

A PORTION OF SECTION 28, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.

**LEGEND**

- PROJECT BOUNDARY
- EXIST. R/W LINE
- PROPOSED R/W LINE
- EXIST. PARCEL LINE
- PROPOSED TRACT LINE
- PROPOSED LOT LINE
- UNIT AIR SPACE FOR SFDU
- EXIST. EASEMENT LINE
- EASEMENT LINE
- BUILDING SETBACK
- PROPOSED CONTOUR MAJOR
- PROPOSED CONTOUR MINOR
- CONTOUR MAJOR, EXIST
- CONTOUR MINOR, EXIST
- EXIST. EDGE OF PAVEMENT
- EXIST. WATER LINE
- EXIST. SEWER LINE
- EXIST. STORM LINE
- EXIST. STORM CULVERT
- EXIST. POWERLINE
- EXIST / PROP. POWER POLE
- EXIST. GAS LINE
- ROCK WALL
- EXIST. FENCE
- PROPOSED METAL FENCE
- PROPOSED MIN. CHAIN FENCE
- EXIST. BUILDING
- PROPOSED PAVED AREA
- WETLAND BUFFER
- ADDITIONAL WETLAND BUFFER

**LANDSCAPE DATA**

Total site area 435,940 sf (10.01 ac)

**Landscaping required**  
Total required (15% of Total Area) 65,391 sf (1.50 ac)

**Landscaping provided**  
Total landscaping 71,901 sf (1.65 ac)

**AQUIFER RECHARGE/ WELL HEAD PROTECTION**

**SOILS**  
Custer Fine Sandy Loam;  
Hydrologic Soil Group: C/D  
Compact Fill Area to 95% Modified Proctor

**LAND DISTURBING AREA**

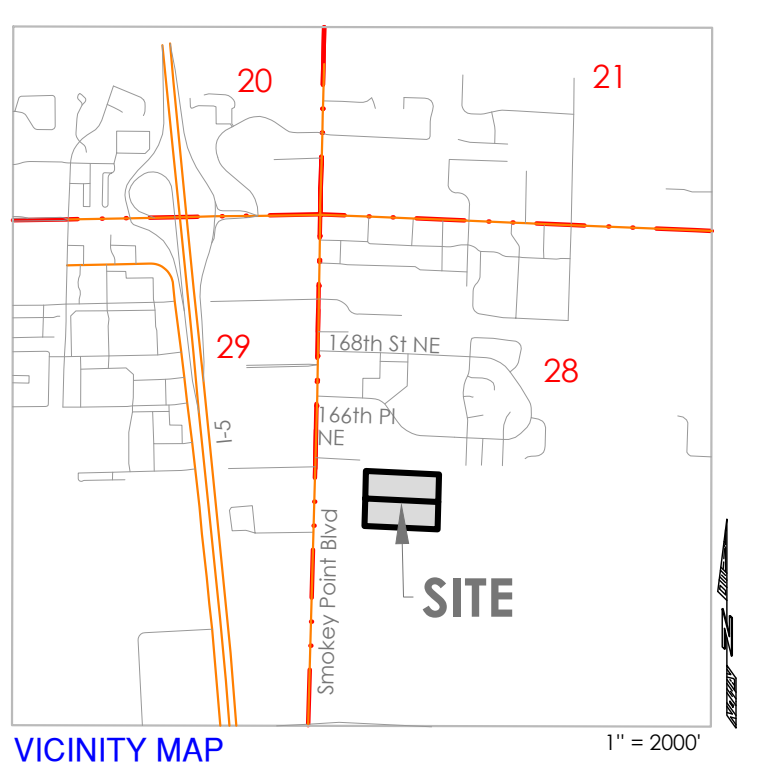
Total site area 435,940 sf (10.01 ac)

**Impervious area**

- Drive aisle 143,611 sf (3.30 ac)
- Sidewalk 600 sf (0.01 ac)
- PGIS total 144,211 sf (3.31 ac)
- Roof 200,291 sf (4.60 ac)
- Max. impervious coverage 370,549 sf (8.51 ac)
- Total impervious 344,502 sf (7.91 ac)
- Land disturbing activity Conceptual area of disturbance 387,895 sf (8.90 ac)

**Site grading**

- Cut 0 cy
- Fill 57,843 cy



**LEGAL DESCRIPTION**

310528-003-016-00  
SEC 28 TWP 31 RGE 05PTN N1/2 SW1/4 BEING LOT 4 OF SURV REC UNDER AUD FILE NO. 7804170304 VOL 7 OF SURVEYS PG 87

310528-003-017-00  
SEC 28 TWP 31 RGE 05PTN N1/2 SW1/4 BEING LOT 5 OF SURV REC UNDER AUD FILE NO. 7804170304 VOL 7 OF SURVEYS PG 87

**DATUM & BENCHMARK**

DATUM: NAVD 88 (NGVD 29 = NAVD 88-3.71)

BENCHMARK: None yet established.

**SURVEY NOTES**

1. Benchmark survey note: this is a feasibility map with wetlands for site development layout only and is not a boundary survey. The boundary shown was calculated from the record of survey AFN: 7804170304.

**PROJECT INFORMATION**

Tax Parcel Numbers 310528-003-016-00, 310528-003-017-00  
Total Area 435,940 sf (10.01 ac)  
GPP Designation General Commercial  
Existing Land Use Vacant  
Proposed Land Use Vacant

**LOCAL SERVICES**

Sewage Disposal: City of Marysville Sewer System  
Water District: City of Marysville Water System  
Fire District: Marysville Fire District 306  
Post Office: Marysville  
Electric: Snohomish County PUD  
Phone: Frontier  
Cable: Comcast  
Gas: Comcast

**CONTACT PERSON**  
Land Technologies Inc.  
Merle Ash  
18820 3rd Ave. NE  
Arlington, WA 98223  
360.652.9727  
merle@landtechway.com

**APPLICANT**  
Richard Peterson  
170 120th Ave NE Ste 203  
Bellevue, WA 98005

**OWNER**  
163 BUSINESS PARK LLC  
13420 NE 53rd St  
Redmond, WA 98052

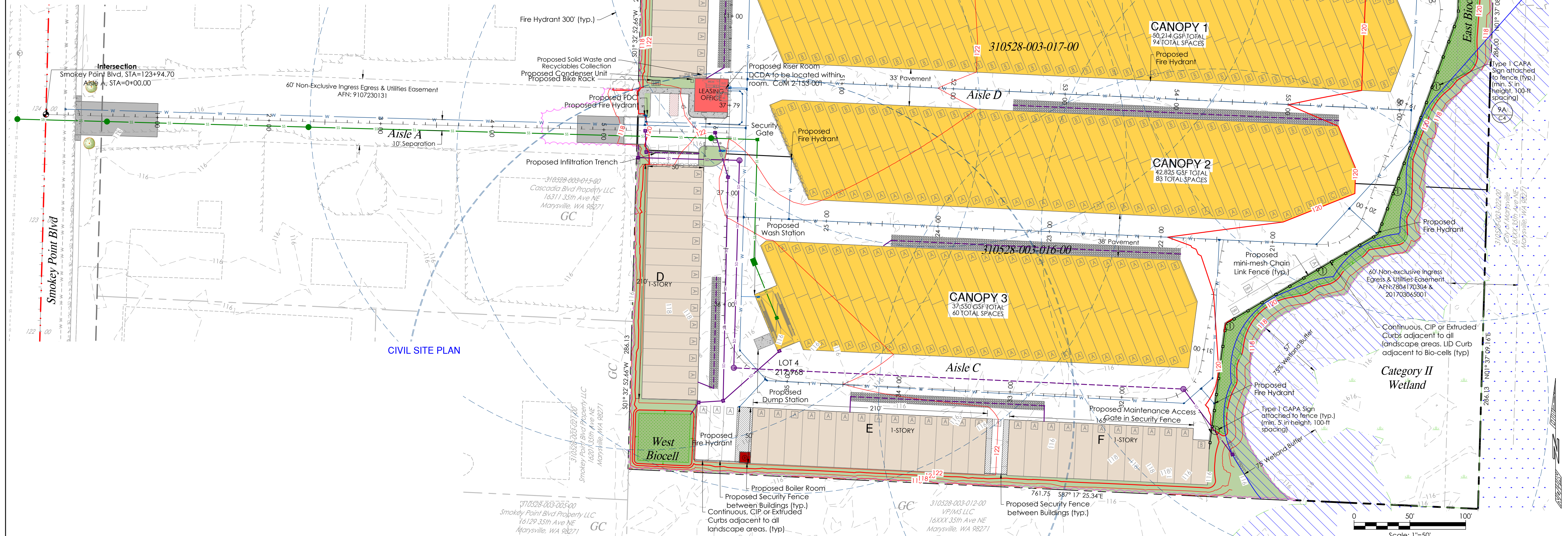
**CERTIFIED EROSION CONTROL SPECIALIST**

**CONSTRUCTION DRAWING REVIEW ACKNOWLEDGEMENT**

THIS PLAN SHEET HAS BEEN REVIEWED AND EVALUATED FOR GENERAL COMPLIANCE WITH THE APPLICABLE CITY OF MARYSVILLE CODES AND ORDINANCES. CONFORMANCE OF THIS DESIGN WITH ALL APPLICABLE LAWS AND REGULATIONS IS THE FULL AND COMPLETE RESPONSIBILITY OF THE LICENSED DESIGN ENGINEER, WHOSE STAMP AND SIGNATURE APPEAR ON THIS SHEET. ACKNOWLEDGMENT OF CONSTRUCTION DRAWING REVIEW DOES NOT IMPLY CITY APPROVAL FOR CONSTRUCTION ACTIVITIES THAT REQUIRED OTHER COUNTY, STATE OR FEDERAL PERMIT REVIEW AND APPROVAL. THE PROPERTY OWNER AND LICENSED DESIGN ENGINEER SHALL BE RESPONSIBLE FOR THE ACQUISITION AND COMPLIANCE OF ALL APPLICABLE PERMITS OR AUTHORIZATIONS WHICH MAY INCLUDE BUT ARE NOT LIMITED TO: WSPW, HYDRAULIC PROJECT APPROVAL (HPA), WSDOE NOTICE OF INTENT (NOI), ANY CORPS OF ENGINEERS FILL PERMITS AND THE REQUIREMENTS OF THE ENDANGERED SPECIES ACT. THIS DAY OF \_\_\_\_\_, 202\_\_.

JOSH KING, P.E., DEVELOPMENT SERVICES MANAGER

THESE APPROVED CONSTRUCTION PLANS EXPIRE AFTER PERIOD OF 60 MONTHS FROM THE DATE SHOWN ABOVE OR UPON EXPIRATION OF PRELIMINARY PLAT OR SITE PLAN APPROVAL PER MMC 22A.040.020 & 22A.040.030.



- High Security for Industrial, Commercial & Residential Safety

When maximum security and protection are required, chain link mini mesh fencing is the perfect solution. Mini mesh chain link fabric is woven and smaller links compared with average chain link fences. Mini mesh opening forms an impenetrable barrier between your property and intruders, which is extremely difficult to cut through with bolt cutters or get a foothold to climb it. Besides, the mini mesh chain link fencing is durable, corrosion resistant, high security to keep your valuables safe.

**SIZE OPTIONS**

Technical Data for Different Use			
Recommended Use	Mesh Size	Gauge Size	Height of Fence Fabric
Industrial Security	1"	6	96"
	1"	9	
	1"	11	
Security (Silver or Black)	3/4"	11	24" - 144"
	5/8"	9	
	1/2"	11	

**CHAINLINK MINI-MESH FENCING**

**22 MINI-MESH CHAINLINK FENCE**  
SCALE: NTS

**PERIMETER SECURITY FENCE - 8' TALL COMMERCIAL**

**FENCING NOTES:**

- Security fence shall be placed between buildings and along western boundary entrance.
- Mini-mesh fencing is placed along eastern pavement boundary of storm facility and wetland buffer.

**21 SECURITY METAL FENCE**  
SCALE: NTS

**Sheet List Table**

Sheet Number	Sheet Title
C1	Civil Site Plan
C2	Construction Notes
C3	Clearing, Grading & TESC Plan
C4	Grading & TESC Details
C5	Site Cross Sections
C6	Site Cross Sections
C7	Drive Aisle A Plan and Profile
C8	Drive Aisle B Plan and Profile Sta 0+00 - 18+00
C9	Drive Aisle B Plan and Profile Sta 18+00 - 26+14
C10	Drive Aisle C Plan and Profile
C11	Drive Aisle D Plan and Profile
C12	Road Details
C13	Stormwater Management Overview Plan
C14	Stormwater Management Plan and Profile
C15	Stormwater Management Details
C16	Sewer and Water Overview Plan
C17	Sewer and Water Plan and Profile
C18	City of Marysville Sewer Details
C19	City of Marysville Water Details
C20	AutoTurn - Vehicle Tracking

**LAND TECHNOLOGIES**  
18820 Third Avenue, N.E.  
Arlington, WA 98223  
360-652-9727

PROJECT LEAD: Merle Ash  
CHECKED BY: Tyler Foster  
DRAWN BY: -  
APPLICATION DATE: -  
SITE APPROVAL DATE: -  
REVISION DATE: -  
LDA APPROVAL: -  
AS BUILT: -

163 RV Storage  
163XX Smokey Point Blvd, Marysville, WA 98271  
A PORTION OF SECTION 28, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.

**CIVIL SITE PLAN**

Richard Peterson  
170 120th Ave NE Ste 203, Bellevue, WA 98005

SHEET C1 of C20  
24x36  
PA23016

A PORTION OF SECTION 28, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.

LEGEND table listing various symbols and their corresponding descriptions for Boundary Line, Design Path, Existing Path, Design Water Line, Existing Water Line, Design/Existing Water Hydrants, Design/Existing Water Fittings, Design Fence, Existing Fence, Existing Wetland Line/Hatch, Design Buffer Line/Hatch, Existing Buffer Line/Hatch, Existing Section Line, Existing Section Symbol, Existing Power Line, Existing Power Symbol, Existing Telephone Line, Existing Telephone Symbol, Existing Gas Line, Existing Gas Symbol, Existing Flow Path, Existing Tree Drip Line, Design Filler Strip, Design Area of Disturbance, Temporary Construction Entrance, Existing Soil Log, BMP Designations, Designed Bio-Retention Cell, Designed Bio-Retention Cell Liner, Road Drain Dispersion w/100' Flow Path, and NGPA signs.

GRADING, EROSION AND SEDIMENTATION CONTROL NOTES

- 1. All limits of clearing and areas of vegetation preservation as prescribed on the plans shall be clearly flagged in the field and observed during construction.
2. All required sedimentation and erosion control facilities must be constructed and in operation prior to any land clearing and/or other construction to ensure that sediment laden water does not enter the natural drainage system.
3. The erosion and sedimentation control system facilities depicted on these plans are intended to be minimum requirements to meet anticipated site conditions.
4. Approval of these plans is for grading, temporary drainage, erosion and sedimentation control only.
5. Any disturbed area which has been stripped of vegetation and where no further work is anticipated for the time period set forth by the SWPPP...
6. In case erosion or sedimentation occurs to adjacent properties...
7. Stockpiles are to be located in safe areas adequately protected by temporary seeding and mulching.
8. Non-compliance with the requirements for erosion controls, water quality, and clearing limits may result in revocation of project permit...
9. All earth work shall be performed in accordance with City Standards.
10. If cut and fill slopes exceed a maximum of two feet horizontal to one foot vertical...
11. The Surface of all slopes shall be compacted...
12. Upon completion of work, final reports must be submitted to the City in conformance with the current City adopted International Building Code.

MAINTENANCE OF SILTATION BARRIERS

- 1. Siltation barriers shall be inspected immediately after each rainfall and at least daily during prolonged rainfall.
2. The contractor shall be responsible for obtaining all permits for utility, road, and right-of-way construction.

TEMPORARY GRAVEL CONSTRUCTION ENTRANCE

- 1. The temporary construction entrance should be cleared of all vegetation, roots, and other objectionable material.
2. Gravel shall be crushed ballast rock, 8" to 12" in depth and installed to the specified dimensions at the entrance.
3. The gravel ballast rock shall be 4" to 8" in diameter and placed across the full width of the vehicular ingress and egress area.
4. If conditions on the site are such that most of the mud is not removed from vehicle tires by contact with the gravel...
5. The entrance shall be maintained in a condition which will prevent tracking of mud onto public rights-of-way.

HYDROSEEDING GENERAL NOTES

- 1. Construction Acceptance: Will be subject to a well established ground cover that fulfills the requirements of the approved construction plans and City of Marysville Standards.
2. All disturbed areas such as retention facilities, roadway backstops, etc., shall be seeded with a perennial ground cover grass to minimize erosion.
3. Preparation of Surface: All areas to be seeded shall be prepared in a manner consistent with BMP TS.13 Post Construction Soil Quality and Depth in Chapter 5 of Volume V of the stormwater manual.
4. Immediately following final grading permanent vegetation shall be applied consistent with the design and maintenance standards for Temporary and Permanent Seeding in the City adopted Department of Ecology Stormwater Management Manual for Western Washington.

ROADWAY NOTES

- 1. Manurements shall be installed at all street intersections, at angle points, and points of curvature in each street.
2. Curb and gutter installation shall conform to City Standard Detail 3-514.
3. Sidewalks and driveways shall be installed as lots are built on.
4. The surrounding ground [5 feet beyond the base] for all power transformers, telephone/TV pedestals, and street light main disconnects shall be graded to a positive 2 percent slope from top of curb.
5. Signage and traffic control devices are safety items and shall be installed prior to issuance of any certificate of occupancy or plat approval.
6. Prior to any sign or striping installation or removal the Contractor shall contact the City sign specialist.

CHANNELIZATION & SIGNING

Approved permanent traffic control signs and markings within the public Right-of-Way (ROW) shall be installed by City forces. The developer shall pay for installation of all devices. The inspector shall notify the Department of Public Works (DPW) Traffic Operations when the project is ready for channelization and signing.

During project construction, the contractor shall provide and maintain all temporary construction signs, traffic control signs, delineators and temporary markings as required. All signs, traffic control signs, delineators and temporary markings shall be according to the current Manual of Uniform Traffic Control Devices (MUTCD).

Access by emergency vehicles shall be maintained at all times during construction.

After work within the traveled roadway is completed at the end of each day, the road shall be clear of debris and equipment and completely open to traffic (unless otherwise approved by the DPW of the City).

A ROW use permit is required from the DPW for any lane/road closure within the City ROW. Contact DPW at least 15 days prior to construction activity within the public ROW. City does not have jurisdiction on state routes, roadways within incorporated cities, private roads, or private property.

WET WEATHER GRADING NOTES

Grading from October 1 to March 31st is not permitted without specific approval. If permitted, soil may be exposed for not more than two (2) days, if wet weather grading has been permitted by city. From May 1 to September 30, soil shall not be exposed for more than seven (7) days. Ground cover BMPs shall be used to stabilize the soil including but not limited to PVC cover, straw or other BMPs approved by the City.

STORMWATER NOTES

- 1. During construction, all existing and newly installed drainage structures shall be protected from sediments.
2. All storm manholes shall conform to City Standard Detail No.4-080-009.
3. Manhole ring and cover shall conform to City Standard Detail 4-080-009 and 4-080-015 thru 4-080-024.
4. Catch basins shall conform to City Standard Detail No.4-080-007 and 4-080-008 and shall be used only for depths less than 5 feet from top of the grate to the invert of the storm pipe.
5. Catch basins Type II shall conform to City Standard Detail No. 4-080-009 and shall be used for depths greater than 5 feet from top of the grate to the invert of the storm pipe.
6. Cast iron or ductile iron frame and grate shall conform to City Standard Detail No.4-080-022.
7. All catch basins and manholes located outside of paved areas, shall be placed in a six foot square by four inch thick concrete pad.
8. All catch basins and manholes shall have locking lids.
9. Contractor shall be responsible for adjusting all manhole, inlet and catch basin frames and grates to grade just prior to curb installation and/or paving.
10. Trenching, bedding, and backfill for pipe shall conform to City Standard Detail No. 3-703-002 and-003.
11. Trench backfill of new utilities and stormwater drainage system features shall be compacted to 95% maximum density.
12. Storm pipe shall be a minimum of 10 feet away from building foundations and/or roof lines.
13. After all other utilities are installed and prior to asphalt work, all storm pipe shall pass a low pressure air test in accordance with Section 7-04.3(1) E & F of the WSDOT Standard Specifications for Road, Bridge, and Municipal Construction.
14. All temporary sedimentation and erosion control measures, and protective measures for critical areas, preserved native vegetation and significant trees shall be installed prior to initiating any construction activities.
15. Stormwater channels with side slopes steeper than 3:1 or with a maximum water depth greater than 3 feet shall require a powder or vinyl coated chain link perimeter fence per standard plans 3-501-007 and -008.
16. Prior to sidewalk construction: lot drainage systems, stub-outs and any behind sidewalk drains must be installed as required.
17. Storm water retention/detention facilities, storm drainage pipe and catch basins shall be flushed and cleaned by the developer prior to City of Marysville final acceptance of the project and upon commencement and completion of the 2-year warranty period for the storm drainage system.
18. Unless otherwise noted, all storm sewer pipe shall be: (CP) non-reinforced concrete, ASTM C-14; (RCP) reinforced concrete for concrete pipe diameters 24" or greater, ASTM C-758; or (CMP) corrugated metal, CMP to be galvanized steel with concrete or asphalt coating or better, or corrugated aluminum or AASHTO M27-47-0 aluminum steel.
19. Corrugated Polyethylene Pipe (CPP):
A. All pipe shall be smooth interior. CPP shall be double-walled.
B. Upon request by the City inspector, all pipe runs shall pass the low pressure air test requirements of Section 7-04.3(1) E & F of the WSDOT Standard Specifications for Road, Bridge, and Municipal Construction.
C. Upon request by the City inspector, pipe shall be subject to mandrel testing (mandrel size = 90% of nominal pipe diameter).
D. Pipe shall be stored on site in shipping bunks on a flat level surface.
E. Minimum depth of cover shall be 2 feet.
F. Couplings shall be integral bell and spigot or double bell separate couplings.
G. Backfill shall comply with Section 7-08.3(3) of the WSDOT Standard Specifications for Road, Bridge, and Municipal Construction modified as follows:
The second paragraph of Section 7-08.3(3) is deleted and replaced with the following:
The material used for backfilling around and to a point 1 foot above the top of the pipe shall be clean earth or sand, free from clay. Any gravel or stones included in the backfill shall pass through a 1 inch sieve.
20. All non-perforated metal pipe shall have neoprene gaskets at the joints.
21. Culvert ends shall be beveled to match side slopes.
22. All field cut culvert pipe shall be treated as required in the Standard Specifications or General Special Provisions.
23. All pipe shall be placed on stable earth.
24. All landscaped and lawn areas, except areas within the dipline of preserved trees, shall be amended per BMP TS.13 Post Construction Soil Quality and Depth in Chapter 5, Volume V of the Stormwater Manual.

STAND PIPE AND SEDIMENT POND MAINTENANCE

- 1. The embankment of the basin should be checked regularly to ensure that it is structurally sound and has not been damaged by erosion or construction equipment.

BIOFILTER SWALE PLANTING NOTES

Final engineering approval is contingent on swale inspection by the City of Marysville Construction Inspection Division of Community Development. Inspection must be requested by calling the City of Marysville Construction Inspection Division of Community Development at 360.363.8100 at least 24 hours prior to inspection date.

Erosion control seed mix or single-weave sod, as determined by the City Engineer or designated representative, shall be placed above the design water surface for the 6-month, 24-hour storm event. A minimum topsoil depth of 4" shall be placed within the swale. The topsoil surface shall be at design grade for the swale.

Table with 4 columns: Recommended Seed Mix for Bioswales, % Fescue, % Bermuda, % Centaurea. Rows include Tall or meadow fescue, Festuca arundinacea or Festuca elatior, Seaside/Creeping bentgrass, and Redtop bentgrass.

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JOSH KING, P.E., DEVELOPMENT SERVICES MANAGER
24x36
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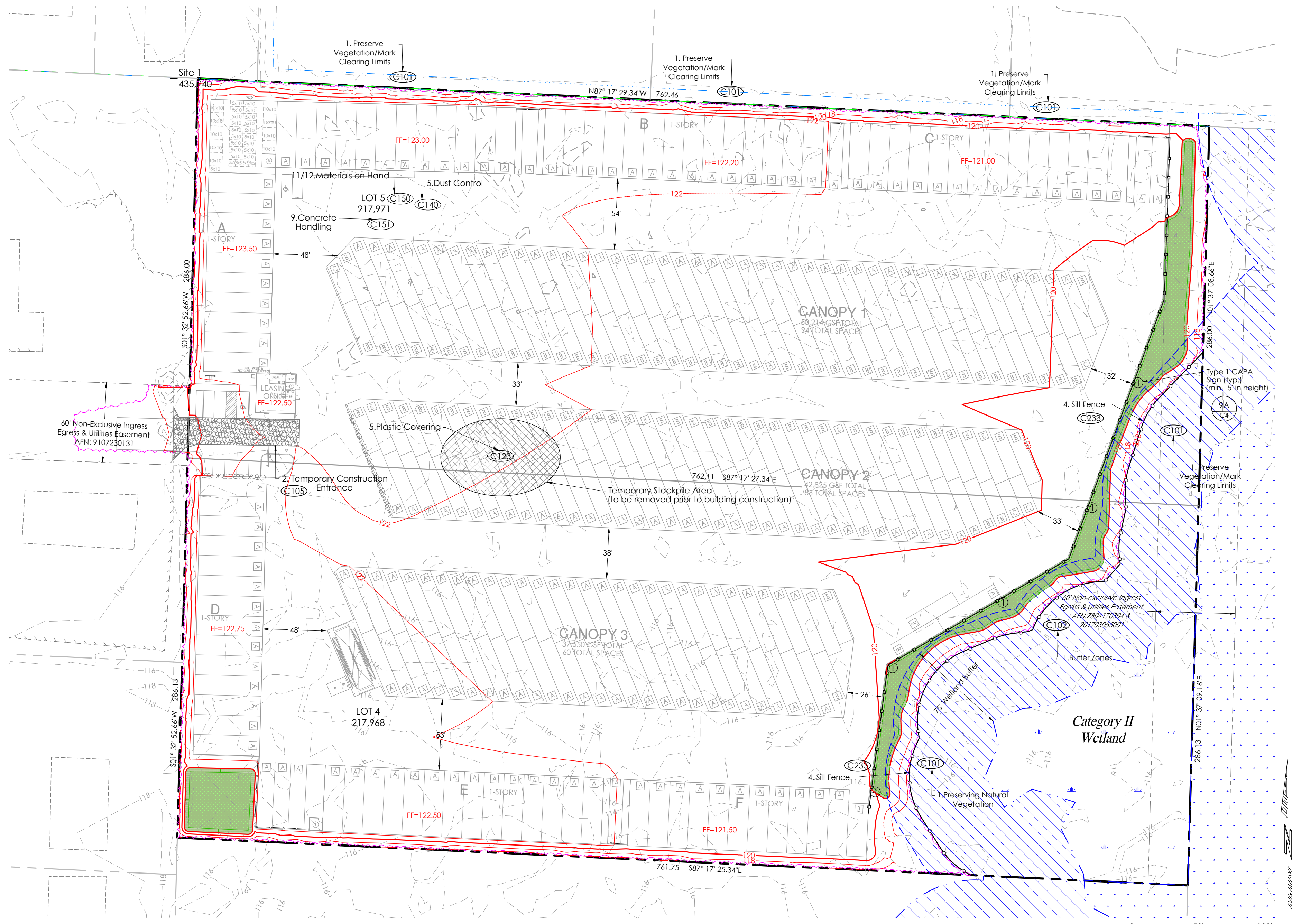
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Z:\Peterson, Richard - Smokey Point 4\Sheets\C3 Construction Notes.dwg
Richard Peterson
163 RV Storage
1535X Smokey Point Blvd, Marysville, WA 98271
A PORTION OF SECTION 28, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.
170 120th Ave NE Ste 203, Bellevue, WA 98005

LAND TECHNOLOGIES logo and contact information: 18820 Third Avenue, N.E., Arlington, WA 98223, 360-652-9727. Includes a 'CONSTRUCTION NOTES' banner and sheet information: SHEET C2 of C20.

