187	1,944	271	2,154
20	2,110	104	4,321	188	1,944	272	2,106
21	2,100	105	3,067	189	2,217	273	2,059
22	2,854	106	2,225	190	2,214	274	2,011
23	2,669	107	2,227	191	1,944	275	2,403
24	2,225	108	2,271	192	1,944	276	1,980
25	2,225	109	2,380	193	1,944	277	1,980
26	2,670	110	3,737	194	1,944	278	1,980
27	2,670	111	4,172	195	1,944	279	1,980
28	2,225	112	2,738	196	1,944	280	1,980
29	2,225	113	2,996	197	1,944	281	1,980
30	2,225	114	2,835	198	1,944	282	1,980
31	2,670	115	2,498	199	1,944	283	1,980
32	2,670	116	3,477	200	1,944	284	1,980
33	2,225	117	3,358	201	1,944	285	1,980
34	2,225	118	2,325	202	2,214	286	1,980
35	2,225	119	2,363	203	2,482	287	2,146
36	2,225	120	2,880	204	2,176	288	2,146
37	2,670	121	2,915	205	2,133	289	2,437
38	2,670	122	2,456	206	2,089	290	2,828
39	2,225	123	2,464	207	2,046	291	2,058
40	2,230	124	2,976	208	2,002	292	1,944
41	2,290	125	2,661	209	1,959	293	1,944
42	3,502	126	2,223	210	2,436	294	1,944
43	3,194	127	2,228	211	1,944	295	1,944
44	2,225	128	2,232	212	1,944	296	2,214
45	2,225	129	3,013	213	1,944	297	2,214
46	2,225	130	3,959	214	1,944	298	1,944
47	2,670	131	2,788	215	1,946	299	1,944
48	2,670	132	3,533	216	2,488	300	1,944
49	2,225	133	3,352	217	1,944	301	1,944
50	2,225	134	2,404	218	1,944	302	2,492
51	2,225	135	3,162	219	1,944	303	2,345
52	2,670	136	3,044	220	1,944	304	1,944
53	2,670	137	2,225	221	2,214	305	1,944
54	2,225	138	2,225	222	2,214	306	1,944
55	2,225	139	2,225	223	1,944	307	1,944
56	2,225	140	2,225	224	1,944	308	1,944
57	2,225	141	2,670	225	1,944	309	1,944
58	2,670	142	2,670	226	1,944	310	1,944
59	2,670	143	2,225	227	2,430	311	2,156
60	2,225	144	2,225	228	2,430	312	2,215
61	2,225	145	2,225	229	1,944	313	1,944
62	2,670	146	2,225	230	1,944	314	1,944
63	2,772	147	2,670	231	1,944	315	1,944
64	2,250	148	2,670	232	1,944	316	1,944
65	2,250	149	2,225	233	2,214	317	1,944
66	2,250	150	2,225	234	2,214	318	1,944
67	2,250	151	2,225	235	1,944	319	1,944
68	2,700	152	2,225	236	1,944	320	1,944
69	2,700	153	2,670	237	1,944	321	1,944
70	2,250	154	2,670	238	1,944	322	1,944
71	2,700	155	2,225	239	2,430	323	1,944
72	2,700	156	2,226	240	2,430	324	1,971
73	2,250	157	2,268	241	1,944	325	1,944
74	2,250	158	3,238	242	1,944	326	1,944
75	2,250	159	3,895	243	1,944	327	1,944
76	2,250	160	2,350	244	1,944	328	2,251
77	2,700	161	2,350	245	2,214	329	2,223
78	2,700	162	2,820	246	2,214	330	1,944
79	2,250	163	2,820	247	1,944	331	1,966
80	2,250	164	2,350	248	1,944	332	2,317
81	2,700	165	2,350	249	1,944	333	2,417
82	2,700	166	2,814	250	1,944		
83	2,250	167	2,604	251	2,430		
84	2,700	168	2,267	252	2,430		

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PULTE GROUP
MARYSVILLE 10 DEGREES
 PRELIMINARY PLAT

KESSE A. JARRELL
 16844
 PROFESSIONAL ENGINEER

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PP-06
 SHEET 6 OF 6