A PORTION OF SECTION 28, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.

**LEGEND**

	Boundary Line		EXISTING WETLAND
	Existing Section Line		EXISTING BUFFER
	Existing Right-of-Way Line		
	Existing Lot Line		
	Existing Easement Line		
	Existing Road Centerline		
	Existing Edge of Asphalt		
	Existing Sidewalk		
	Existing Major Contour Line		
	Existing Minor Contour Line		
	Existing Storm Drainage Line		
	Existing Ditch Line		
	Existing Sanitary Sewer Line		
	Existing Water Line		
	Existing Fence		
	Existing Power Line		
	Existing Telephone Line		
	Existing Gas Line		
	Existing Flow Path		
	Area of Disturbance (Clearing Limits)		
	Existing Section Symbol		
	Existing Monument		
	Existing Type 1 Catch Basin		
	Existing Sanitary Sewer Manhole		
	Existing Water Hydrant		
	Existing Water Meters		
	Existing Water Fittings		
	Existing Power Symbol		
	Existing Telephone Symbol		
	Existing Gas Symbol		
	Existing Soil Log		
	Existing Sign		
	Existing Light		
	Existing Mailbox		



CLEARING, GRADING & TESC PLAN

- BMP'S (to be applied as appropriate)**
- ELEMENT #1: PRESERVE VEGETATION/MARK CLEARING LIMITS**
    - C101 Temporary and Permanent Seeding
    - C102 Buffer Zones
    - C103 High Visibility Fence
  - ELEMENT #2: ESTABLISH CONSTRUCTION ACCESS**
    - C105 Stabilized Construction Entrance/Exit
    - C106 Wheel Wash
    - C107 Construction Road/Parking Area Stabilization
  - ELEMENT #3: CONTROL FLOW RATES**
    - C203 Water Bars
    - C240 Sediment Trap
    - C241 Temporary Sediment Pond
    - Not Applicable to My Project
  - ELEMENT #4: INSTALL SEDIMENT CONTROLS**
    - C231 Brush Barrier
    - C232 Gravel Filter Berm
    - C233 Silt Fence
    - C240 Sediment Trap
    - C241 Temporary Sediment Pond
    - C242
  - ELEMENT #5: STABILIZE SOILS**
    - C120 Temporary and Permanent Seeding
    - C121 Mulching
    - C122 Mats and Blankets
    - C123 Plastic Covering
    - C124 Sodding
    - C125 Topsoiling/Compacting
    - C126 Polyacrylamide for Soil Erosion Protection
    - C130 Surface Roughening
    - C131 Gradient Terraces
    - C140 Dust Control
  - ELEMENT #6: PROTECT SOILS**
    - C130 Temporary and Permanent Seeding
    - C131 Gradient Terraces
    - C200 Interceptor Dike and Swale
    - C201 Grass-Lined Channels
    - C203 Water Bars
    - C204 Pipe Slope Drains
    - C205 Subsurface Drains
    - C206 Level Spreader
    - C207 Check Dams
    - C208 Triangular Silt Dike (Geotextile-Encased Check Dam)
    - Not Applicable to This Example
  - ELEMENT #7: PROTECT DRAIN INLETS**
    - C220 Storm Drain Inlet Protection
  - ELEMENT #8: STABILIZED CHANNELS AND OUTLETS**
    - C202 Channel Lining
    - C209 Outlet Protection
    - Not Applicable to My Project
  - ELEMENT #9: CONTROL POLLUTANTS**
    - C151 Concrete Handling
    - C152 Sawcutting and Surfacing Pollution Prevention
    - C153 Material Delivery, Storage and Containment
    - C154 Concrete Washout Area
    - C250 Construction Stormwater Chemical Treatment
    - C251 Construction Stormwater Filtration
    - C252 High PH Neutralization Using CO2
    - C253 PH Control for High PH Water
    - Not Applicable to My Project
  - ELEMENT #10: CONTROL DEWATERING**
    - C236 Vegetated Filtration
    - Not Applicable to My Project

- ELEMENT #11: MAINTAIN BMP'S**
  - C150 Materials on Hand
  - C160 Certified Erosion and Sediment Control Lead
- ELEMENT #12: MANAGE THE PROJECT**
  - C150 Materials on Hand
  - C160 Certified Erosion and Sediment
  - C162 Scheduling
- ELEMENT #13: PROTECT LOW IMPACT DEVELOPMENT**
  - C102 Buffer Zones
  - C103 High Visibility Plastic or Metal Fence
  - C200 Interceptor Dike and Swale
  - C207 Check Dams
  - C208 Triangular Silt Dike
  - C231 Brush Barrier
  - C233 Silt Fence
  - C234 Vegetated Strip

**LAND DISTURBING AREA**

Total Site Area	435,940 sf (10.01 ac)
Land Disturbing Activity	387,895 sf (8.90 ac)
Conceptual Area of Disturbance	

**AQUIFER RECHARGE/ WELL HEAD PROTECTION**

**SOILS**

Cluster Fine Sandy Loam;  
Hydrologic Soil Group: C/D  
Compact Fill Area to 95% Modified Proctor

**CONSTRUCTION SWPPP**

- The 13 elements that are part of a Construction SWPPP are as follows:
- Mark Clearing Limits: Prior to clearing or disturbing the limits must be marked. This element is part of most normal construction plans as one of the first steps.
  - Establish Construction Access: All erosion control plans shall install a stabilized construction entrance (or other method of preventing sediment transport onto the roads). If a standard gravel construction entrance is proposed, use geo-textile fabric under the rock. Note: a wheel wash is required for plans that propose winter grading.
  - Detain Flows: Based on a downstream analysis it may be necessary to detain runoff from a site under construction. It may be necessary to construct and use a detention pond to control flows during construction.
  - Install Sediment Controls: If there is runoff from the construction site, sediment shall be removed from the water. Note that the water quality standards must be met.
  - Stabilize Soils: All exposed and non-worked soil shall be stabilized by use of BMP's. Note there are time periods of allowed exposure that depend on the season. Groundcover both temporary and permanent need to be part of the construction plans.
  - Protect Slopes: Cut and fill slopes need to be protected from erosive flows and concentrated flows until permanent cover and drainage conveyance systems are in place.
  - Protect Drain Inlets: All storm drain inlets require protection from sediment and silt laden water.
  - Stabilize Channels and Outlets: Temporary and permanent conveyance systems shall be stabilized to prevent erosion during and after construction. Culvert outlets require protection.
  - Control Pollutants: The plan shall show how all pollutants, including waste materials and demolition debris, will be handled. This includes maintenance of construction equipment, fertilizers, application of chemicals, and water treatment systems.
  - Control De-Watering: The water from de-watering systems for trenches, vaults and foundations shall be discharged into a controlled system.
  - Maintain BMP's: The plan shall provide for inspection and maintenance of the planned and installed construction BMP's as well as their removal at the end of the project.
  - Manage the Project: The plan shall outline how the site shall be managed for erosion control and identify the management team. It needs to cover phasing, training, pre-construction conference, coordination with utilities and contractors, monitoring and reporting. It shall provide for notice of problems, revisions during construction and contingency planning. One of the most important elements in the management of the project is planning for contingencies based on the risk of exposure during phases of the development. It is essential that planning is ongoing throughout the life of the project.
  - Protect on-site stormwater management BMP's for runoff from roofs and other hard surfaces. On-site Stormwater Management BMP's shall be protected at all times during the construction process. This may mean that stormwater management BMP's will be installed towards the end of the construction process to avoid siltation and compaction.

**CONSTRUCTION DRAWING REVIEW ACKNOWLEDGEMENT**

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JOSH KING, P.E., DEVELOPMENT SERVICES MANAGER  
THESE APPROVED CONSTRUCTION PLANS EXPIRE AFTER PERIOD OF 60 MONTHS FROM THE DATE SHOWN ABOVE OR UPON EXPIRATION OF PRELIMINARY PLAT OR SITE PLAN APPROVAL PER MMC 22A.040.020 & 22A.040.030.



**LAND TECHNOLOGIES**  
18820 Third Avenue, N.E.  
Arlington, WA 98223  
360-652-9727

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PROJECT LEAD: *Alexis*  
CHECKED BY: *Flyer*  
DRAWN BY: -  
APPLICATION DATE: -  
SITE APPROVAL DATE: -  
REVISION DATE: -  
LDA APPROVAL: -  
AS-BUILT: -

163 RV Storage  
163XX Smokeley Point Blvd. Marysville, WA 98271  
A PORTION OF SECTION 28, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.

Richard Peterson  
170 120th Ave NE Ste 203, Bellevue, WA 98005

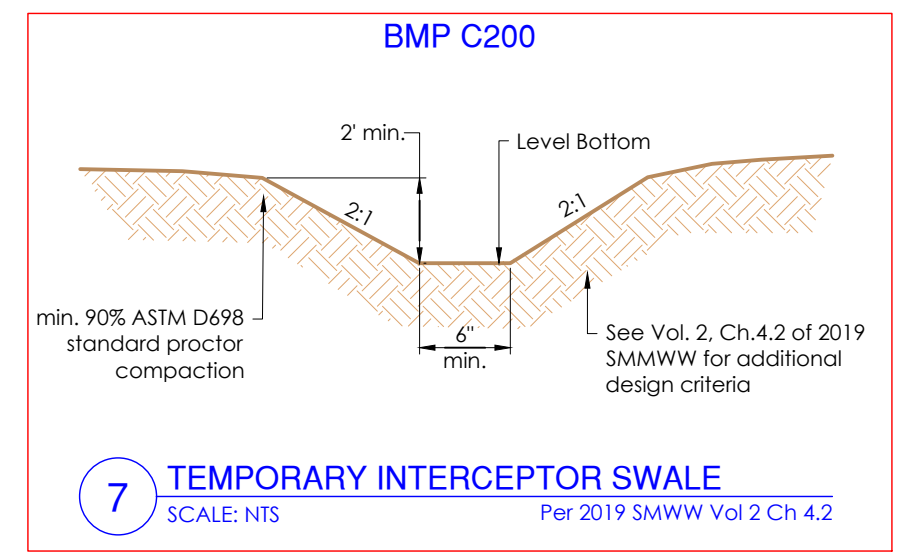
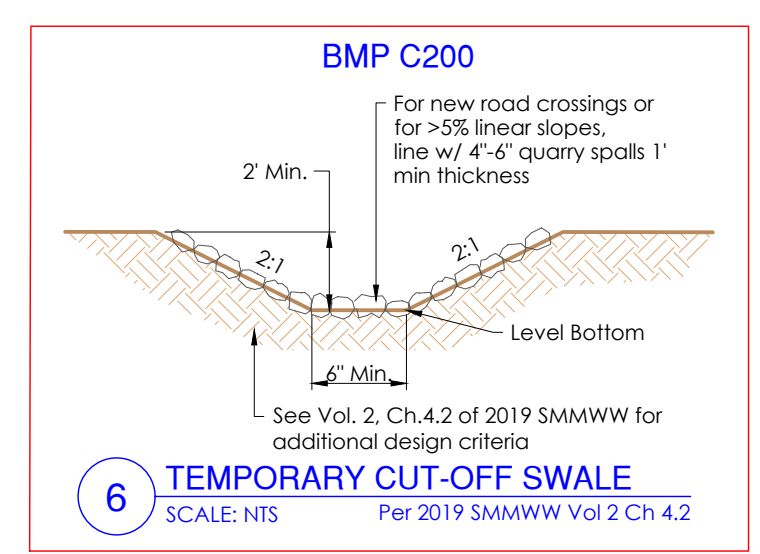
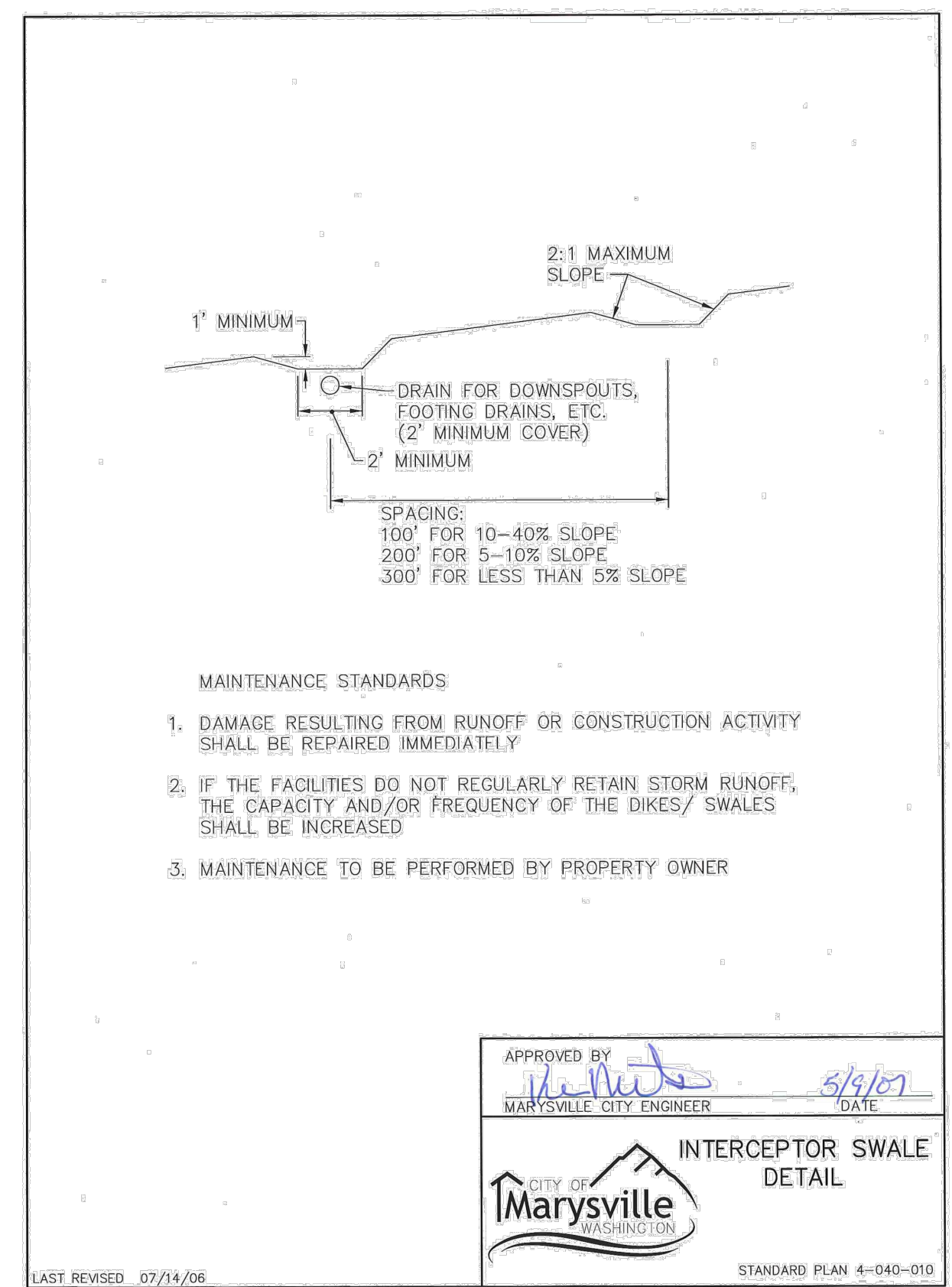
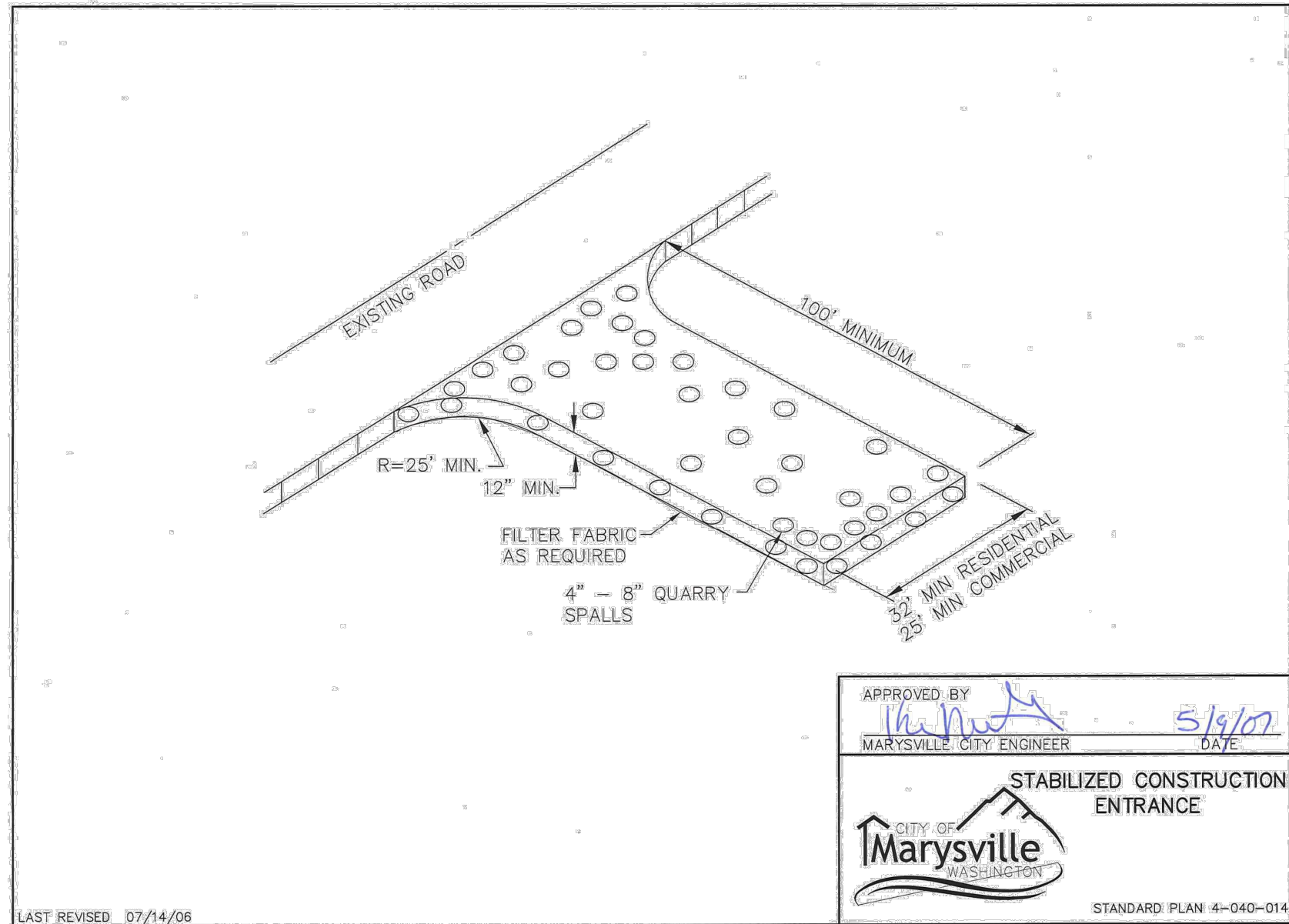
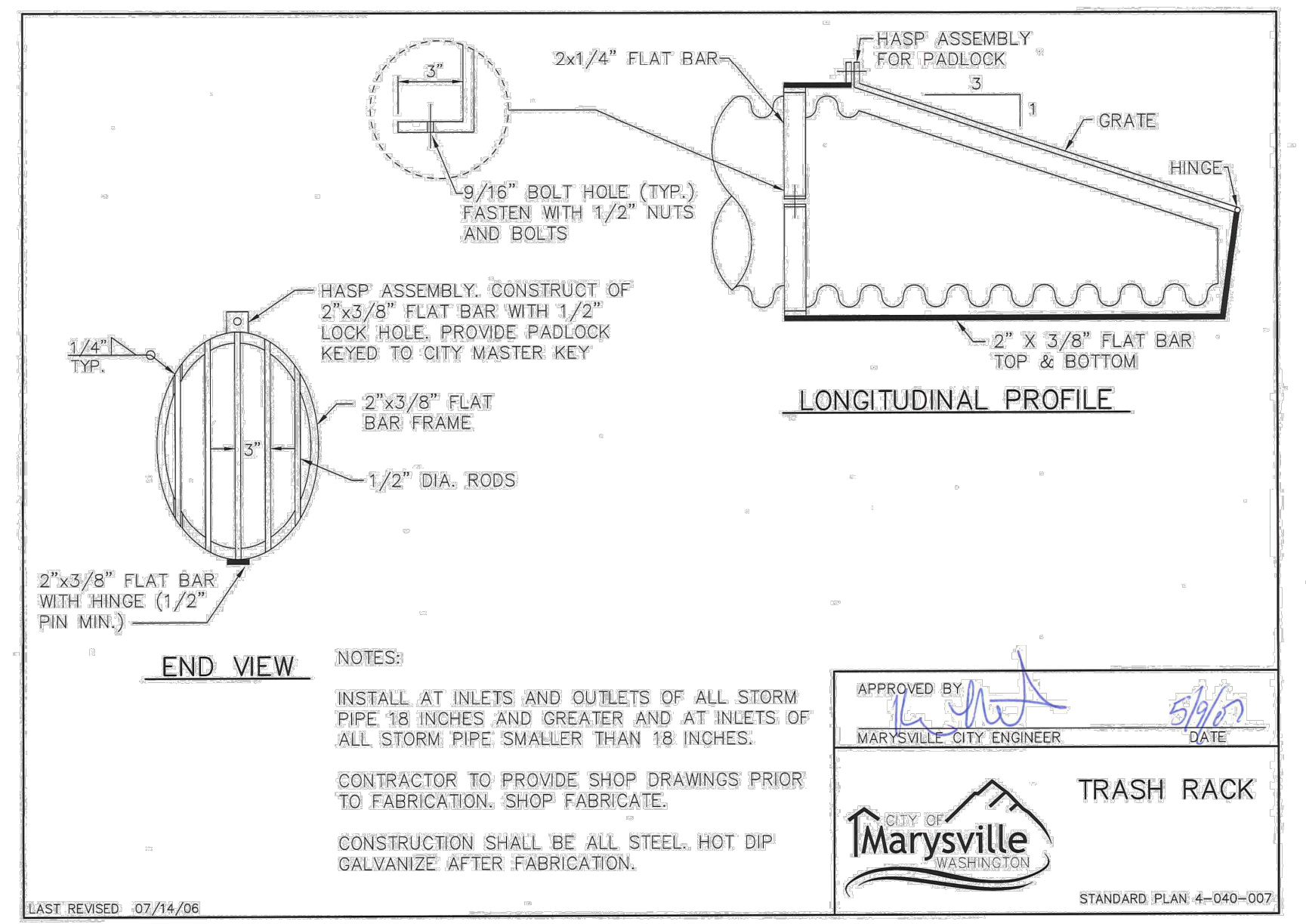
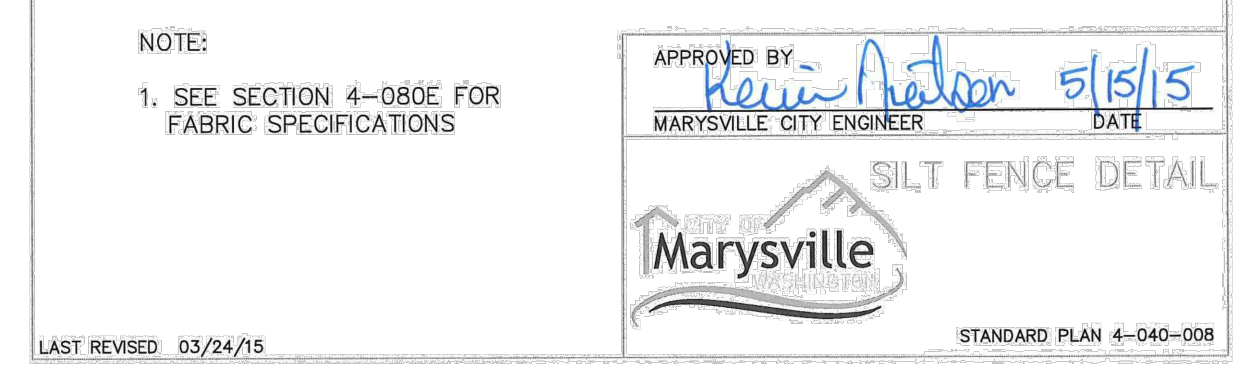
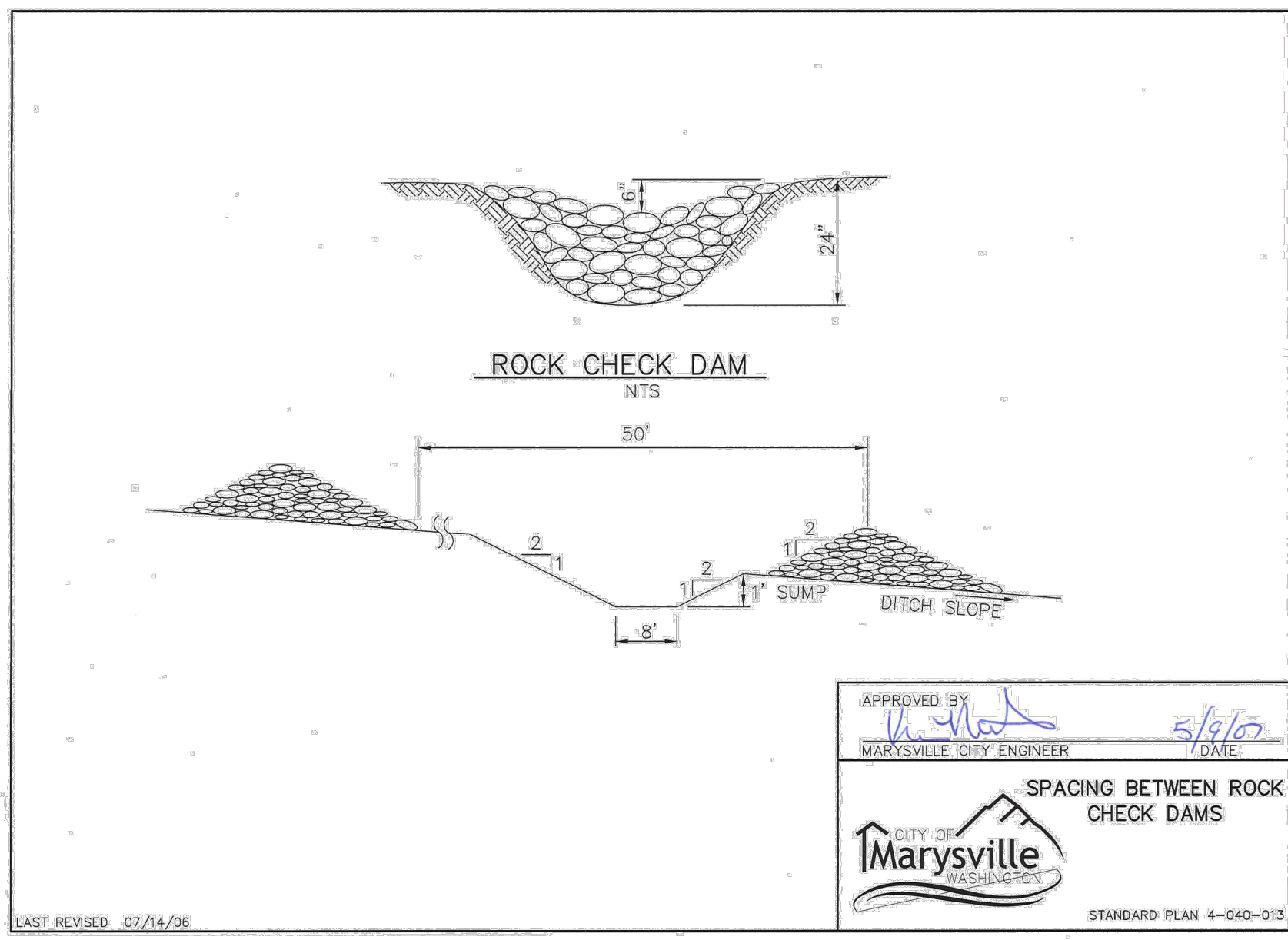
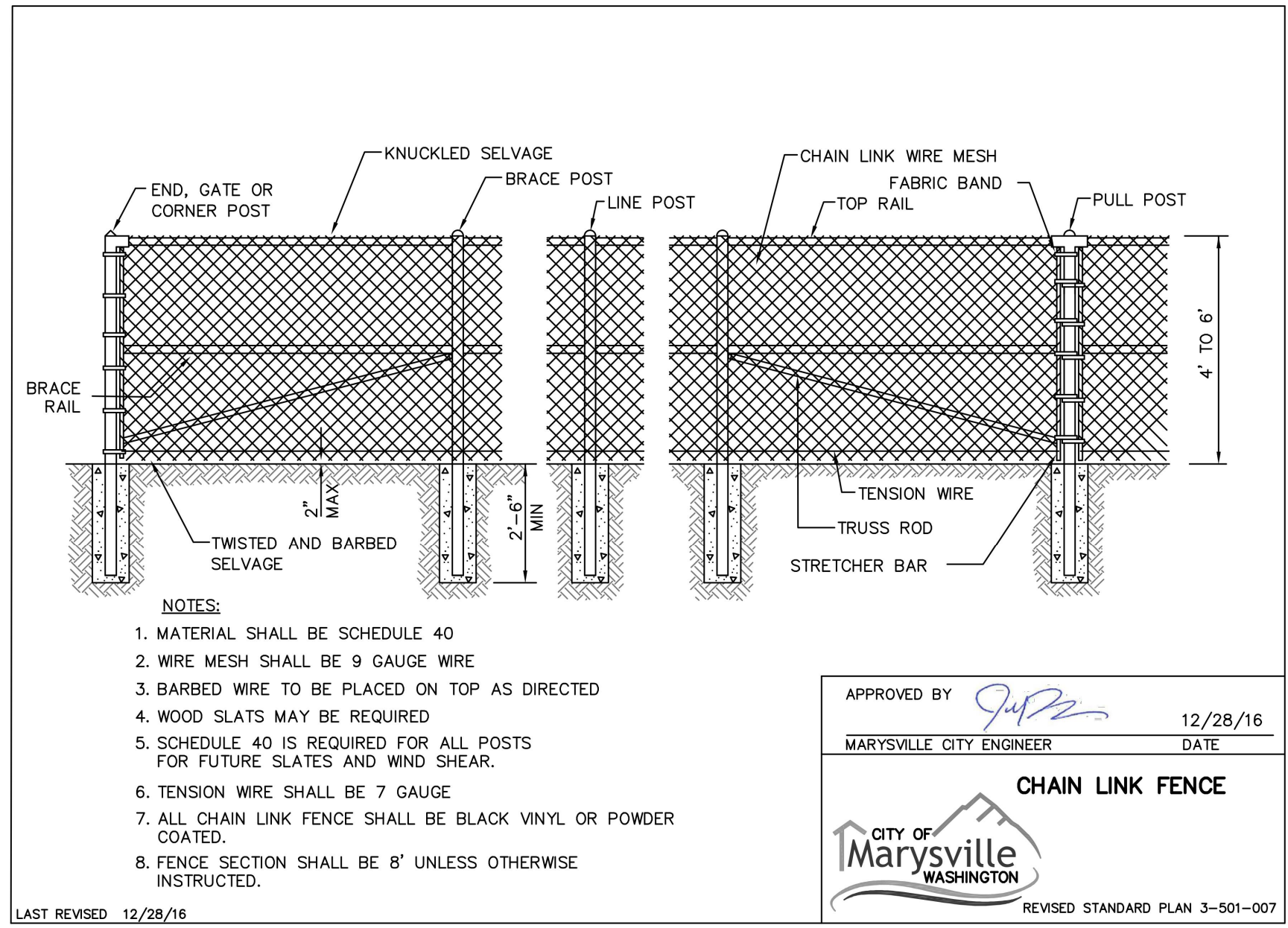
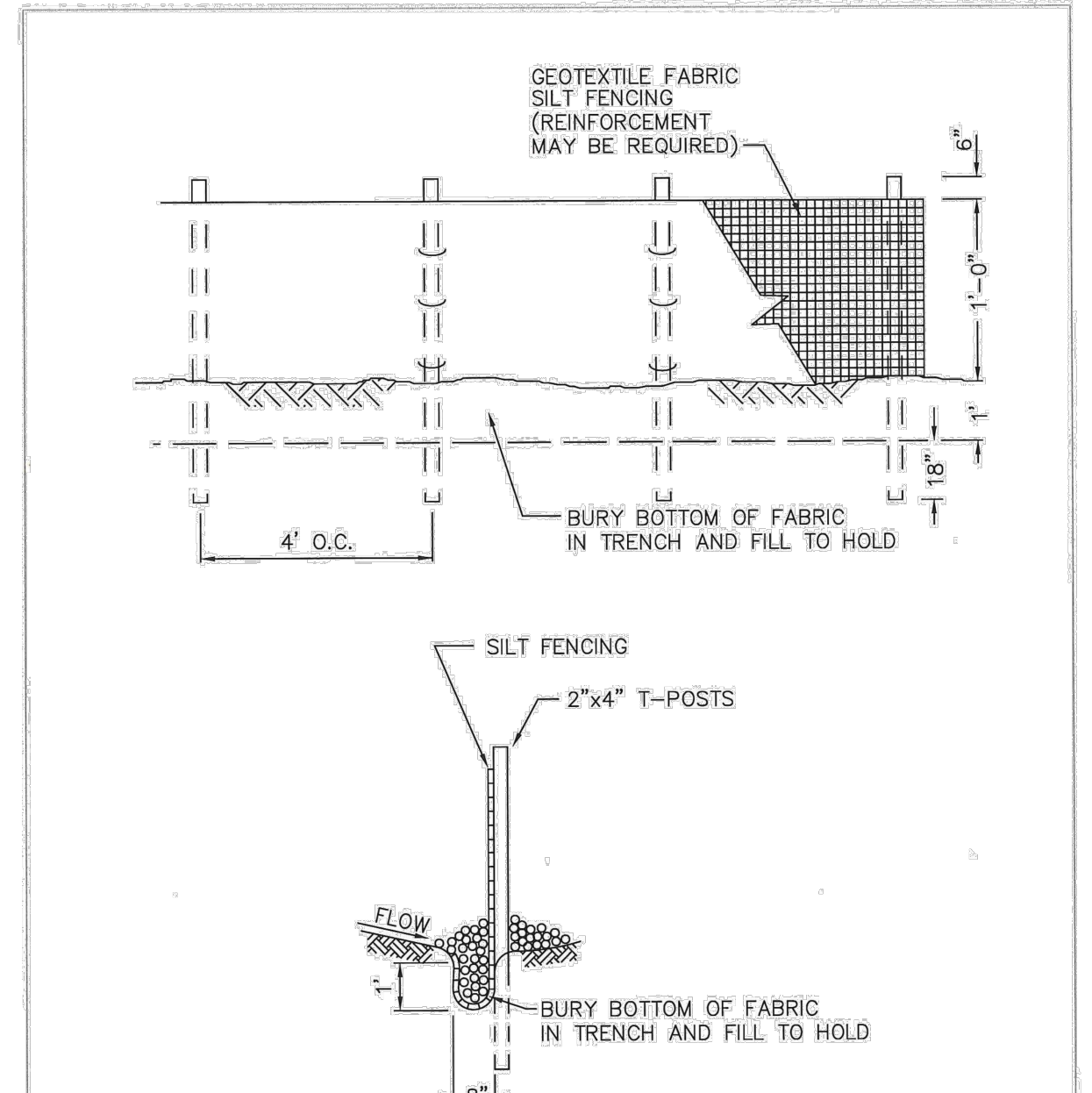
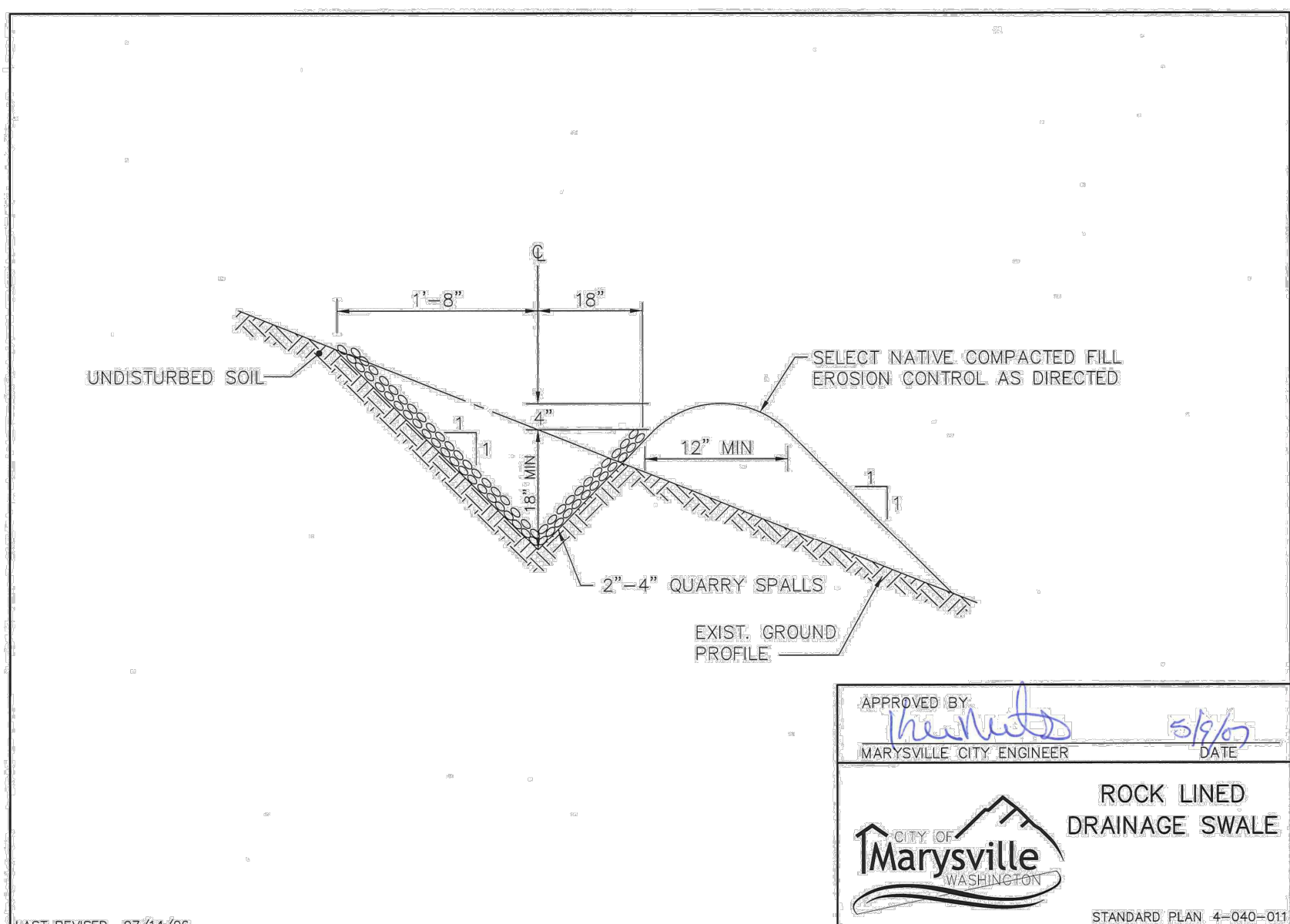
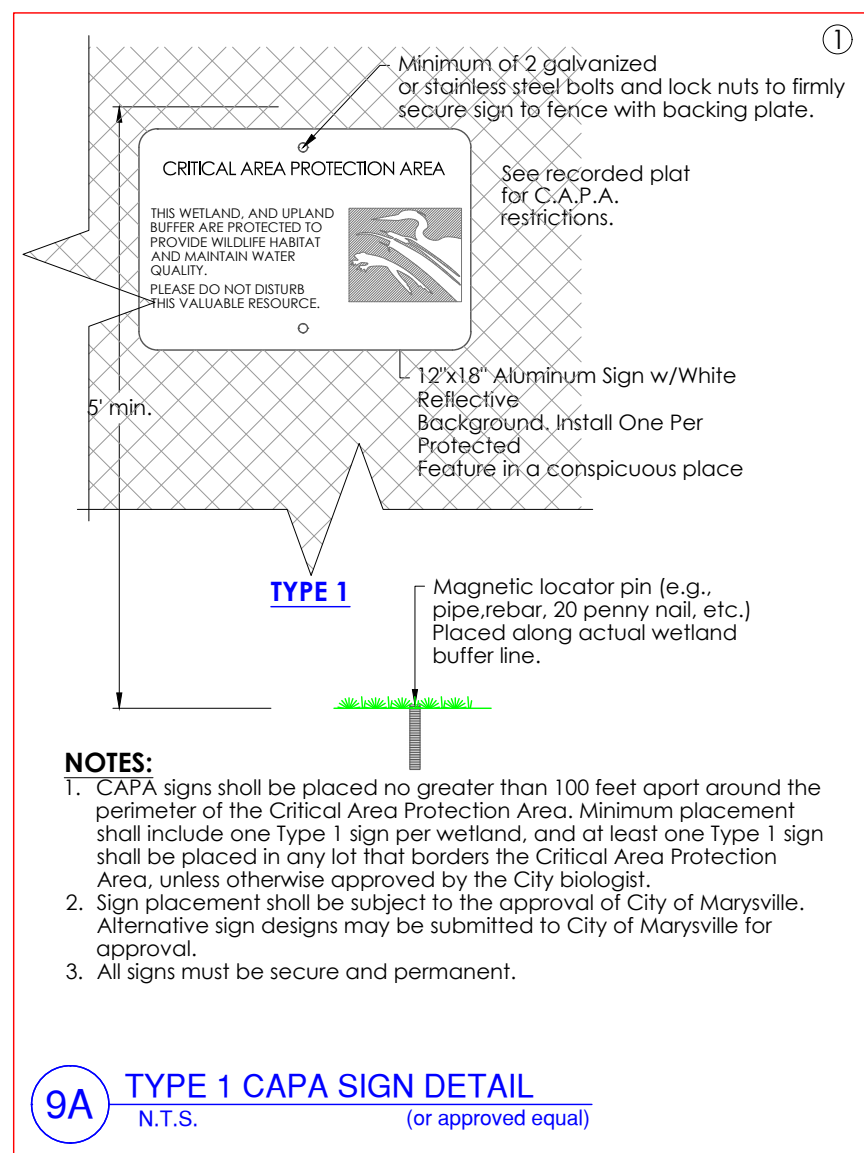
**CLEARING, GRADING & TESC PLAN**

SHEET  
C3  
of  
C20

24x36  
PA23016

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JOSH KING, P.E., DEVELOPMENT SERVICES MANAGER

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Arlington, WA 98223  
360-652-9777

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PROJECT LEAD: *[Signature]*  
CHECKED BY: *[Signature]*  
DRAWN BY: *[Signature]*  
APPLICATION DATE: *[Signature]*  
SITE APPROVAL DATE: *[Signature]*  
REVISION DATE: *[Signature]*  
LDA APPROVAL: *[Signature]*  
AS BUILT: *[Signature]*

163 RV Storage

143XX Smokeview Point Blvd, Marysville, WA 98271

A PORTION OF SECTION 28, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.

Richard Peterson  
170 120th Ave NE Ste 203, Bellevue, WA 98005

GRADING & TESC DETAILS

SHEET  
C4 of C20

24x36  
PA23016

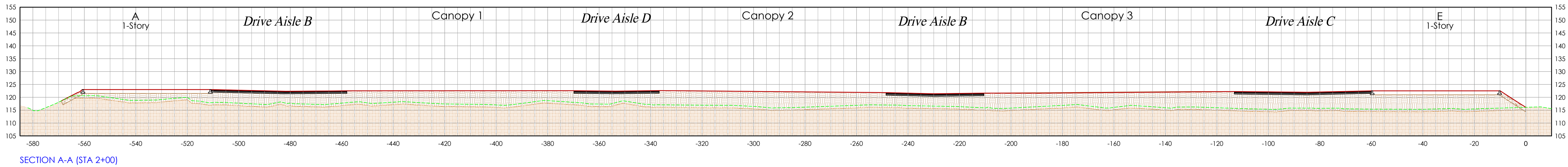
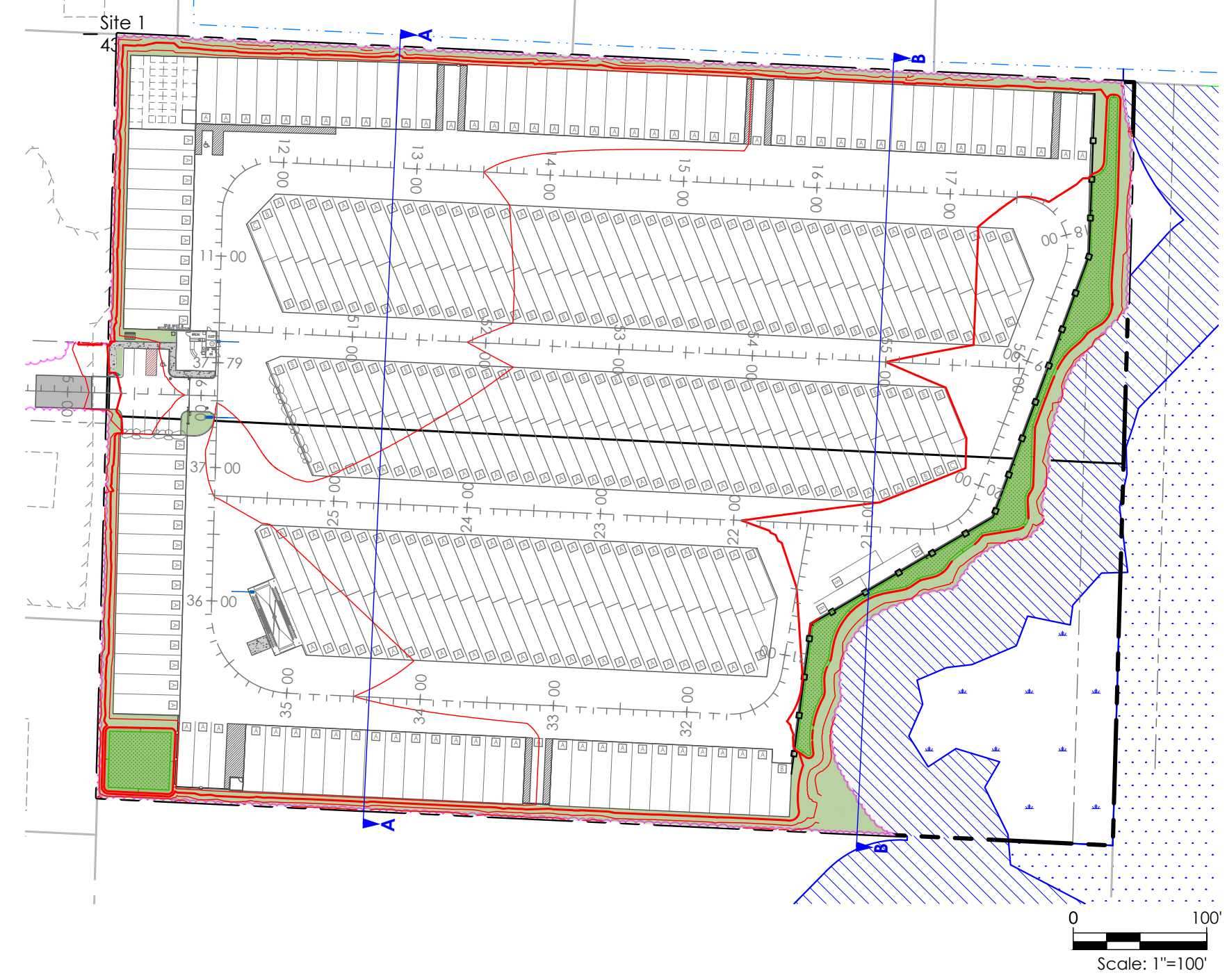
05/20/2024

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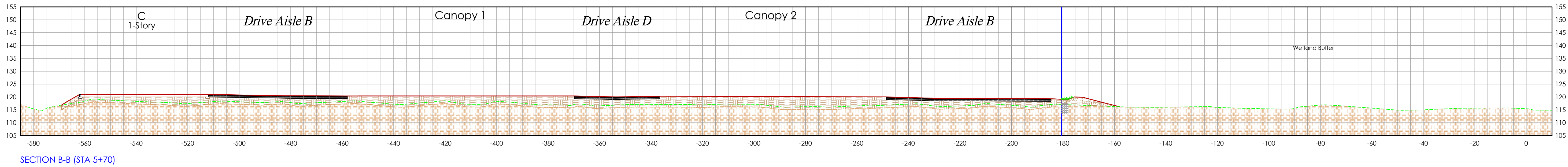
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811  
Know what's below.  
Call before you dig.



SECTION A-A (STA 2+00)



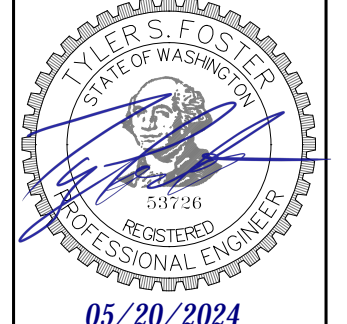
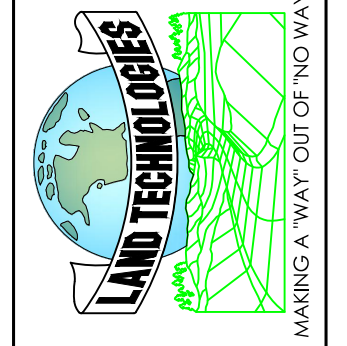
SECTION B-B (STA 5+70)

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PROJECT LEAD: *Metric*  
 CHECKED BY: *Tyler*  
 DRAWN BY: -  
 APPLICATION DATE: -  
 SITE APPROVAL: -  
 REVISION DATE: -  
 LDA APPROVAL: -  
 AS-BUILT: -

163 RV Storage  
 163XX Smokev Point Blvd, Marysville, WA 98271  
 A PORTION OF SECTION 28, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.

Richard Peterson  
 170 120th Ave NE Ste 203, Bellevue, WA 98005

SHEET  
**C5** of **C20**  
 24x36  
 PA23016

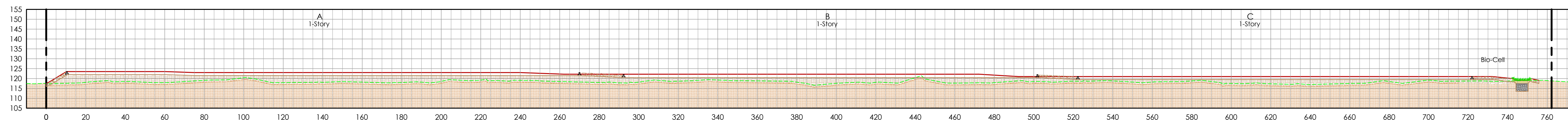
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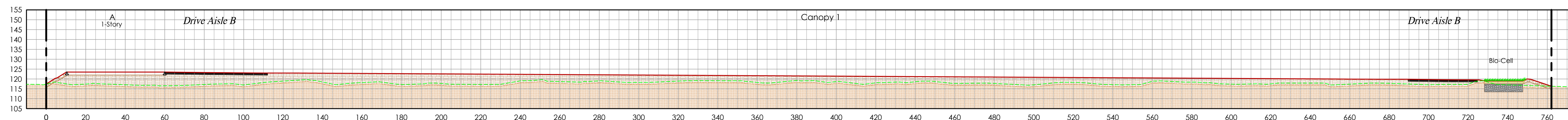


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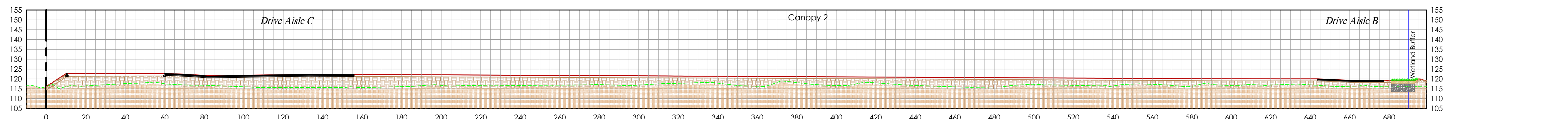
A PORTION OF SECTION 28, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.



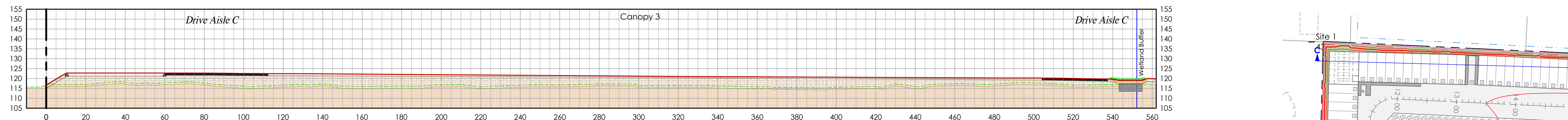
SECTION C-C (STA 5+40)



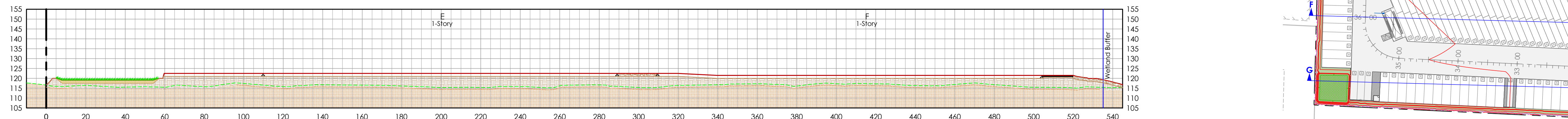
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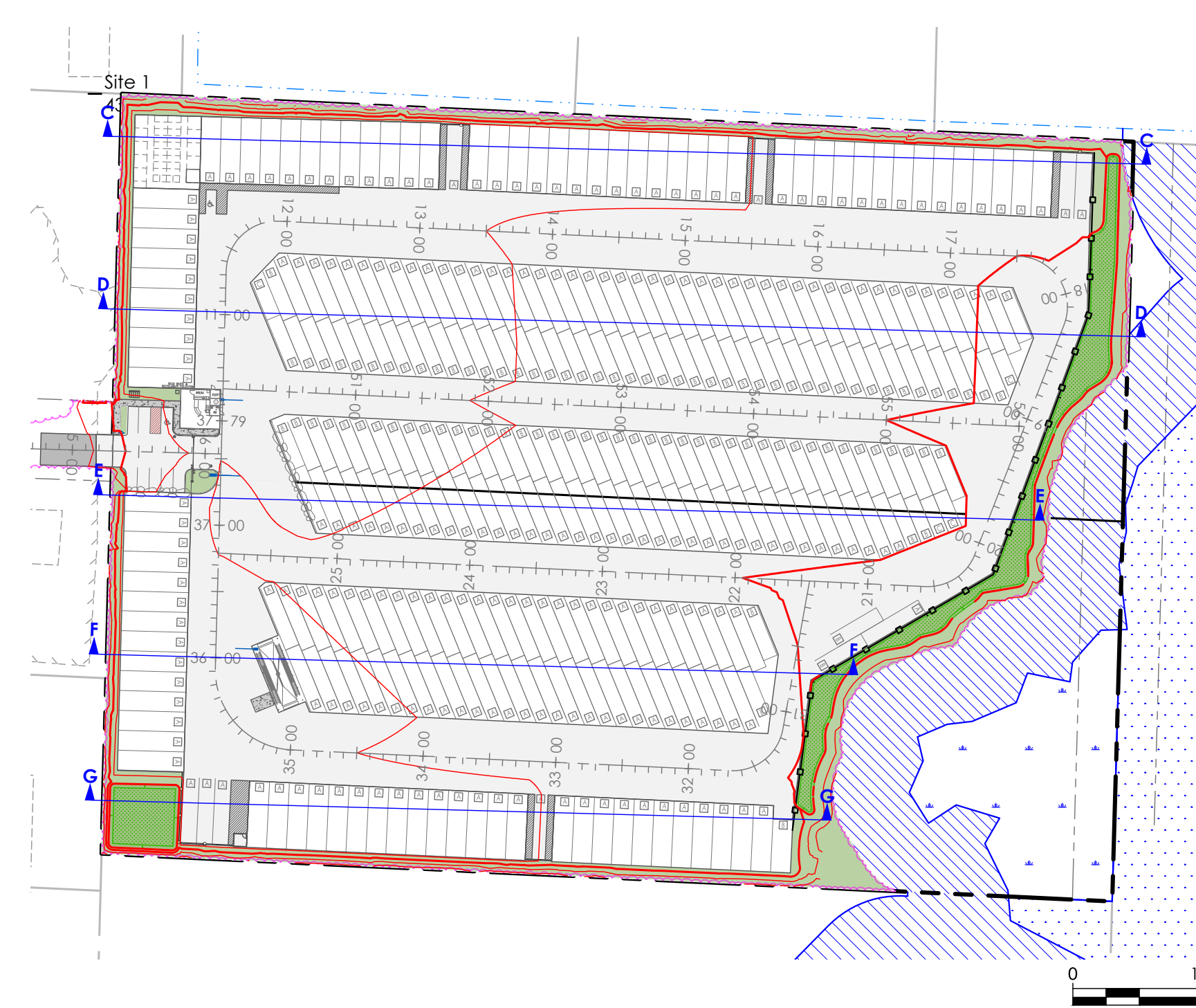
SECTION E-E (STA 2+70)



SECTION F-F (STA 1+50)



SECTION G-G (STA 0+40)



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JOSH KING, P.E., DEVELOPMENT SERVICES MANAGER

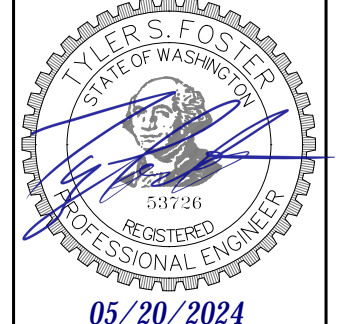
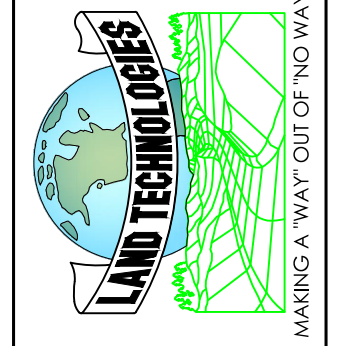
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5/20/2024 11:59 AM

Z:\Peterson, Richard - Smokey Point 4\Sheets\C6 Site Cross Sections.dwg



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 18820 Third Avenue, N.E.  
 Arlington, WA 98223  
 360-652-9727

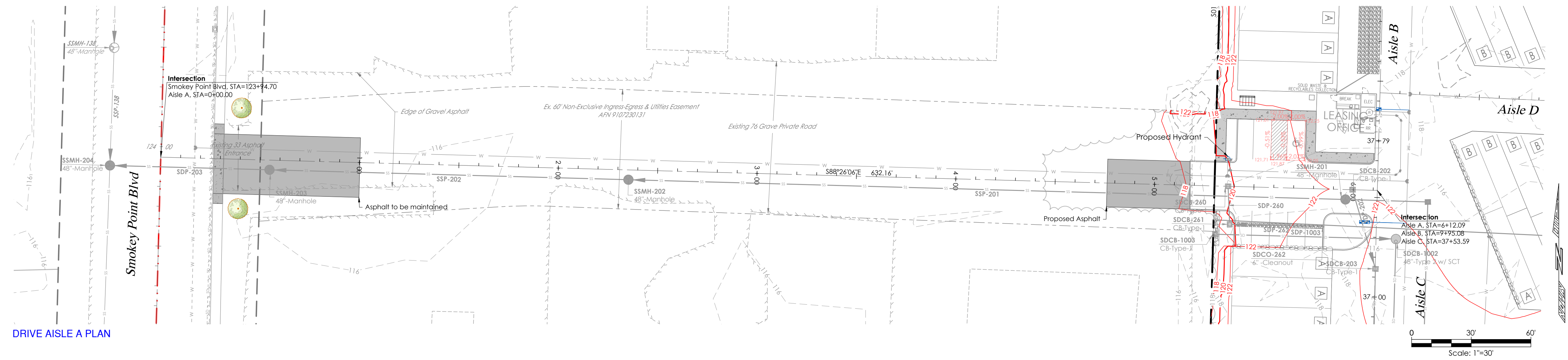


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 CHECKED BY: *Tyler*  
 DRAWN BY: -  
 APPLICATION DATE: -  
 SITE APPROVAL: -  
 REVISION DATE: -  
 LDA APPROVAL: -  
 AS-BUILT: -

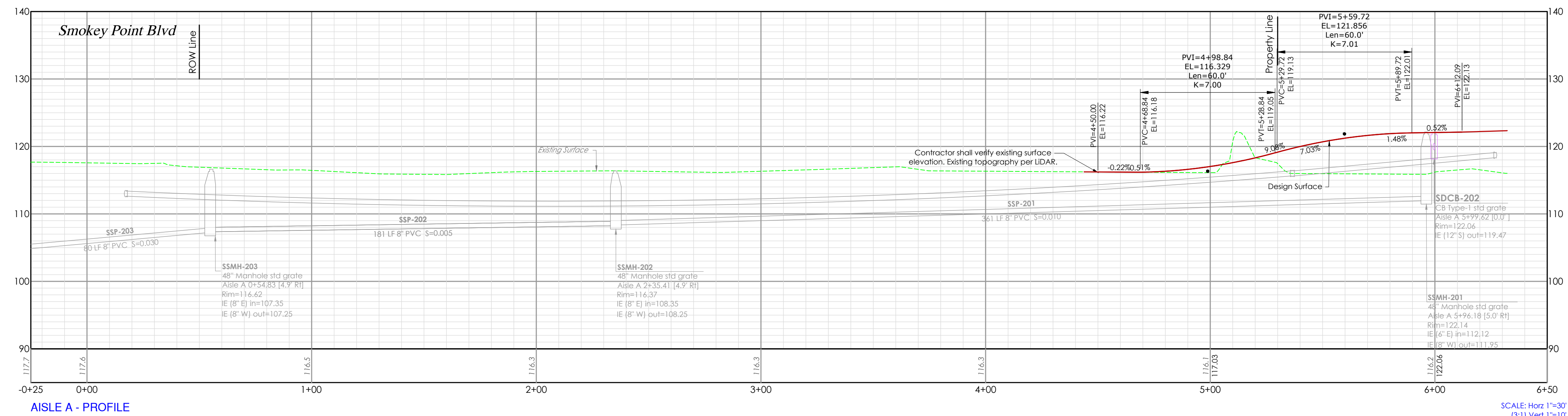
163 RV Storage  
 163XX Smokey Point Blvd, Marysville, WA 98271  
 A PORTION OF SECTION 28, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.

Richard Peterson  
 170 120th Ave NE Ste 203, Bellevue, WA 98005

SHEET  
**C6** of **C20**  
 24x36  
 PA23016



DRIVE AISLE A PLAN



AISLE A - PROFILE

SCALE: Horz 1"=30'  
(3:1) Vert 1"=10'

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JOSH KING, P.E., DEVELOPMENT SERVICES MANAGER

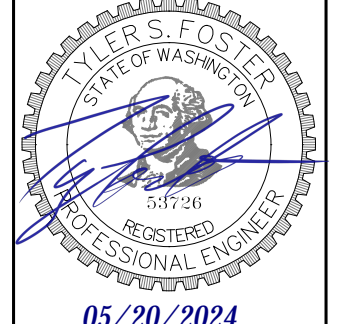
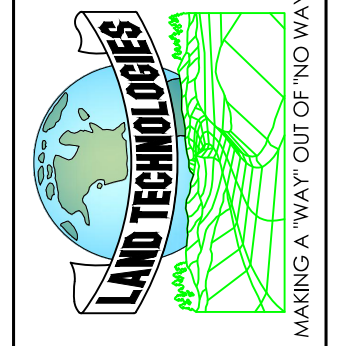
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5/20/2024 11:59 AM

Z:\Peterson, Richard - Smokey Point\4\Sheets\C7 Drive Aisle A Plan and Profile.dwg



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Arlington, WA 98223  
360-652-9727



05/20/2024

PROJECT LEAD: *Metric*  
CHECKED BY: *Tyler*  
DRAWN BY: *Tyler*  
APPLICATION DATE: *-*  
SITE APPROVAL DATE: *-*  
REVISION DATE: *-*  
LDA APPROVAL: *-*  
AS-BUILT: *-*

163 RV Storage  
163XX Smokey Point Blvd, Marysville, WA 98271  
A PORTION OF SECTION 28, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.

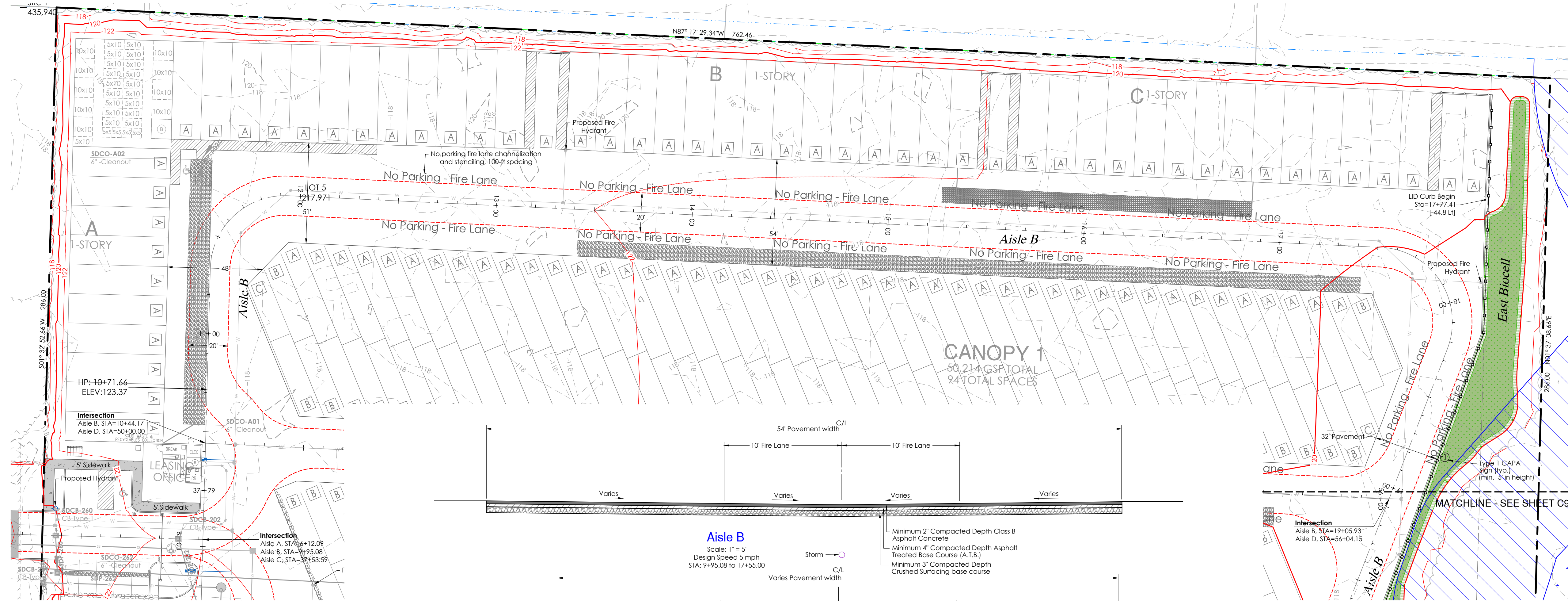
Richard Peterson  
170 120th Ave NE Ste 203, Bellevue, WA 98005

SHEET  
C7 of C20

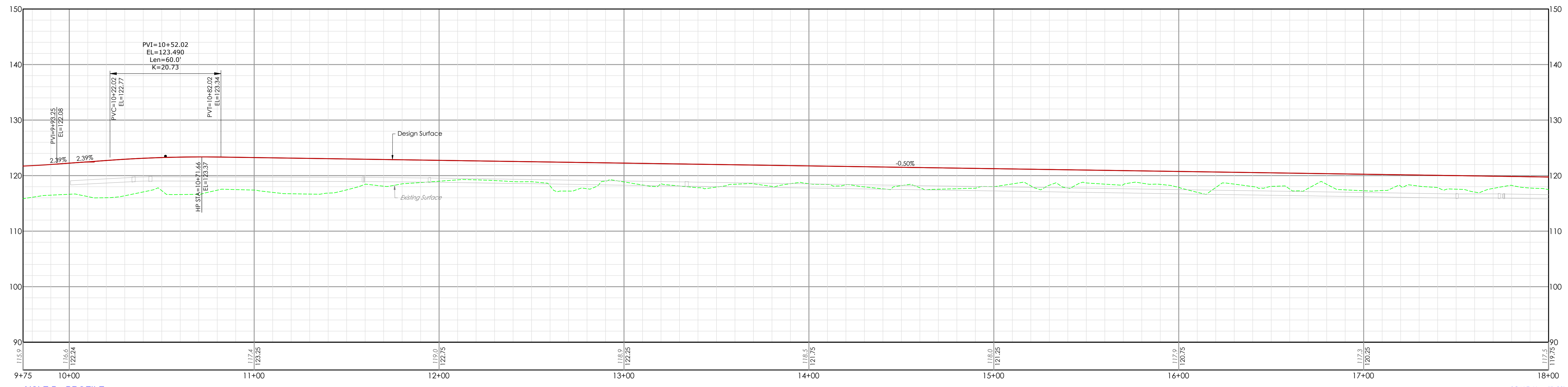
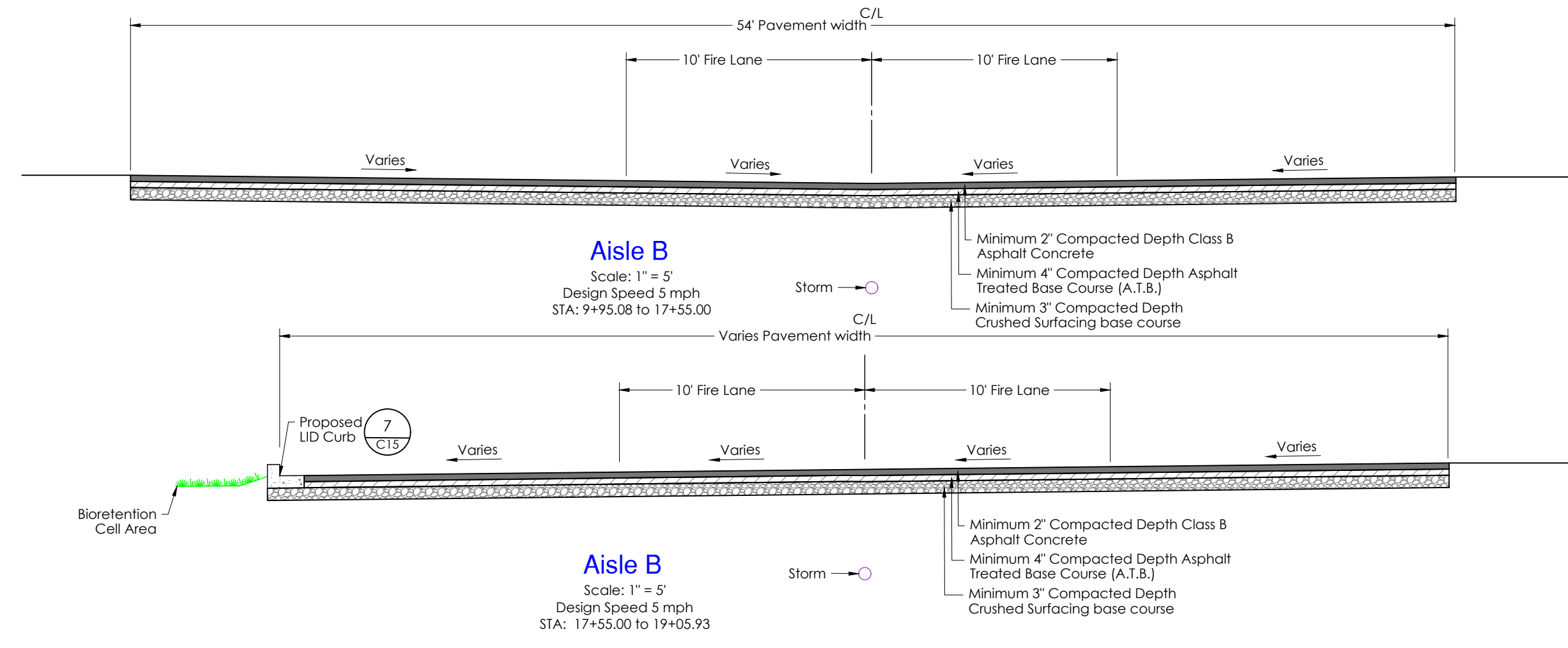
24x36

PA23016

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DRIVE AISLE B PLAN - STA 9+95.08 TO 18+00



AISLE B - PROFILE

SCALE: Horz 1"=30'  
(3:1) Vert 1"=10'

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STATE OF WASHINGTON  
 REGISTERED PROFESSIONAL ENGINEER  
 05/20/2024

PROJECT LEAD: *Metric*  
 CHECKED BY: *Tyler*  
 DRAWN BY: *Tyler*  
 APPLICATION DATE: *05/20/2024*  
 SITE APPROVAL DATE: *05/20/2024*  
 REVISION DATE: *05/20/2024*  
 LDA APPROVAL: *05/20/2024*  
 AS-BUILT: *05/20/2024*

Richard Peterson  
 170 120th Ave NE Ste 203, Bellevue, WA 98005

163 RV Storage  
 163XX Smokeview Point Blvd, Marysville, WA 98271  
 A PORTION OF SECTION 28, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.

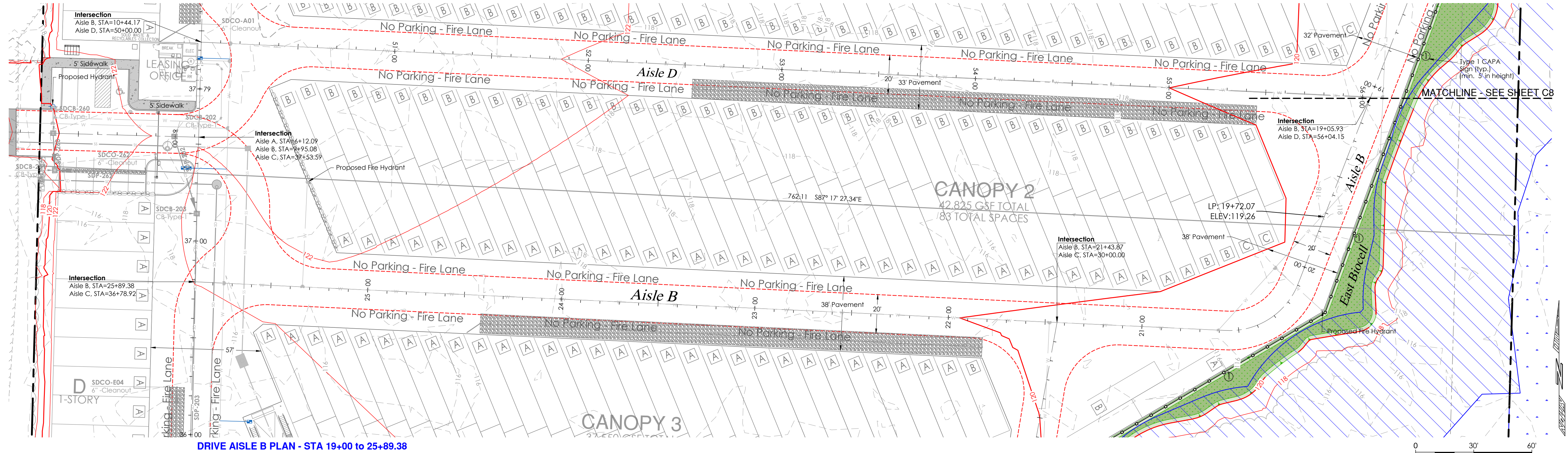
DRIVE AISLE B PLAN AND PROFILE STA 0+00 - 18+00

SHEET  
 C8 of C20  
 24x36  
 PA23016

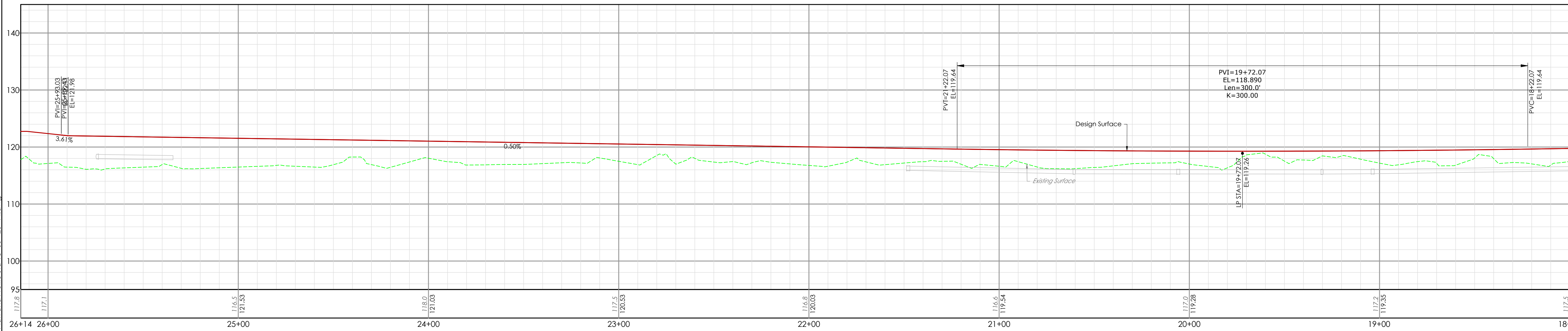
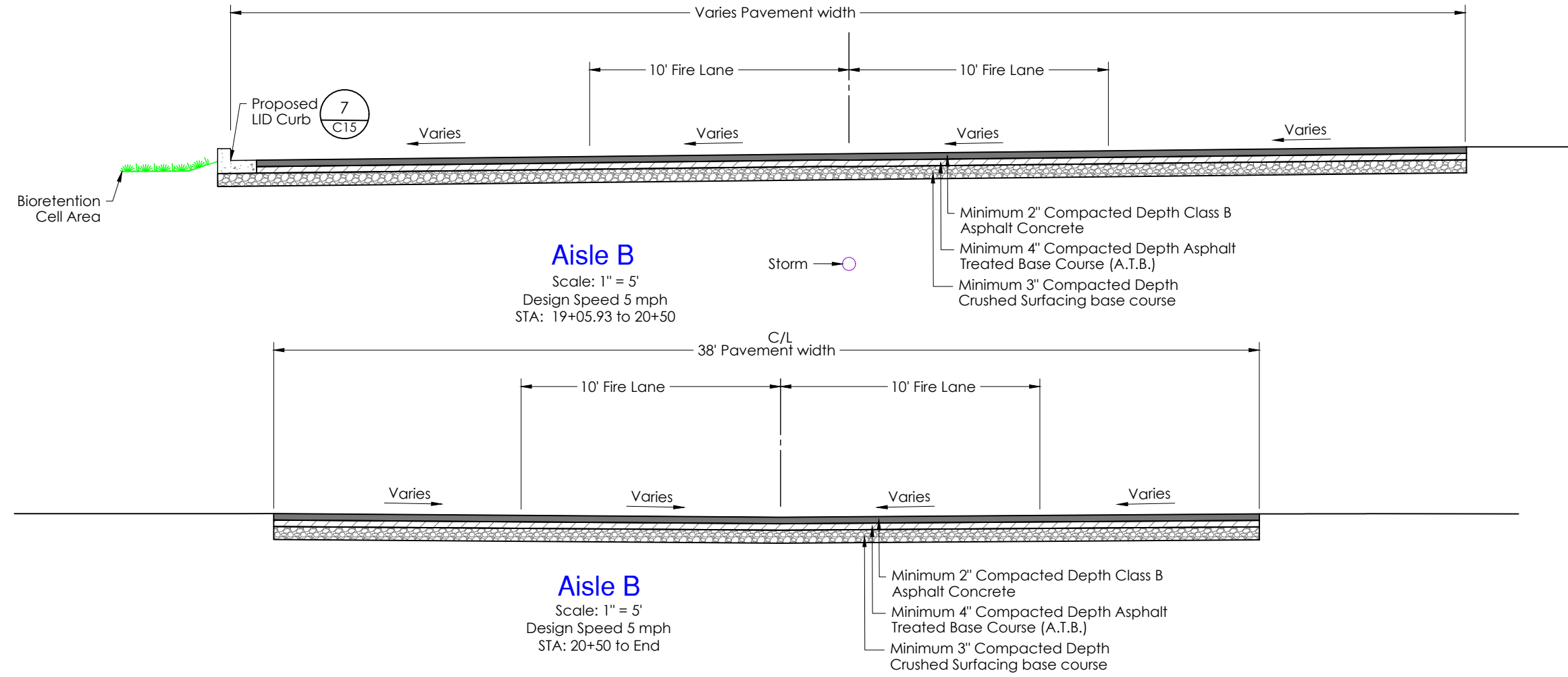
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 Z:\Peterson, Richard - Smokeview Point\4\Sheets\C2 Drive Aisle B Plan and Profile Sta 18+00 - 24x36.dwg  
 811  
 Know what's below.  
 Call before you dig.



A PORTION OF SECTION 28, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.



DRIVE AISLE B PLAN - STA 19+00 TO 25+89.38



AISLE B - PROFILE

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JOSH KING, P.E., DEVELOPMENT SERVICES MANAGER

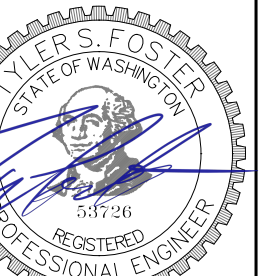
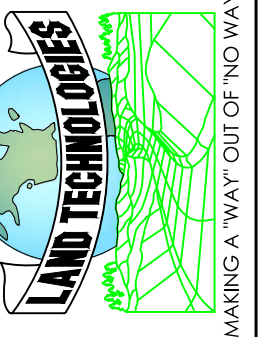
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5/20/2024 12:00 PM

Z:\Peterson, Richard - Smokey Point\4\Sheets\C2 Drive Aisle B Plan and Profile Sta.18+00 - 26+14.dwg



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Arlington, WA 98223  
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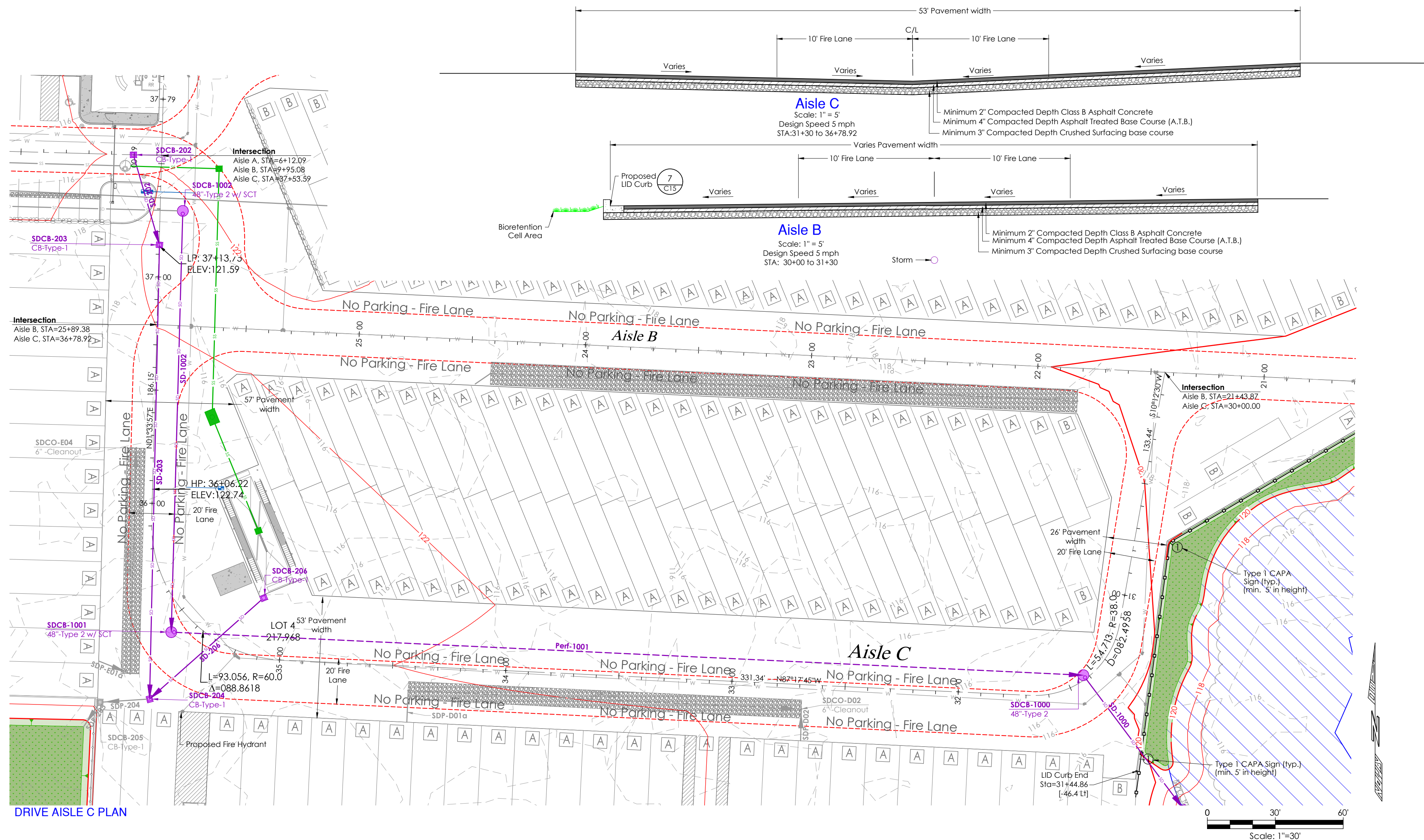
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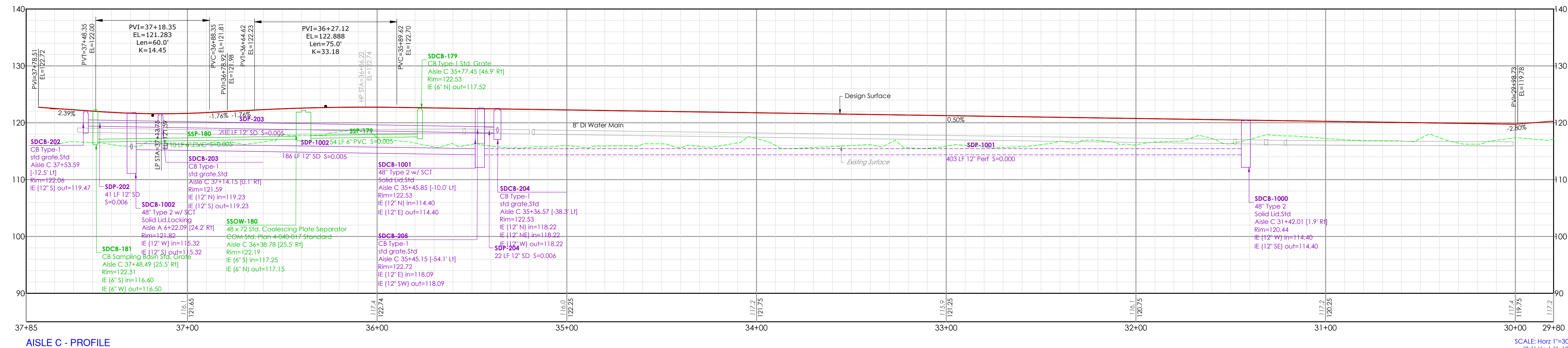
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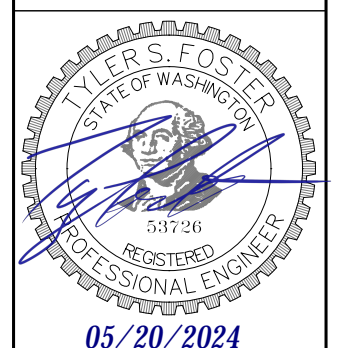
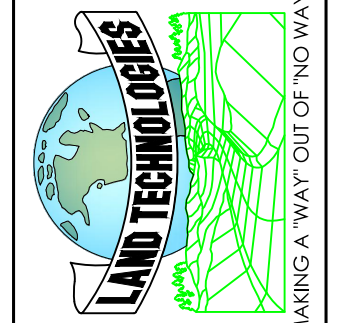


DRIVE AISLE C PLAN



AISLE C - PROFILE

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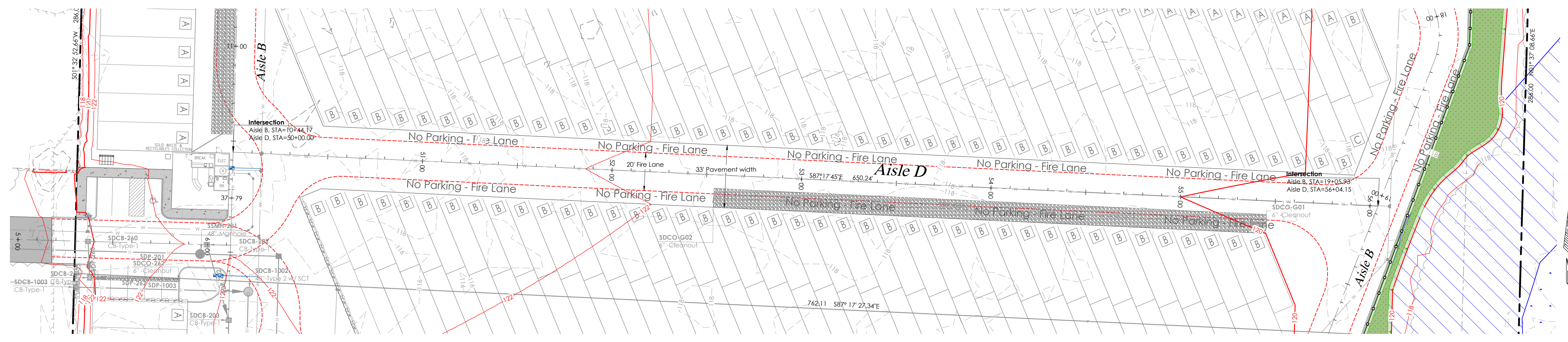
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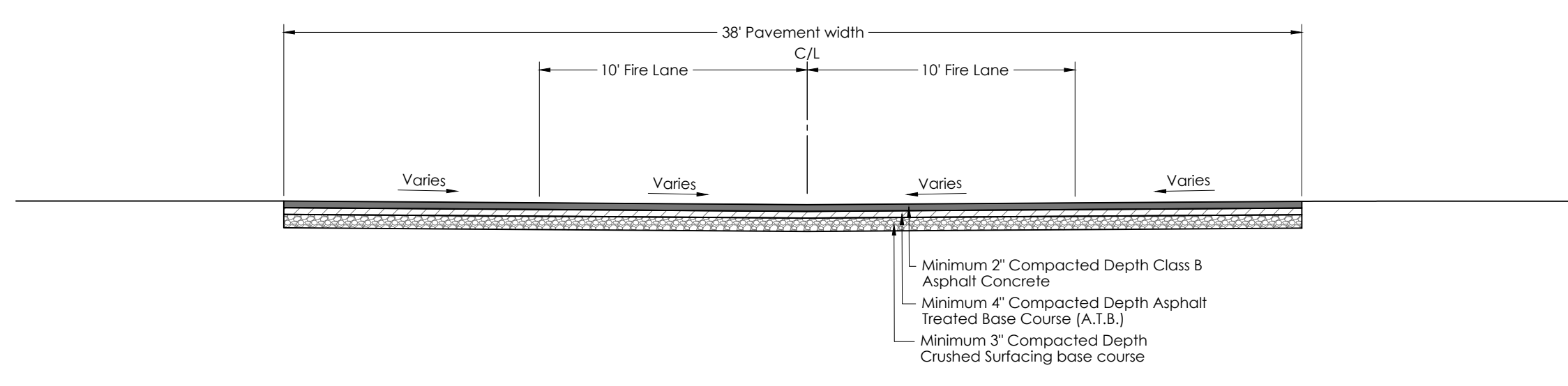
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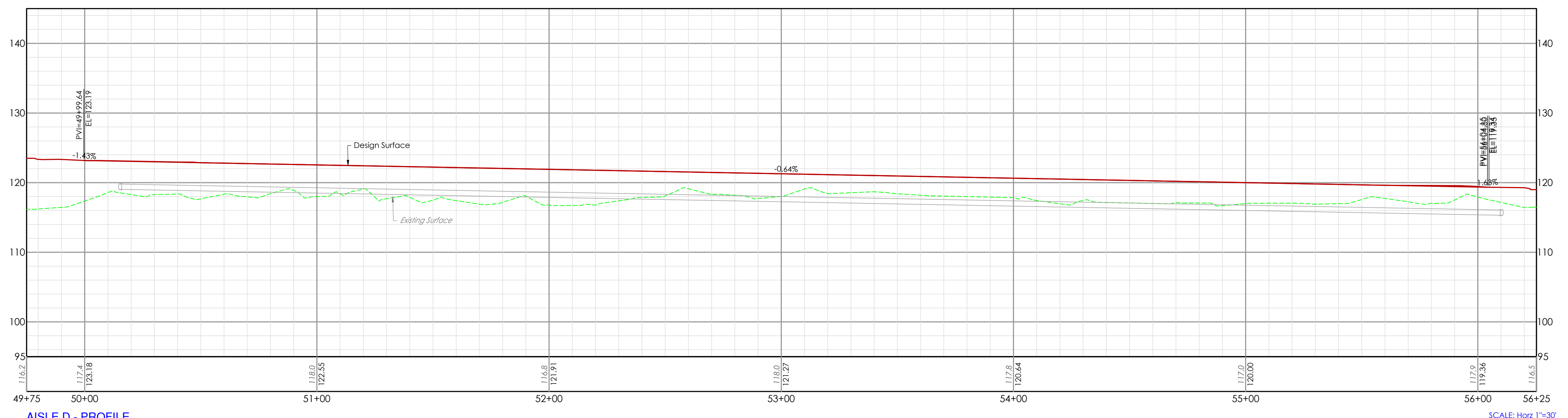




DRIVE AISLE D PLAN



Aisle D  
Scale: 1" = 5'  
Design Speed 5 mph  
STA: 0+00 to 6+12.09



AISLE D - PROFILE

SCALE: Horz 1"=30'  
(3:1) Vert 1"=10'

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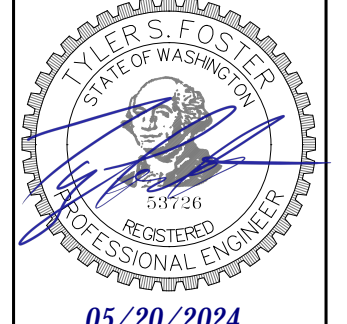
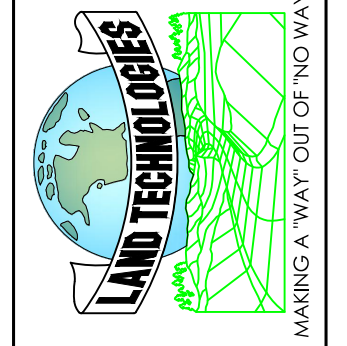
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Richard Peterson  
163 RV Storage  
163XX Smokey Point Blvd, Marysville, WA 98271  
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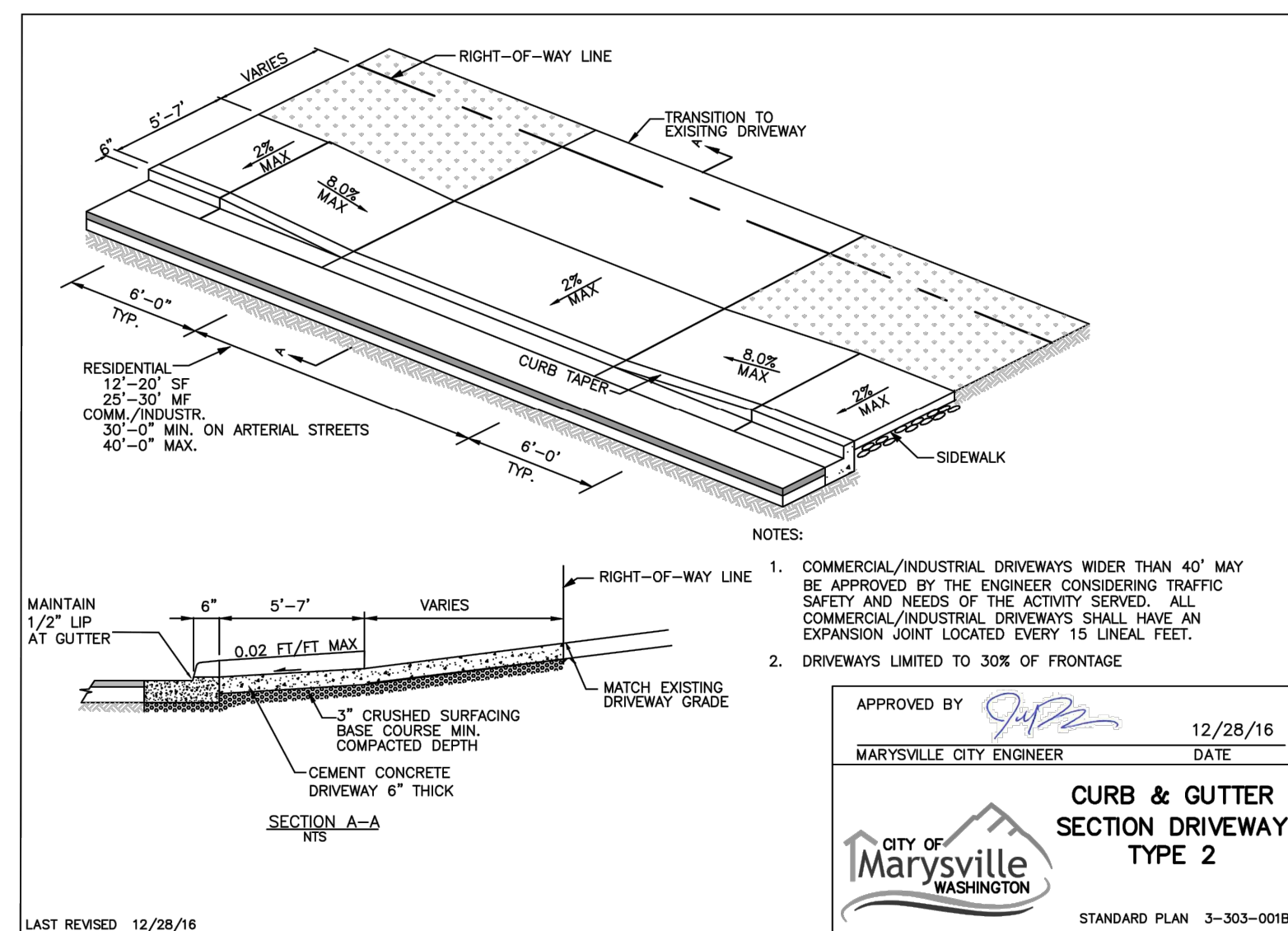
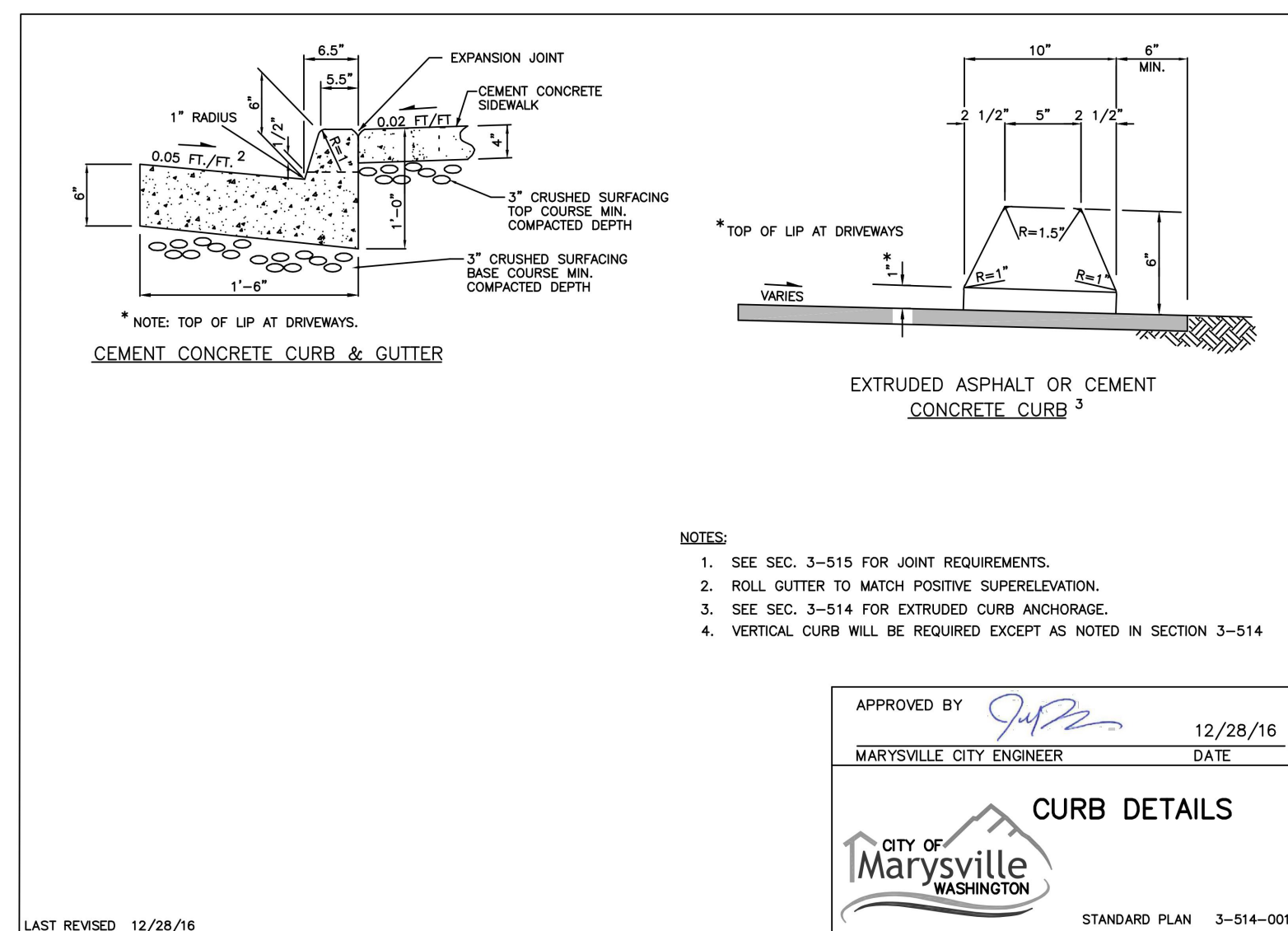
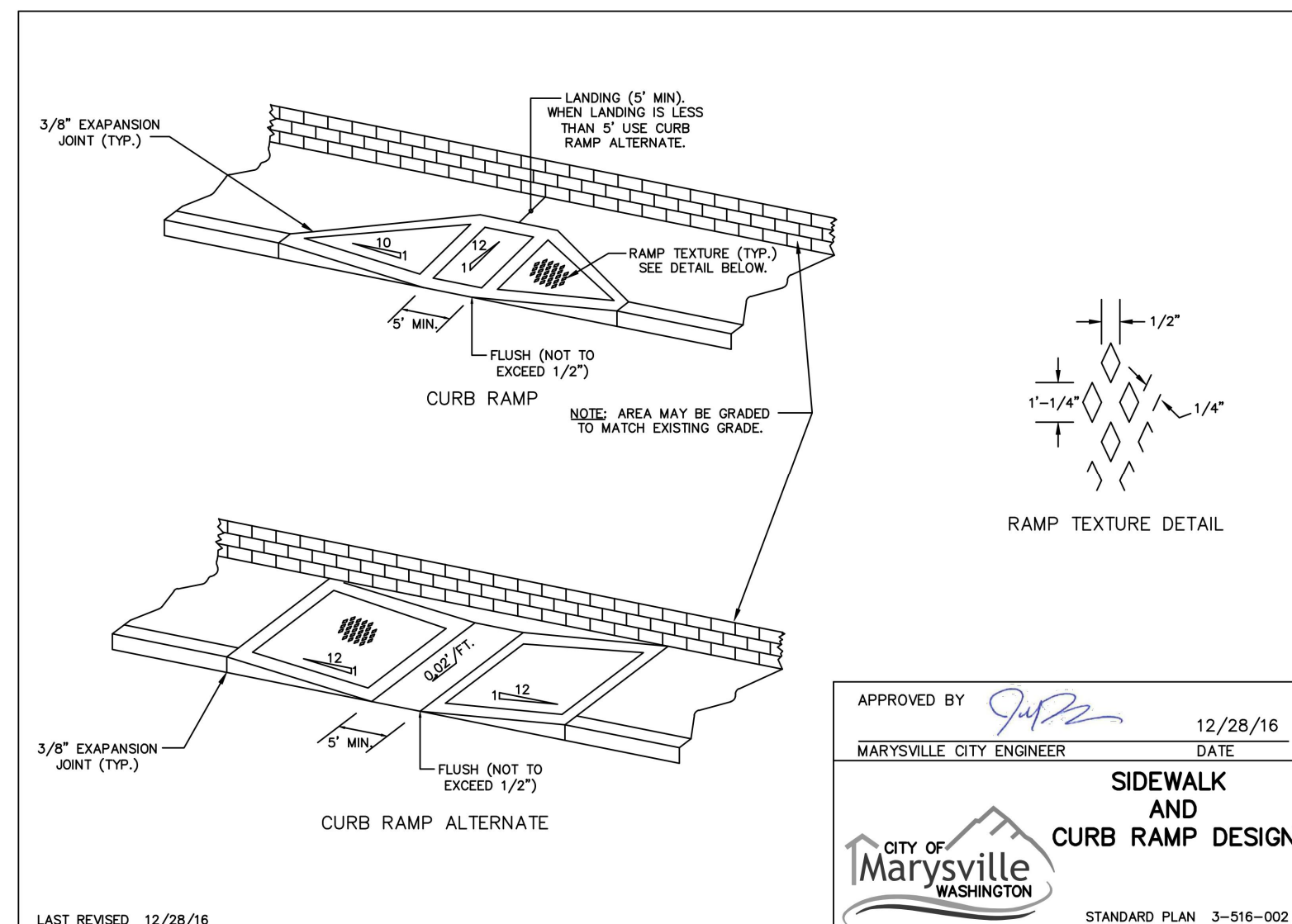
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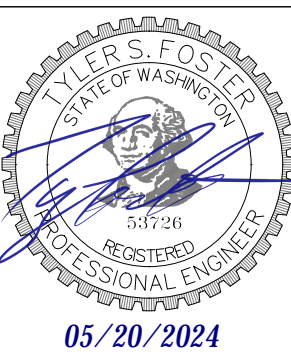


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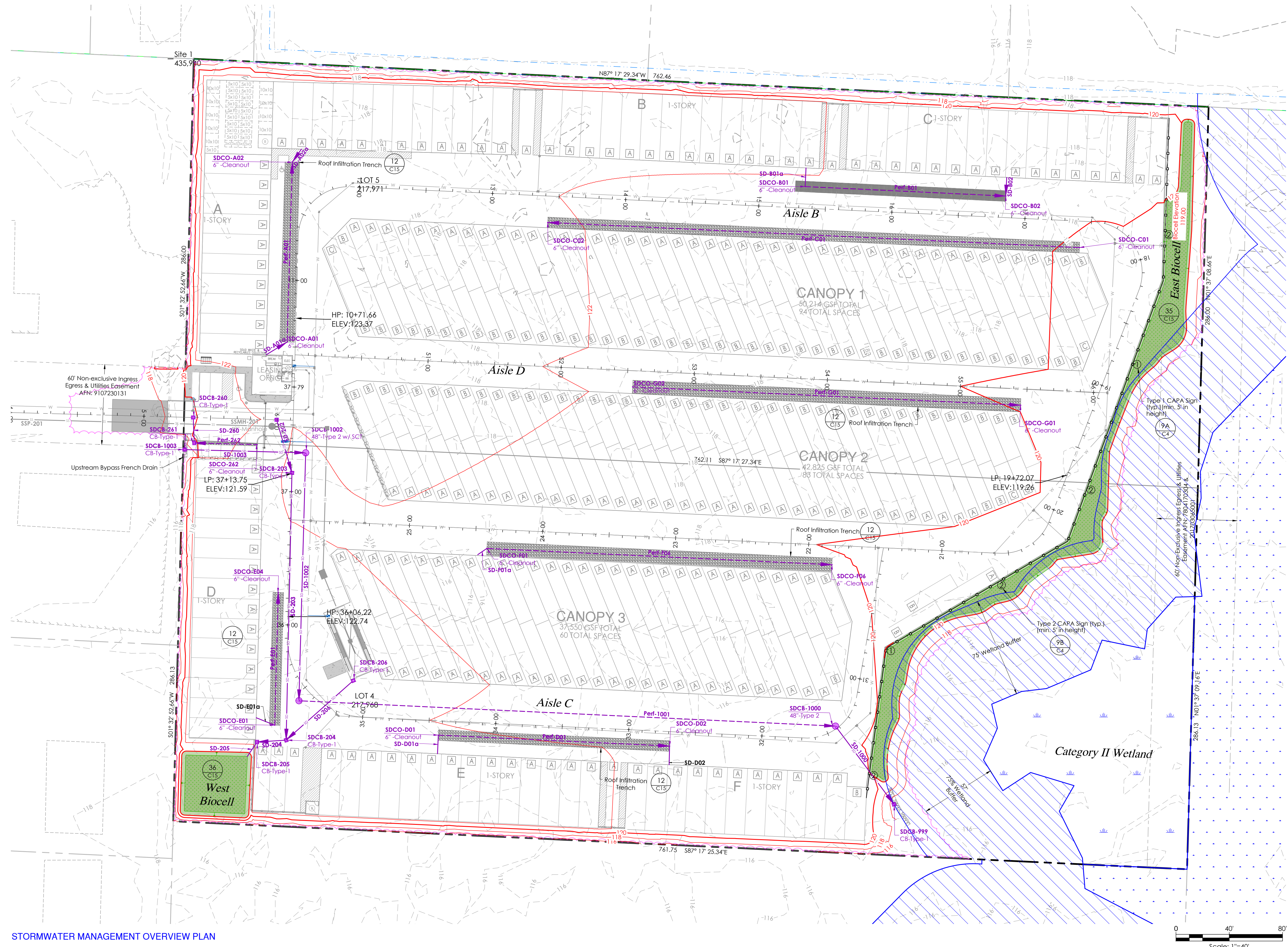
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**ROAD DETAILS**

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STORMWATER MANAGEMENT OVERVIEW PLAN

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REGISTERED PROFESSIONAL ENGINEER  
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APPLICATION DATE: -  
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REVISION DATE: -  
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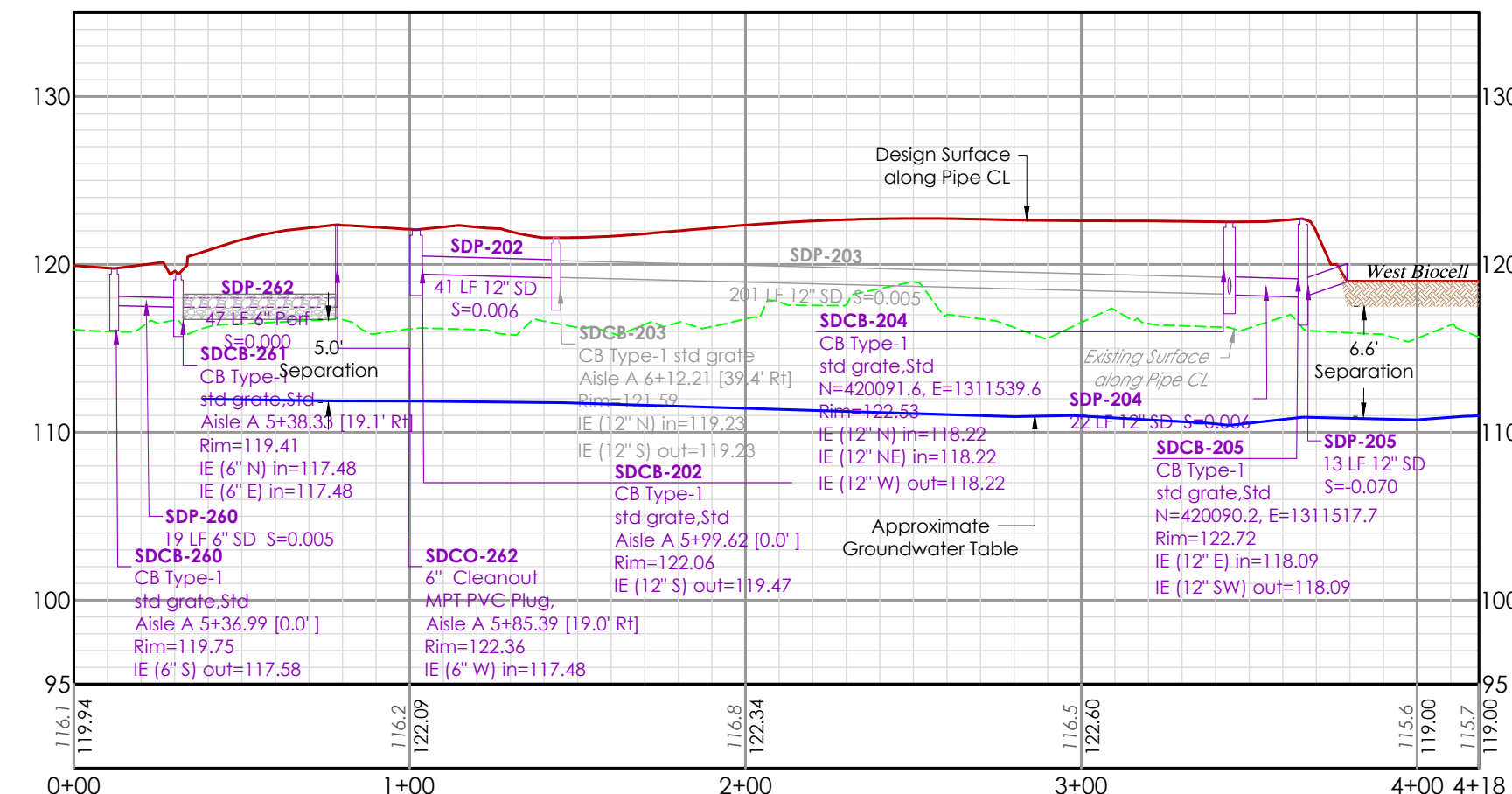
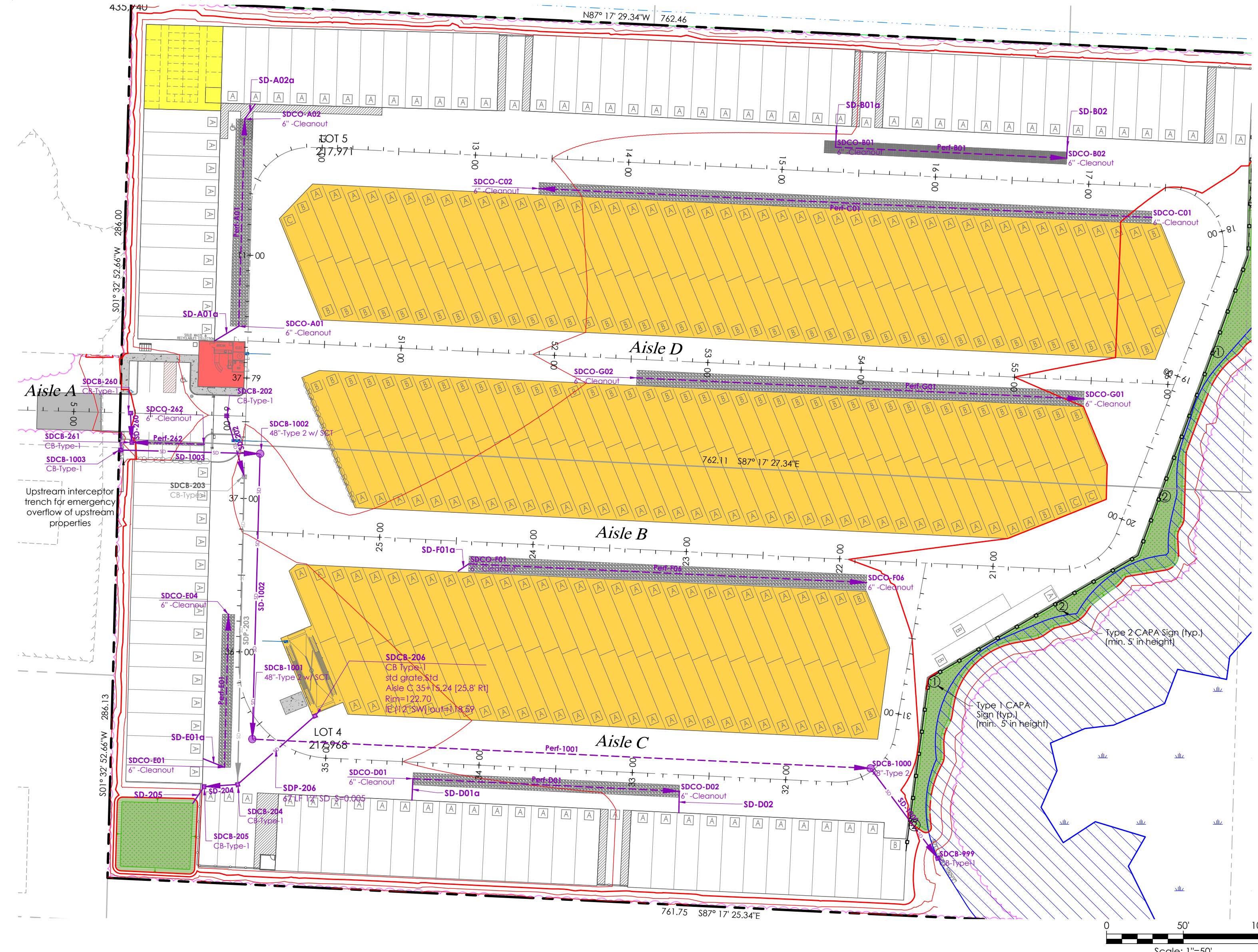
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**STORMWATER MANAGEMENT OVERVIEW PLAN**

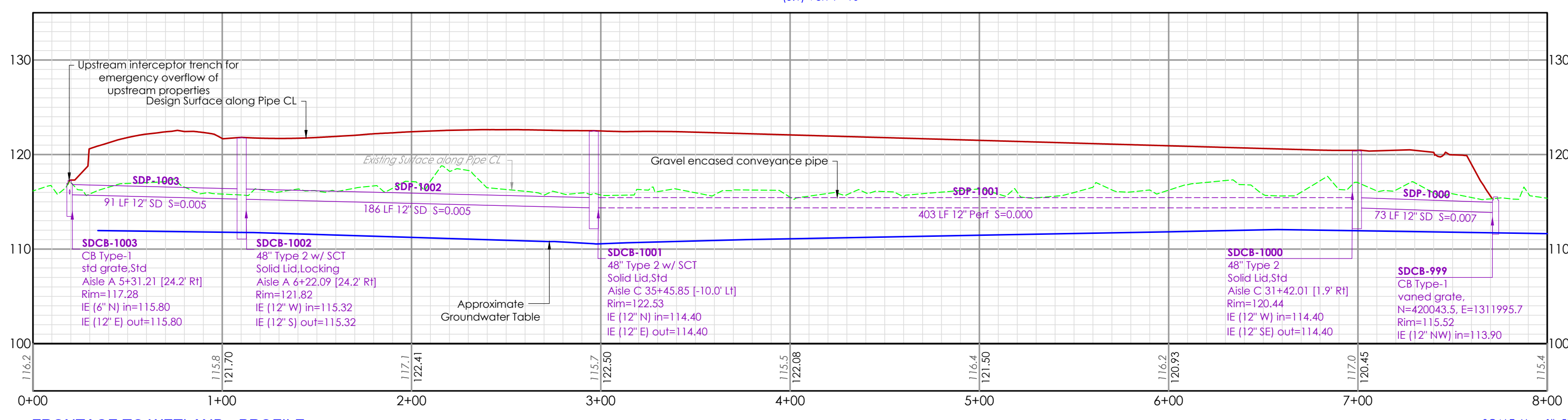
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FRONTAGE TO WEST CELL - PROFILE

SCALE: Horiz 1"=50'  
Vert 1"=10'



FRONTAGE TO WETLAND - PROFILE

SCALE: Horiz 1"=50'  
Vert 1"=10'

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**STORMWATER MANAGEMENT PLAN AND PROFILE**

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 Richard Peterson



**BIORETENTION SOIL MEDIA PROCEDURE NOTE:**

Two acceptable criteria for Bioretention Soil Media (BSM or GAS):  
• Default Bioretention Soil Media  
• Custom Bioretention Soil Mix.

**Default Bioretention Soil Media**

Projects which use the following requirements for the bioretention soil media do not have to test the media for its saturated hydraulic conductivity

**Mineral Aggregate**

Percent Fines: A range of 2 to 4 percent passing the #200 sieve is ideal and fines should not be above 5 percent for a proper functioning specification according to ASTM D422.

**Aggregate Gradation**

The aggregate portion of the BSM should be well-graded. According to ASTM D 2487-98 (Classification of Soils for Engineering Purposes (Unified Soil Classification System)), well-graded sand should have the following gradation coefficients:

- Coefficient of Uniformity (Cu = D60/D10) equal to or greater than 4, and
- Coefficient of Curve (Cc = (D30)²/D60 x D10) greater than or equal to 1 and less than or equal to 3.

The sand gradation below is often supplied as a well-graded utility or screened. With compost this blend provides enough fines for adequate water retention, hydraulic conductivity within recommended range (see below), pollutant removal capability, and plant growth characteristics for meeting design guidelines and objectives. Where existing soils meet the aggregate gradation below, those soils may be amended rather than importing mineral aggregate.

General Guideline for Mineral Aggregate Gradation table with columns for Sieve Size and Percent Passing.

**Compost to Aggregate Ratio, Organic Matter Content, Cation Exchange Capacity**

- Compost to aggregate ratio: 60-65 percent mineral aggregate, 35-40 percent compost.
- Organic matter content: 5-8 percent by weight.
- Cation Exchange Capacity (CEC) must be > 5 milliequivalents/100 g dry soil Note: Soil mixes meeting the above specifications do not have to be tested for CEC. They will readily meet the minimum CEC.

**Compost**

To ensure that the BSM will support healthy plant growth and root development, contribute to biofiltration of pollutants, and not restrict infiltration when used in the proportions cited herein, the following compost standards are required.

- Meets the definition of "composted materials" in WAC 173-350-220 (including contaminant levels and other standards), available online at http://www.ecy.wa.gov/programs/waf/organics/soil.html
- Produced at a composting facility permitted by the WA Department of Ecology. A current list of permitted facilities is available at http://www.ecy.wa.gov/programs/waf/compost/
- The compost product must originate a minimum of 65 percent by volume from recycled plant waste as defined in WAC 173-350-100 as "Type I Feedstocks." A maximum of 35 percent by volume of other approved organic waste as defined in WAC 173-350-100 as "Type III," including postconsumer food waste, but not including biosolids, may be substituted for recycled plant waste. Type II and IV feedstocks shall not be used for the compost going into bioretention facilities or rain gardens.
- Stable (low oxygen use and CO2 generation) and mature (capable of supporting plant growth) by tests shown below. This is critical to plant success in a bioretention soil mixes.
- Moisture content range: no visible free water or dust produced when handling the material.
- Tested in accordance with the U.S. Composting Council "Testing Methods for the Examination of Compost and Composting" (TMECC), as established in the Composting Council's "Seal of Testing Assurance" (STA) program. Most Washington compost facilities now use these tests.
- Screened to the size gradations for Fine Compost under TMECC test method 02.02.8 (gradations are shown in the specification in an appendix of the **Low Impact Development Technical Guidance Manual for Puget Sound**)
- pH between 6.0 and 8.5 (TMECC 04.11-A). If the pH falls outside of the acceptable range, it may be modified with lime to increase the pH or iron sulfate plus sulfur to lower the pH. The lime or iron sulfate must be mixed uniformly into the soil prior to use in the bioretention area.
- Manufactured inert content less than 1% by weight (TMECC 03.08-A)
- Minimum organic matter content of 40% (TMECC 05.07-A)
- Soluble salt content less than 4.0 mmhos/cm (TMECC 04.10-A)
- Maturity greater than 80% (TMECC 05.05-A "Germination and Vigor")
- Stability of 7 or below (TMECC 05.08-B "Carbon Dioxide Evolution Rate")
- Carbon to nitrogen ratio (TMECC 04.01 "Total Carbon" and 04.02D "Total Kjeldahl Nitrogen") of less than 25:1. The C:N ratio may be up to 35:1 for plantings composed entirely of Puget Sound Lowland native species and up to 40:1 for coarse compost to be used as a surface mulch (not in a soil mix).

**500 BIORETENTION SOIL MEDIA**  
SCALE: NTS

**NOTES**

- [1] Soils per Bioretention Soil Media detail. Mix to be certified prior to placement. Compact to 80% proctor.
- [2] Uniformly graded coarse aggregate WSDOT spec 9-03.1(4)C "crushed washed stone" - AASHTO size number 47. (or equivalent)
- [3] Uniformly graded coarse aggregate, with a wash loss of no more than 0.5%, WSDOT spec 9-03.12(S) "Gravel Backfill for Drywells," (or equivalent)
- [4] Fine Sand, WSDOT spec 9-03.2(1) "Grading for Surface Finishing applications," or equivalent

4x8 Sand Specification Table with columns for U.S. Sieve Number and Percent Passing.

Geotech to confirm rock bed connects with clean, native sand. Imported sand below rock bed may be required to bridge connection to native recessional outwash sands at the native rate.

**35 EAST BIORETENTION CELL**  
SCALE: NTS

**NOTES**

- [1] Soils per Bioretention Soil Media detail. Mix to be certified prior to placement. Compact to 80% proctor.
- [2] Uniformly graded coarse aggregate WSDOT spec 9-03.1(4)C "crushed washed stone" - AASHTO size number 47. (or equivalent)
- [3] Uniformly graded coarse aggregate, with a wash loss of no more than 0.5%, WSDOT spec 9-03.12(S) "Gravel Backfill for Drywells," (or equivalent)
- [4] Fine Sand, WSDOT spec 9-03.2(1) "Grading for Surface Finishing applications," or equivalent

4x8 Sand Specification Table with columns for U.S. Sieve Number and Percent Passing.

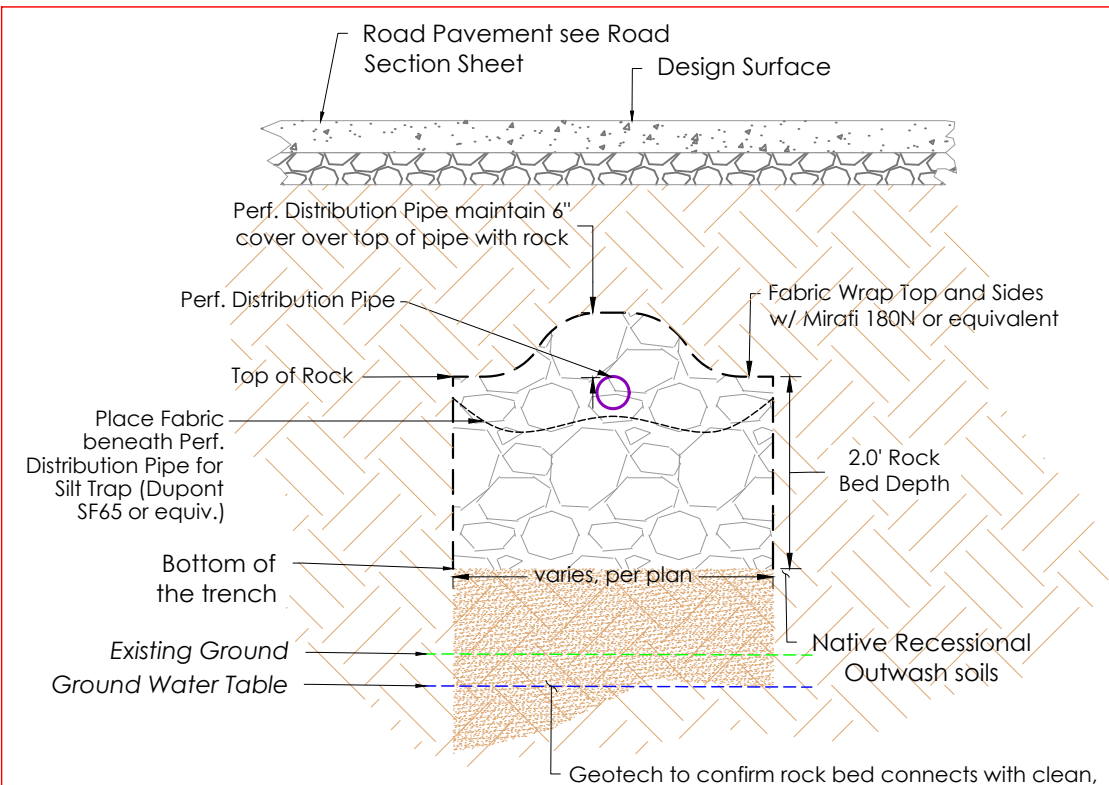
Geotech to confirm rock bed connects with clean, native sand. Imported sand below rock bed may be required to bridge connection to native recessional outwash sands at the native rate.

**36 WEST BIORETENTION CELL**  
SCALE: NTS

**Design Criteria for Custom Bioretention Soil Mixes**

- CEC ≥ 5 meq/100 grams of dry soil; USEPA 9081
- pH between 5.5 and 7.0
- 5-8 percent organic matter content before and after the saturated hydraulic conductivity test; ASTM D2974(Standard Test Method for Moisture, Ash, and Organic Matter of Fertil and Other Organic Soil)
- 2.5 percent fines passing the 200 sieve; TMECC 04.11-A
- Measured (initial) saturated hydraulic conductivity of less than 12 inches per hour; ASTM D 2434 (Standard Test Method for Permeability of Granular Soils (Constant Head)) at 85% compaction per ASTM D 1557 (Standard Test Method's for Laboratory Compaction Characteristics of Soil Using Modified Effort). Also, use Appendix V.8, Recommended Procedures for ASTM D 2434 When Measuring Hydraulic Conductivity for Bioretention Soil Mixes.
- Design (long-term) saturated hydraulic conductivity of more than 1 inch per hour. Note: Design saturated hydraulic conductivity is determined by applying the appropriate infiltration correction factors as explained above under "Determining Bioretention soil mix infiltration rate."
- If compost is used in creating the custom mix, it must meet all of the specifications listed below for compost.

Infiltration rates for the initial placement of Bioretention Soil Media is to be within 6 to 12 inches per hour to ensure vegetation survival.



**12 TYPICAL INFILTRATION TRENCH PREPARATION**  
SCALE: 1"=3'

**Design Criteria:**

- Soil Retention:** The duff layer and native topsoil should be retained in an undisturbed state to the maximum extent practicable. In any areas requiring grading remove and stockpile the duff layer and topsoil on site in a designated, controlled area, not adjacent to public resources and critical areas, to be recycled to other portions of the site where feasible.
- Soil Quality:** The resulting soil should be conducive to the type of vegetation to be established. All areas subject to clearing and grading that have not been covered by impervious surface, incorporated into a drainage facility or engineered as structural fill or slope shal, at project completion, demonstrate the following:
  - A topsoil layer with a minimum organic matter content of ten percent dry weight in planting beds, and 5% organic matter content (based on a loss-on-ignition test) in turf areas, and a pH from 6.0 to 8.0 or matching the pH of the original undisturbed soil. The topsoil layer shall have a minimum depth of eight inches except where tree roots limit the depth of incorporation of amendments needed to meet the criteria. Subsoils below the topsoil layer should be scarified at least 4 inches with some incorporation of the upper material to avoid stratified layers, where feasible.
  - Planting beds must be mulched with 2 inches of organic material.
  - Quality of compost and other materials used to meet the organic content requirements:
    - 1. The organic content for "pre-approved" amendment rates can be met only using compost meeting the compost specification for Bioretention (BMP 17.30), with the exception that the compost may have up to 35% biosolids or manure.
    - 2. Compost used in bioretention areas should be stable, mature and derived from yard debris, wood waste, or other organic materials that meet the intent of the organic soil amendment specification. Biosolids and manure composts can be higher in bioavailable phosphorus than compost derived from yard or plant waste and therefore are not allowed in bioretention areas due to the possibility of exporting bio-available phosphorus in effluent.
    - 3. The compost must also have an organic matter content of 35% to 65%, and a carbon to nitrogen ratio below 25:1.
    - 4. The carbon to nitrogen ratio may be as high as 35:1 for plantings composed entirely of plants native to the Puget Sound Lowlands region.
  - Calculated amendment rates may be met through use of composted material meeting the requirements above; or other organic materials amended to meet the carbon to nitrogen ratio requirements, and not exceeding the contaminant limits identified in Table 220-8, Testing Parameters, in WAC 173-350-220.

**Implementation Options:**

Option 1: Leave native soil undisturbed, and protect from compaction during construction. Option 1 is only applicable to sites that have the original, undisturbed soil native to the site. This will most often be forested land that is being left undisturbed in the current project.

**Option 2: Amend disturbed soil according to the following procedures:**

- a. Scarify subsoil to a depth of one foot.
- b. In planting beds, place three inches of compost and fill in to an eight-inch depth.
- c. In turf areas, place two inches of compost and fill in to an eight-inch depth.
- d. Apply two to four inches of arborist wood chip, coarse bark mulch, or compost mulch to planting beds after final planting. (Alternatively, disturbed soil can be amended on a site-customized manner so that it meets the soil quality criteria set forth above, as determined by a licensed engineer, geologist, landscape architect, or other person as approved by Snohomish County).

**Option 3: Disturbed Soil.**

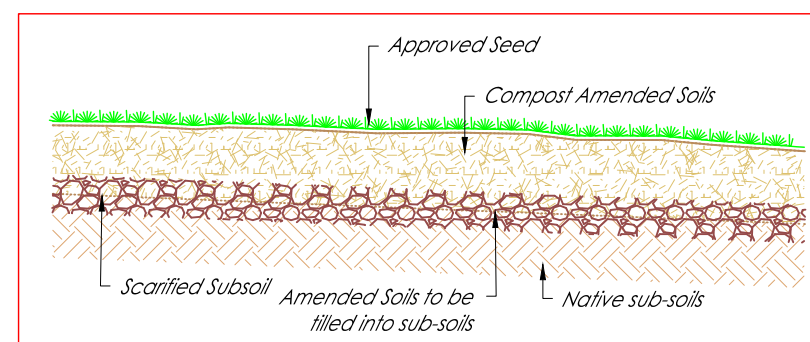
Stockpile existing topsoil during grading and replace it prior to planting. Stockpiled topsoil must be amended if needed to meet the organic matter and depth requirements by following the procedures in option (4). Remove forest duff layer and topsoil and stockpile separately, in an approved location prior to grading. Cover soil and duff piles with woven weed barrier (available from nursery supply stores) that sheds moisture yet allows airflow.

**Option 4: Import topsoil mix with 10% min soil organic matter content.**

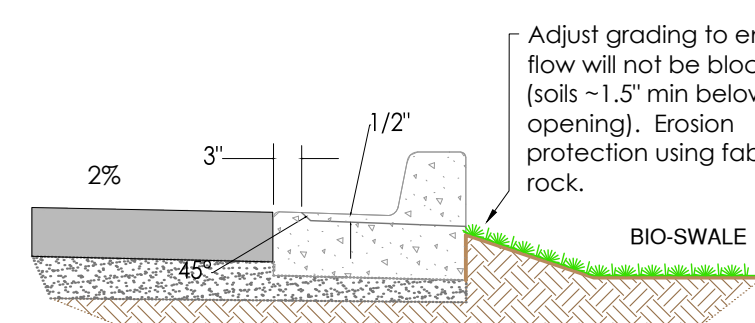
Import topsoil mix of sufficient organic content and depth to meet the organic matter and depth requirements.

**NOTE:** All yards, landscape areas, or disturbed areas to receive 18 inches of Compost Amended Soils meeting the criteria of BMP T5.13. Careful removal of 9 inches of the onsite Forest Duff\*\* could meet this requirement if properly protected and cared for during the Construction Process.

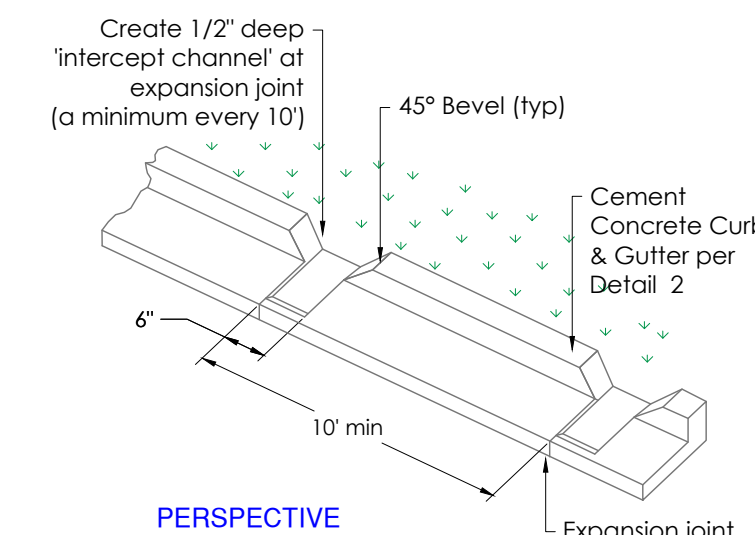
\*\*Ignition testing of organics shall confirm that forest duff meets BMP T5.13 Specifications by an independent soils lab. Note: Grading with Heavy Equipment may render this layer unsuitable.



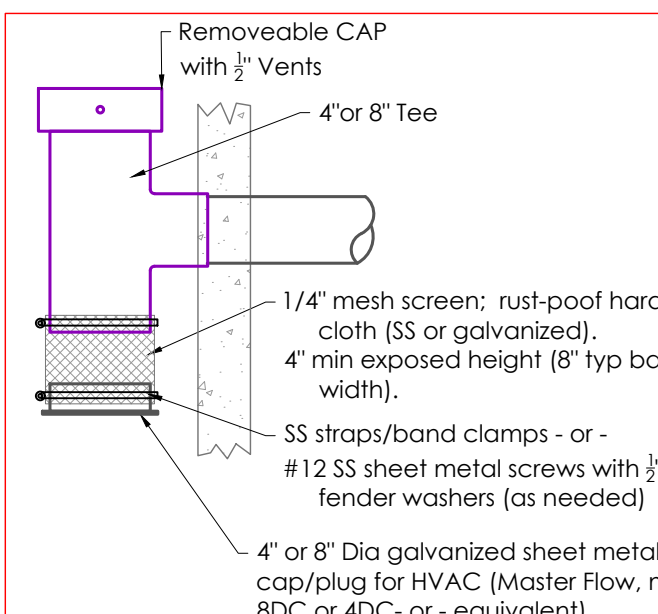
**513 POST-CONSTRUCTION SOIL QUALITY AND DEPTH**  
SCALE: NTS



**INTERCEPT CHANNEL CROSS SECTION**



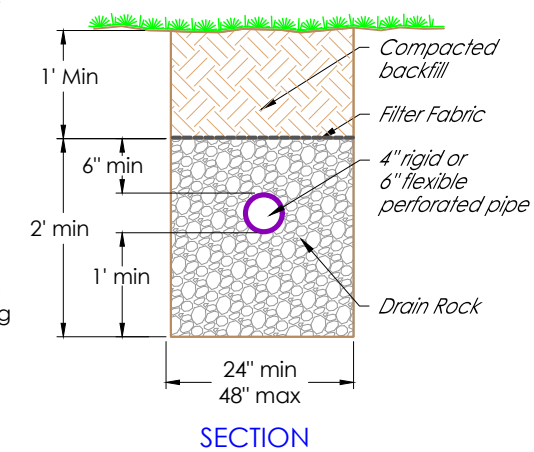
**7 CURB INTERCEPT CHANNEL DETAIL**  
SCALE: NTS  
Land Technologies, Inc.



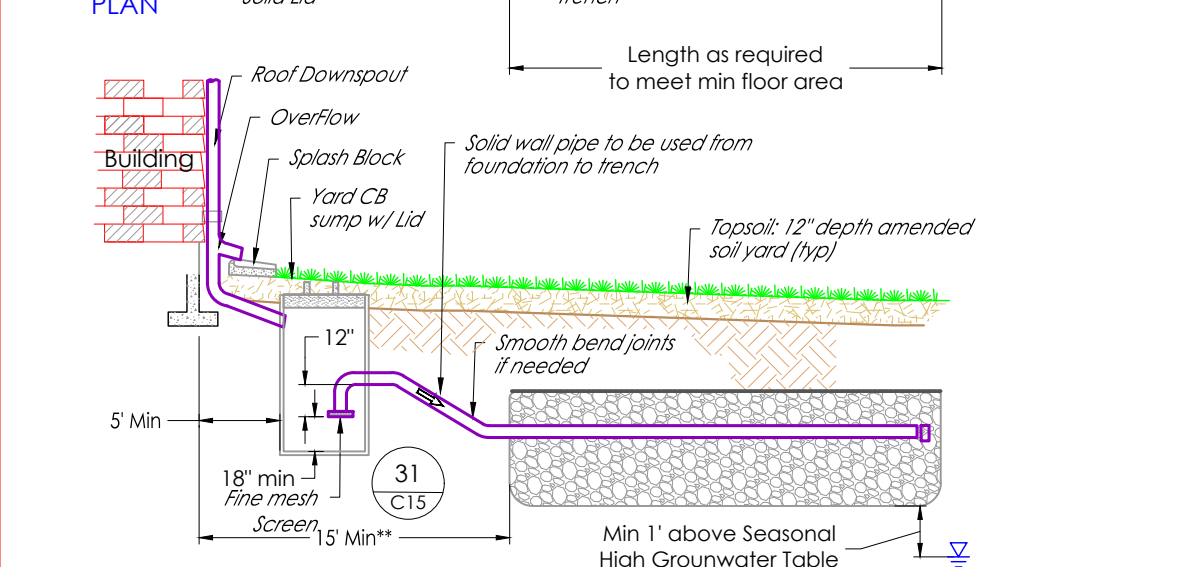
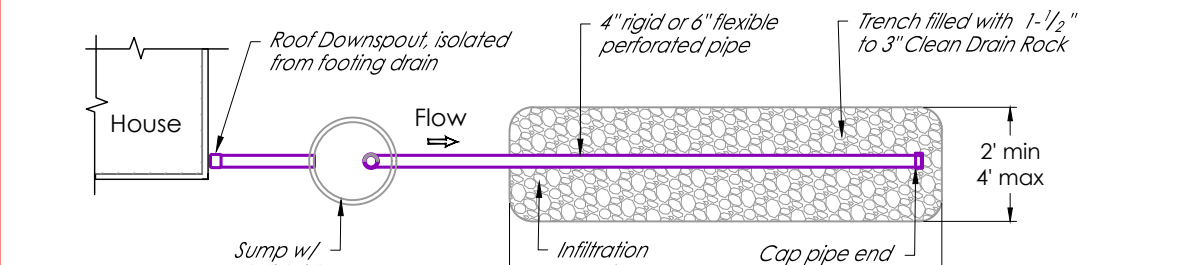
**31 LOWER ORIFICE DRAIN SCREEN**  
SCALE: NTS  
©2022 Land Technologies, Inc.

**Installation Criteria for NPGIS Infiltration Trenches**

- 1. Maximum length of trench is 100 feet from inlet sump.
- 2. Minimum spacing between trench outer edges is 4 feet.
- 3. Filter fabric required over the drain rock prior to backfilling.
- 4. Trenches should be constructed at the end of the development construction.
- 5. Avoid smearing soil surface at bottom of trench. Smearing can be corrected by raking or roto-filling.
- 6. Trenches may be located under pavement if a small yard drain or catch basin with grate cover is placed at the end of the trench pipe such that overflow would occur out of the catch basin at an elevation at least one foot below that of the pavement, and in a location which can accommodate the overflow without creating a significant adverse impact to downhill properties or drainage systems. This is intended to prevent saturation of the pavement subgrade in the event of system failure.
- 7. Drain rock to be 1-1/2" to 3" clean drain rock (no fines), clean RR ballast, or meet WSDOT 3rd spec 9-03.12(S) Gravel Backfill for Drywells.



**\*\*Setback Note:**  
10' min. setback for slab foundations  
15' min. setback for wall foundations  
All setbacks subject to geotechnical approval. Setbacks as close as 5' may be approved.

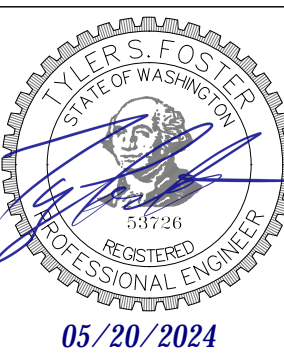
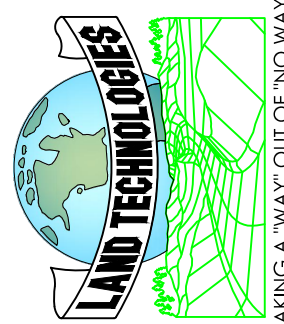


**30 DOWNSPOUT INFILTRATION TRENCH**  
SCALE: NTS per 2019 SMMWW v03.3.1.1 Fig 3.3

**CONSTRUCTION DRAWING REVIEW ACKNOWLEDGEMENT**

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JOSH KING, P.E., DEVELOPMENT SERVICES MANAGER  
THESE APPROVED CONSTRUCTION PLANS EXPIRE AFTER PERIOD OF 60 MONTHS FROM THE DATE SHOWN ABOVE OR UPON EXPIRATION OF PRELIMINARY PLAT OR SITE PLAN APPROVAL PER MMC 22A.040.020 & 22A.040.030.



05/20/2024

PROJECT LEAD: Merie  
CHECKED BY: Tyler  
DRAWN BY:  
APPLICATION DATE:  
SITE APPROVAL:  
REVISION DATE:  
LDA APPROVAL:  
AS-BUILT:

163 RV Storage  
163XX Smokey Point Blvd, Marysville, WA 98271  
A PORTION OF SECTION 28, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.

Richard Peterson  
170 120th Ave NE Ste 203, Bellevue, WA 98005

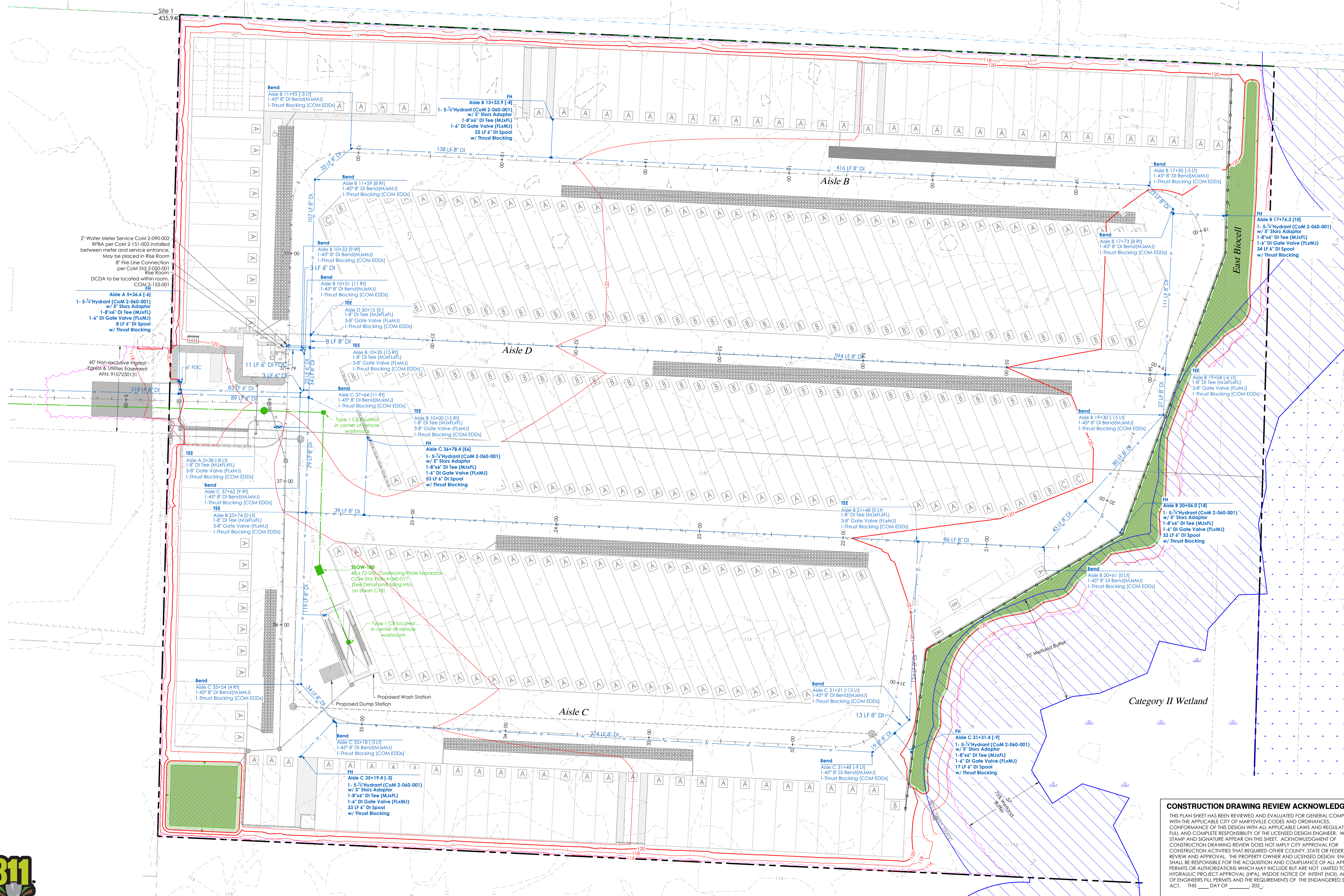
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Know what's below. Call before you dig.

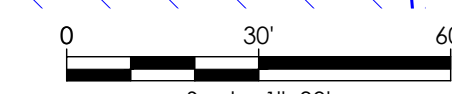
SEWER AND WATER OVERVIEW PLAN



CONSTRUCTION DRAWING REVIEW ACKNOWLEDGEMENT

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Scale: 1"=30'

**LAND TECHNOLOGIES**  
18820 Third Avenue, N.E.  
Arlington, WA 98223  
360-652-9727

PROJECT LEAD: *Alexis*  
CHECKED BY: *Tyler*  
DRAWN BY: *-*  
APPLICATION DATE: *-*  
SITE APPROVAL DATE: *-*  
REVISION DATE: *-*  
LDA APPROVAL: *-*  
AS-BUILT: *-*

163 RV Storage  
163XX Smokey Point Blvd, Marysville, WA 98271  
A PORTION OF SECTION 28, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.

Richard Peterson  
170 120th Ave NE Ste 203, Bellevue, WA 98005

05/20/2024

SHEET  
C16 of C20  
24x36  
PA23016

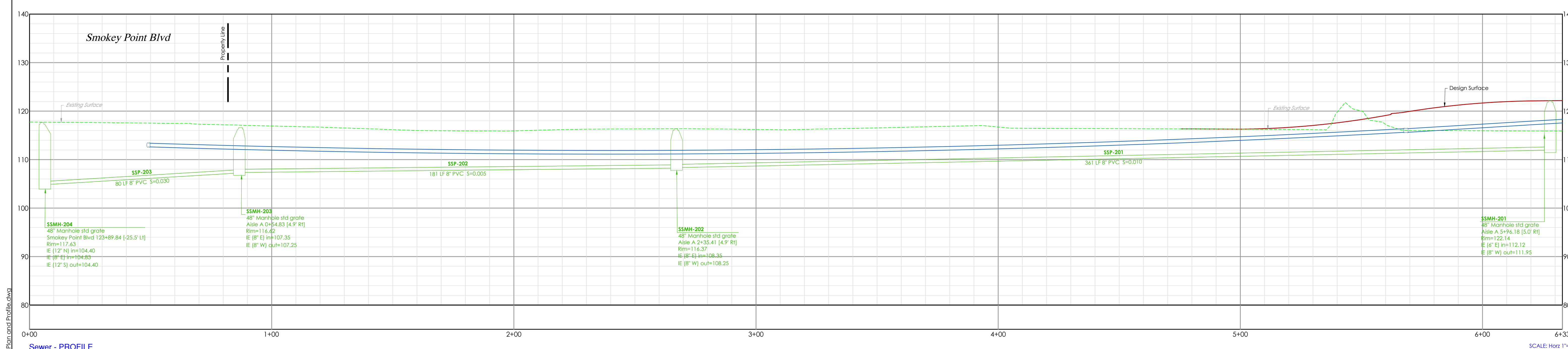
SEWER AND WATER OVERVIEW PLAN

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Sewer - PROFILE

SCALE: Horz 1\"/>

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LAND TECHNOLOGIES  
 18820 Third Avenue, N.E.  
 Arlington, WA 98223  
 360-652-9727

LAND TECHNOLOGIES  
 MAKING A WAY OUT OF NO WAY

PROJECT LEAD: Aerie  
 CHECKED BY: Tyler  
 DRAWN BY: -  
 APPLICATION DATE: -  
 SITE APPROVAL: -  
 REVISION DATE: -  
 LDA APPROVAL: -  
 AS-BUILT: -

163XX Smokey Point Blvd, Marysville, WA 98271  
 A PORTION OF SECTION 28, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.

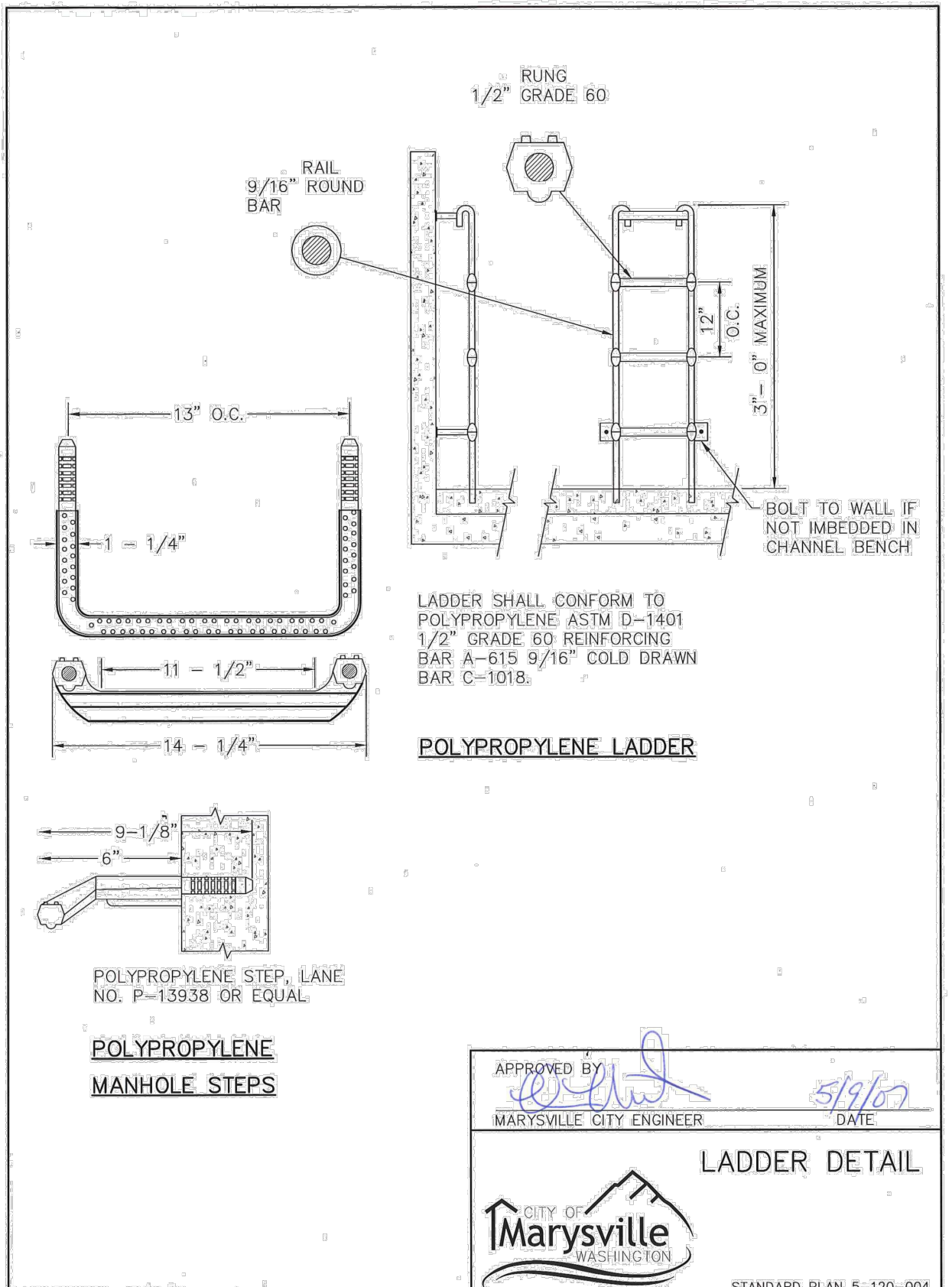
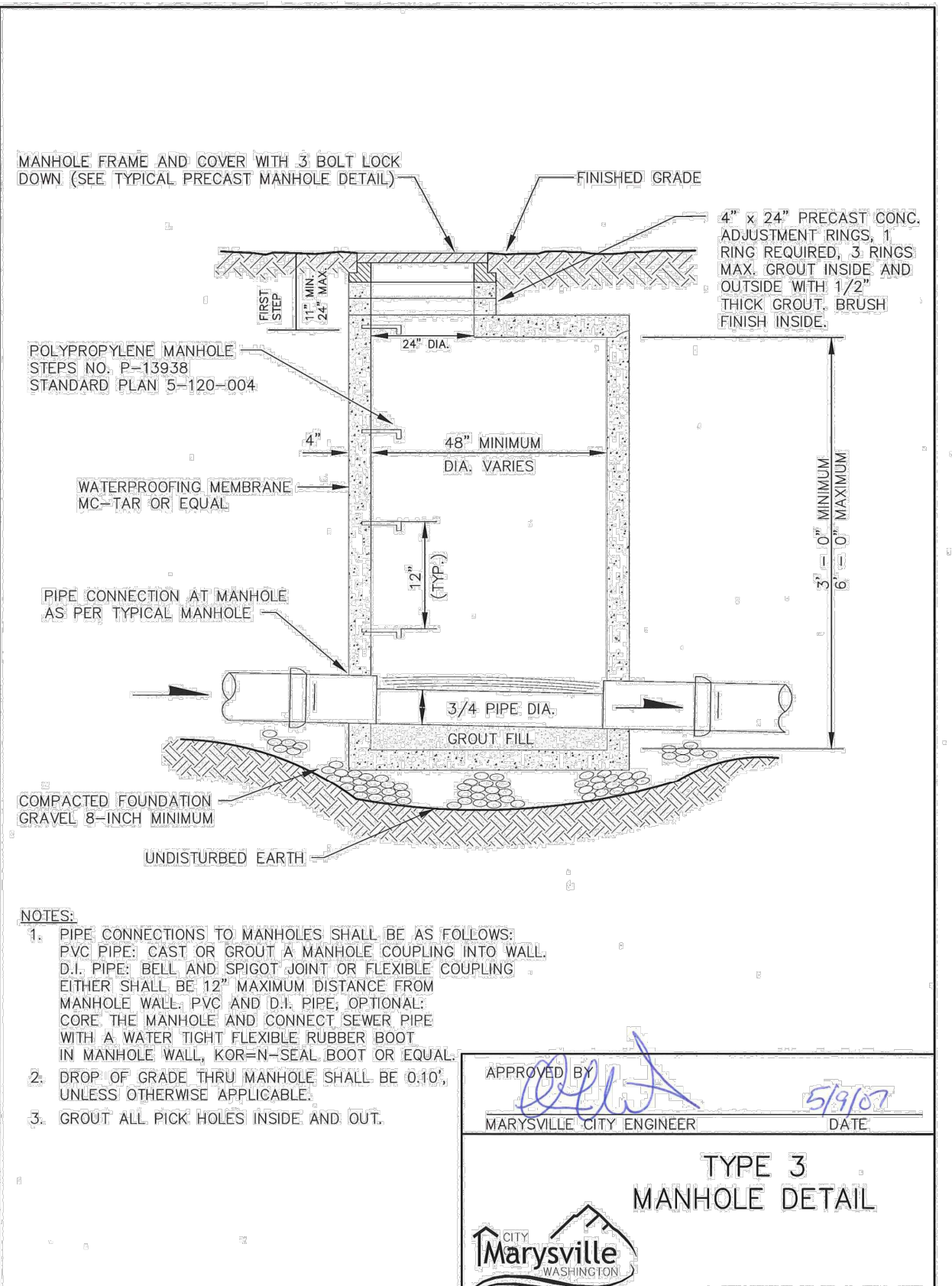
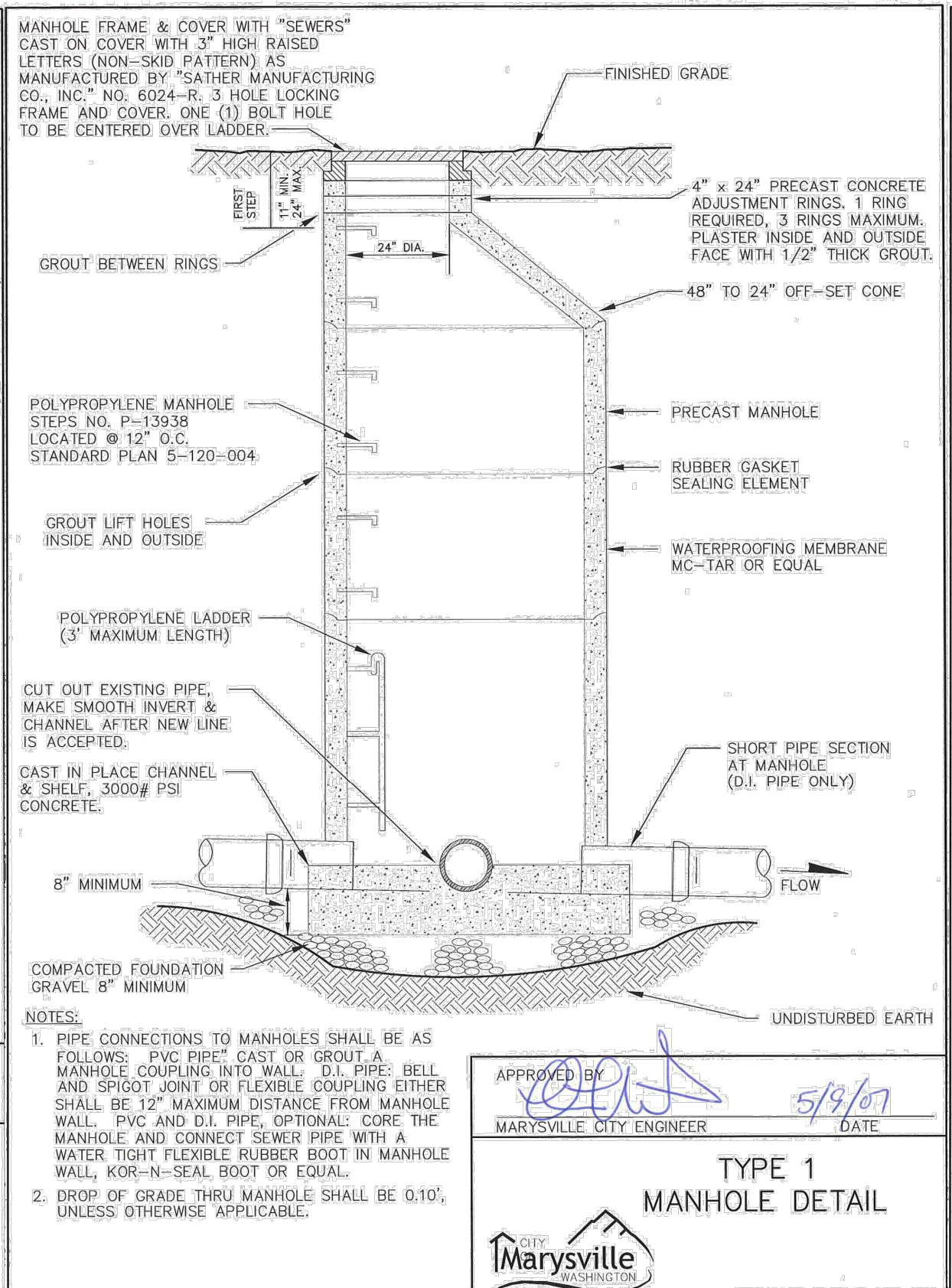
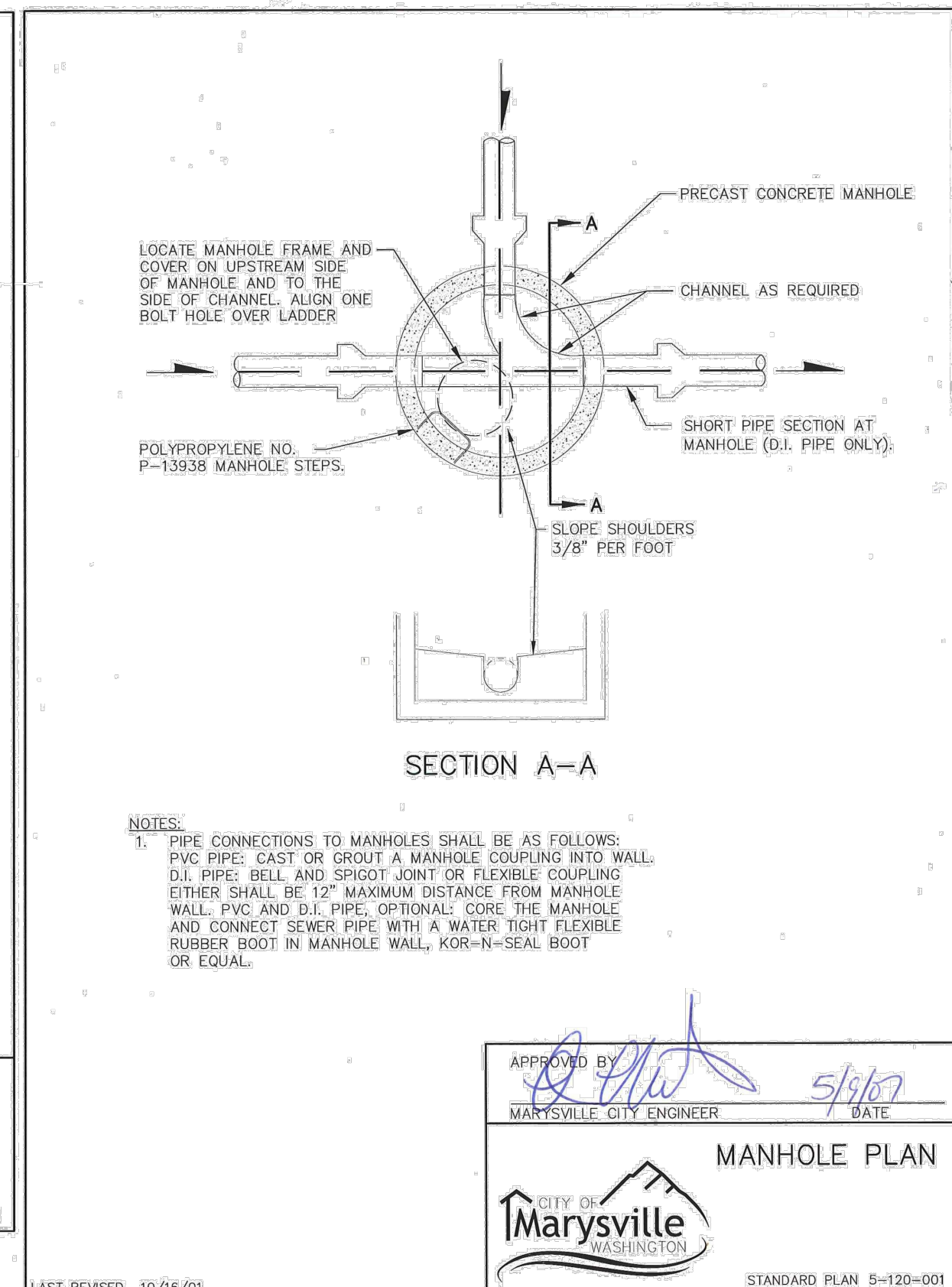
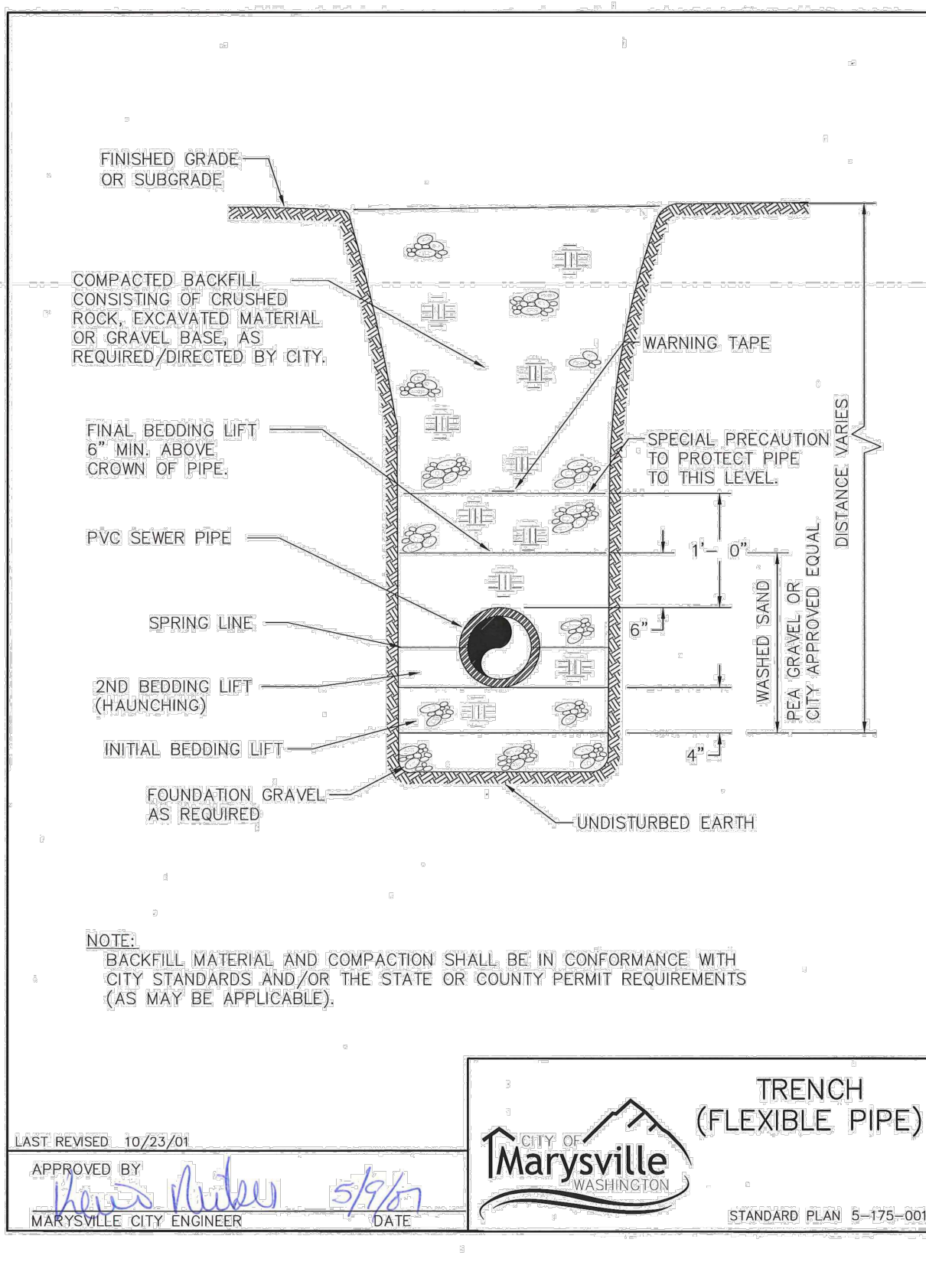
Richard Peterson  
 170 120th Ave NE Ste 203, Bellevue, WA 98005

SEWER AND WATER PLAN AND PROFILE

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 C17 of C20  
 24x36

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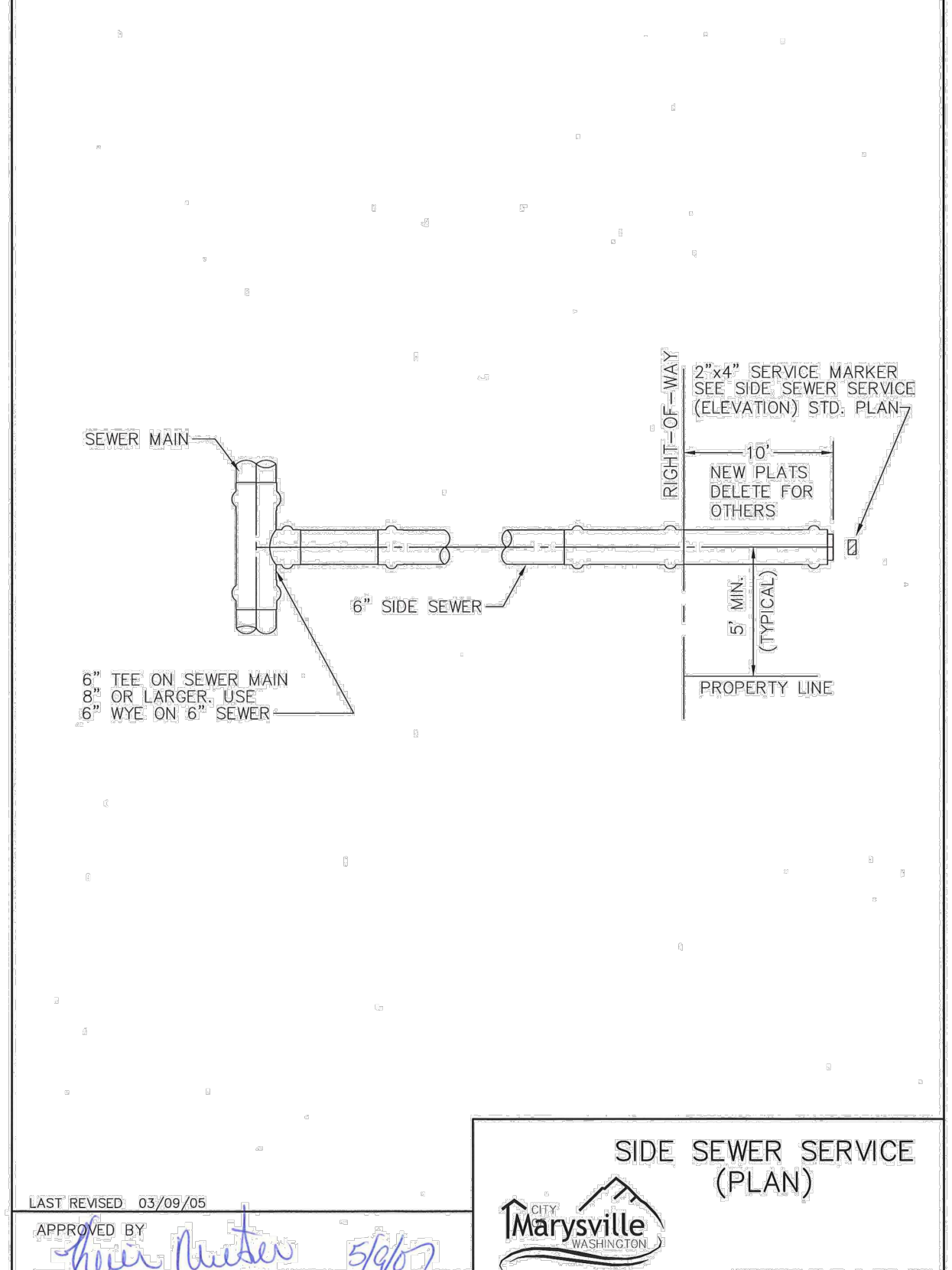
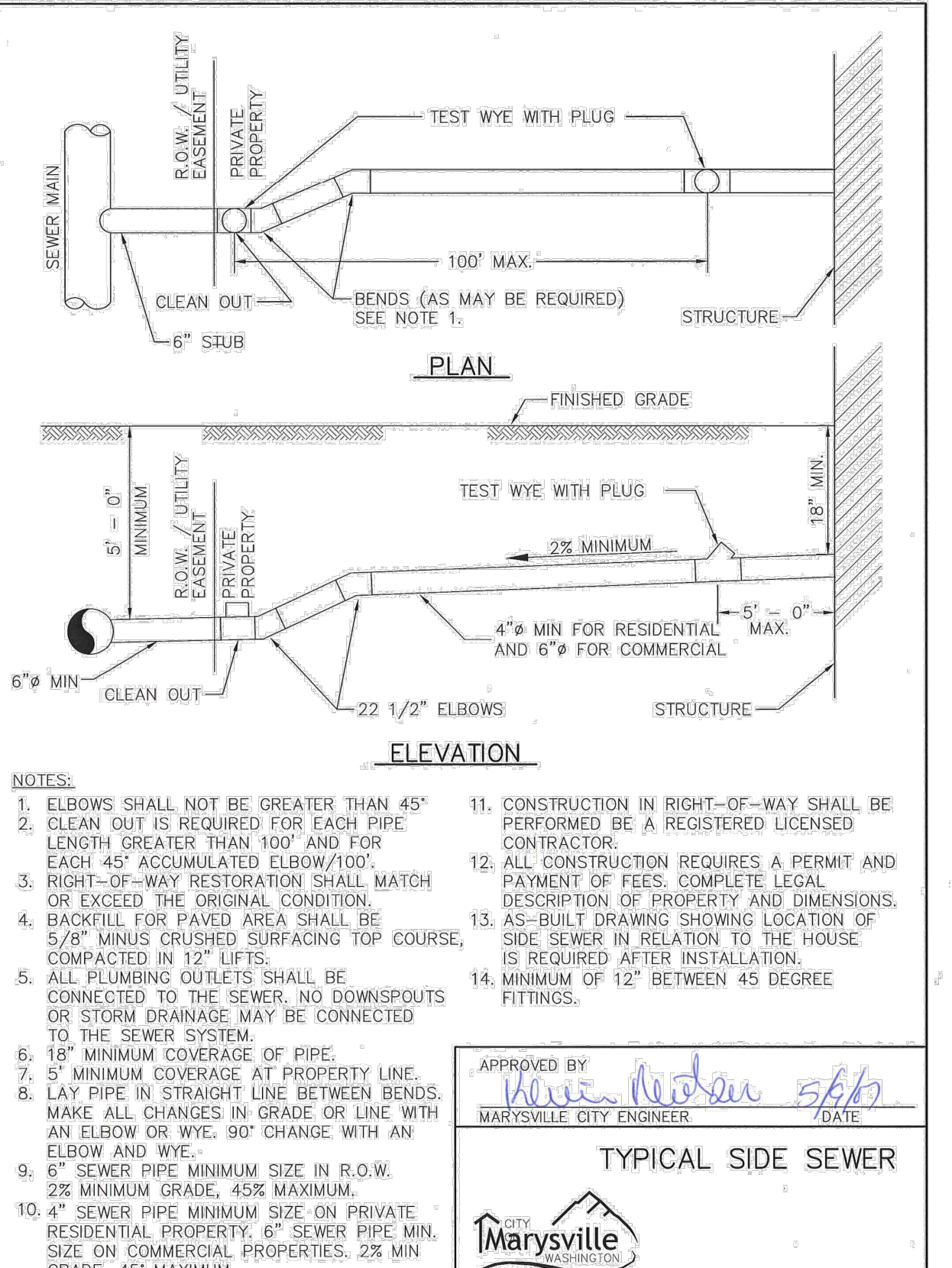
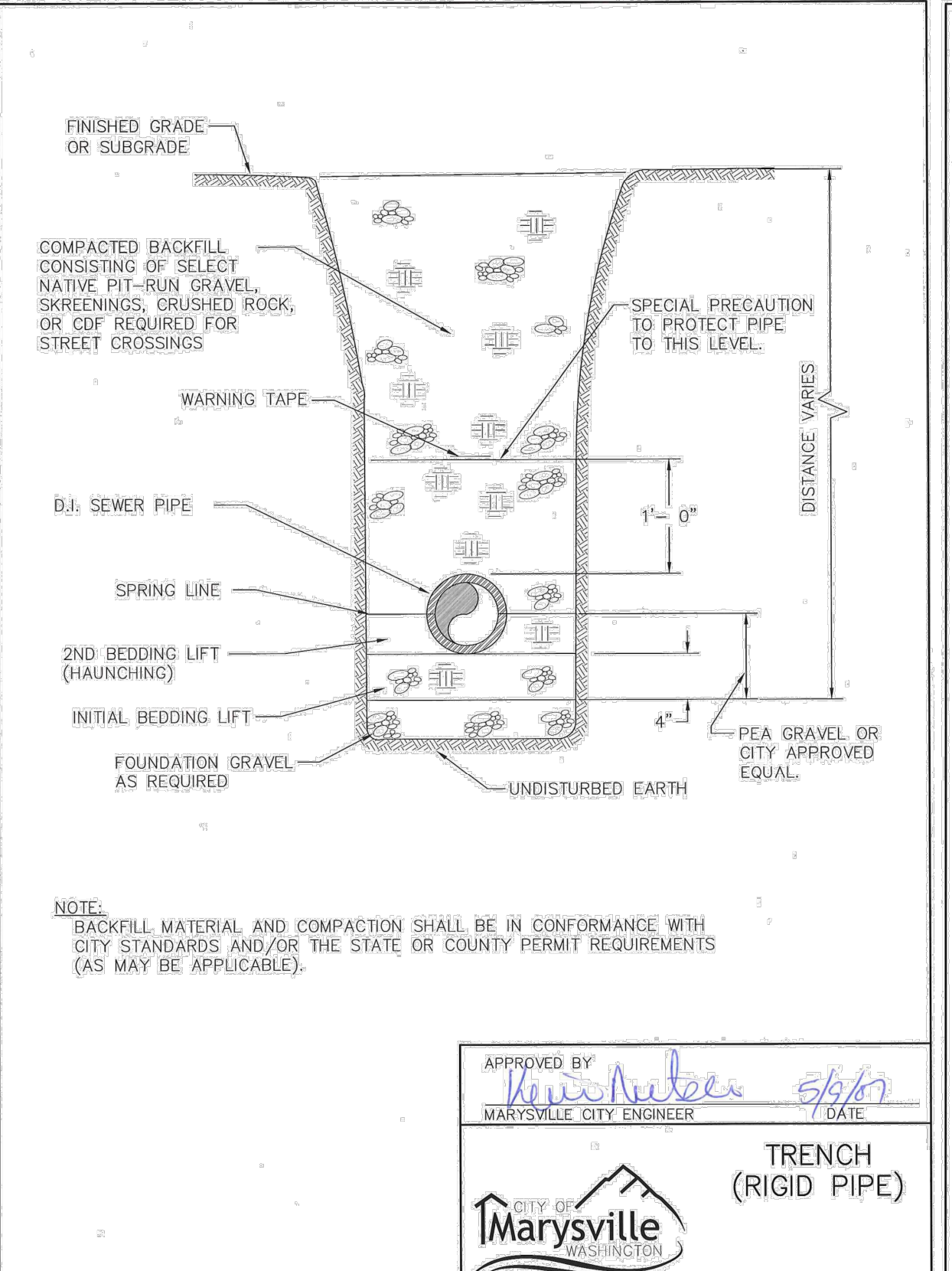
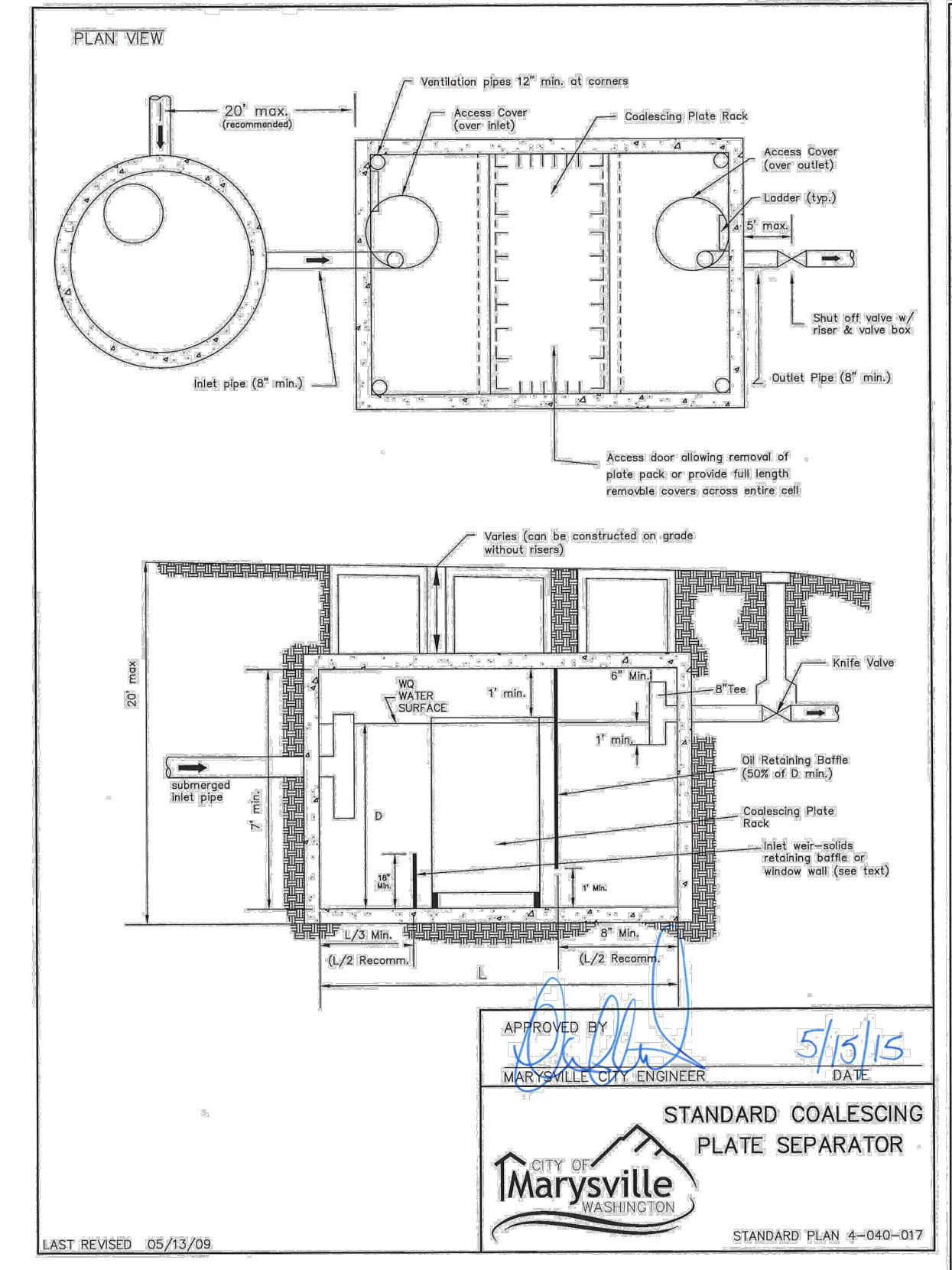


**Oil and Water Separator BMPs**  
BMP 111.11 Coalescing Plate (CP) Separator Bay Design

<b>Flow Calcs from WHM Software</b>		
Collection Area (washpad, service area, fueling area)	1.168	sf
Coverage, Driveways, Flat	0.0268	ac
<b>Water Quality Analysis</b>		
Flow rate of industrial supplied 3/4" Hose for rinsing vehicles.		
Design Flow Rate	<b>Qwq</b>	<b>0.0440</b> cfs
Determine oil rise rate		
Stoke Law Rise Rate $Vt = g(pw-pa)D^2/18\mu w$		
operation temperature	<b>T</b>	45.0 °F
gravity constant	<b>g</b>	32.174 ft/sec <sup>2</sup>
density of water	<b>pw</b>	62.388 lb/ft <sup>3</sup>
density of oil	<b>po</b>	56.160 lb/ft <sup>3</sup>
oil particle diameter	<b>D</b>	90 micron
viscosity of water at T	<b>uw</b>	2.979E-05 lbf.sec/ft <sup>2</sup>
Vertical Velocity (Rise Rate)	<b>Vt</b>	0.033 ft/min
Horiz Plate Surface Area needed $A_p = Q/Vt$	<b>Ap</b>	1.35 sf
<b>General Design Criteria</b>		
Service Area		1.168 sf
Settling Area to Service Area Ratio		0.001 sf/sf
Separator ForeBay Area (10 sf/10K of service area)		1.17 sf
ForeBay Width		4.00 ft
ForeBay Length (will include pack area)		0.292 ft
		0.056274175
<b>Establish Chamber Dimensions</b>		
Vault height (7 to 20)		7.00 ft
Lid to WL clearance		1.00 ft
Chamber Depth (3 to 8)	<b>d</b>	6.00 ft
Chamber Width (4 to 20)	<b>w</b>	4.00 ft
Residence time (min) $t_m = d/Vt$	<b>tm</b>	184.17 min
Flow Section Area	<b>Af</b>	24.00 sf
Flow Perimeter	<b>Pf</b>	48.00 ft
Bulk Hydraulic Horiz Velocity $V_h = Q/Af$	<b>Vh</b>	0.0018 ft/sec
Hydraulic Radius $R_h = 4 \cdot Af/Pf$	<b>Rh</b>	6.00 ft
Reynolds Number $Re = pwV_hR_h/uw$	<b>Re</b>	23.037
Turbulence factor (appendix V-D) (1.28 to 1.74)	<b>vh/Vt</b>	0.056
	<b>F</b>	1.5
<b>Separator Segment Lengths</b>		
Separator $L(s) = (V_h/Vt)d$	<b>L(s)</b>	0.51 ft
Forebay $L(f) = 0.667 \cdot L(s)$	<b>L(f)</b>	0.34 ft
Afterbay $L(a) = 0.50 \cdot L(s)$	<b>L(a)</b>	0.25 ft
Total Length $L(t) = L(f) + L(s) + L(a)$	<b>L(t)</b>	1.10 ft
<b>DESIGN DIMENSIONS</b>		
	<b>L(s)</b>	3.00 ft
	<b>L(f)</b>	2.00 ft
	<b>L(a)</b>	1.00 ft
	<b>L(t)</b>	6 ft

**STANDARD COALESCING PLATE SEPARATOR**  
STANDARD PLAN 4-040-017

APPROVED BY: *Kevin Anderson* 5/13/24  
MARYSVILLE CITY ENGINEER DATE



**LAND TECHNOLOGIES**  
18820 Third Avenue, N.E.  
Arlington, WA 98223  
360-652-9727

**Richard Peterson**  
170 120th Ave NE Ste 203, Bellevue, WA 98005

**163 RV Storage**  
143XX Smokestack Point Blvd, Marysville, WA 98271

**CITY OF MARYSVILLE SEWER DETAILS**  
A PORTION OF SECTION 28, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.

PROJECT LEAD: *Alexis*  
CHECKED BY: *Fyler*  
DRAWN BY: *Fyler*  
APPLICATION DATE: *5/20/24*  
SITE APPROVAL: *5/20/24*  
REVISION DATE: *5/20/24*  
LDA APPROVAL: *5/20/24*  
AS-BUILT: *5/20/24*

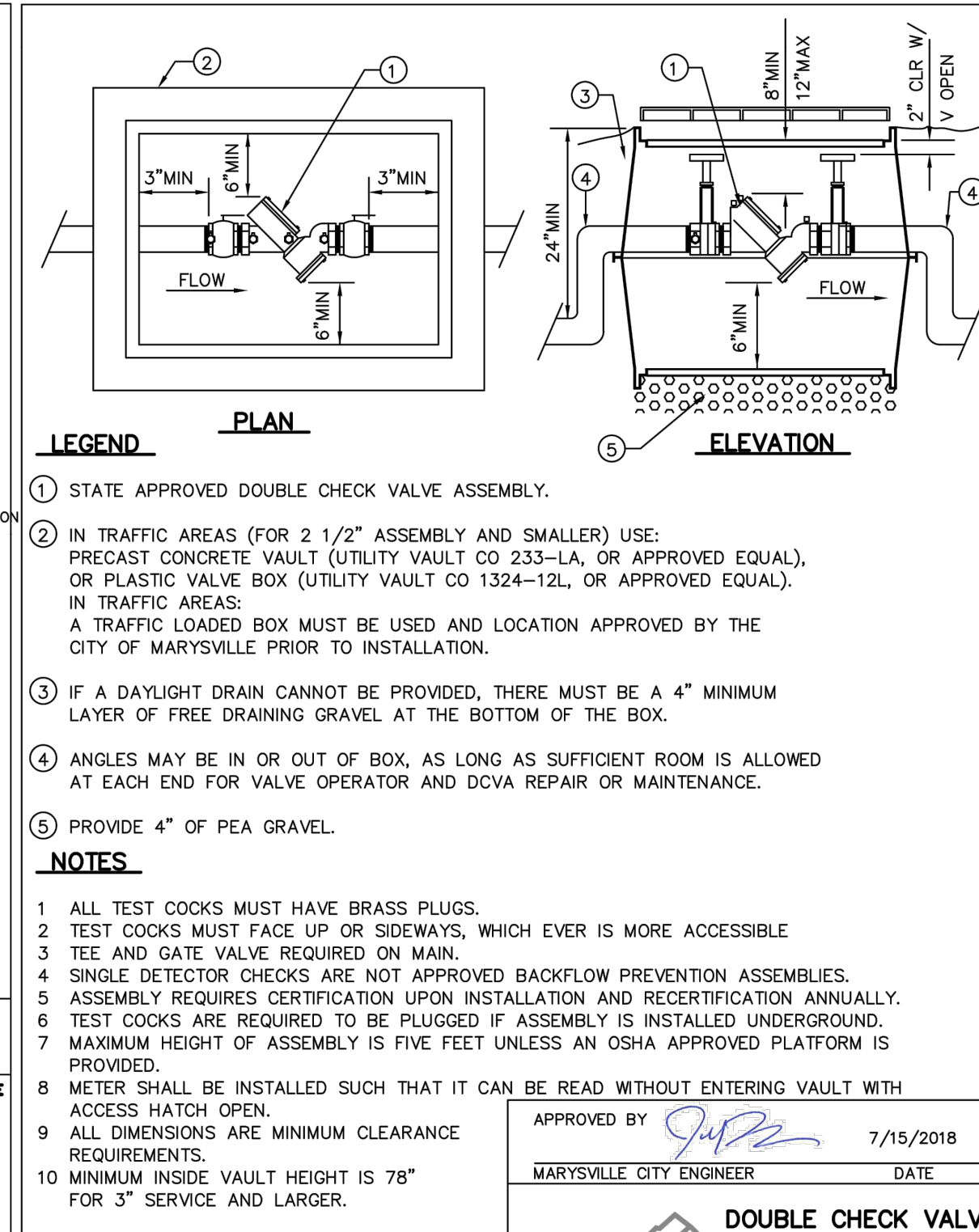
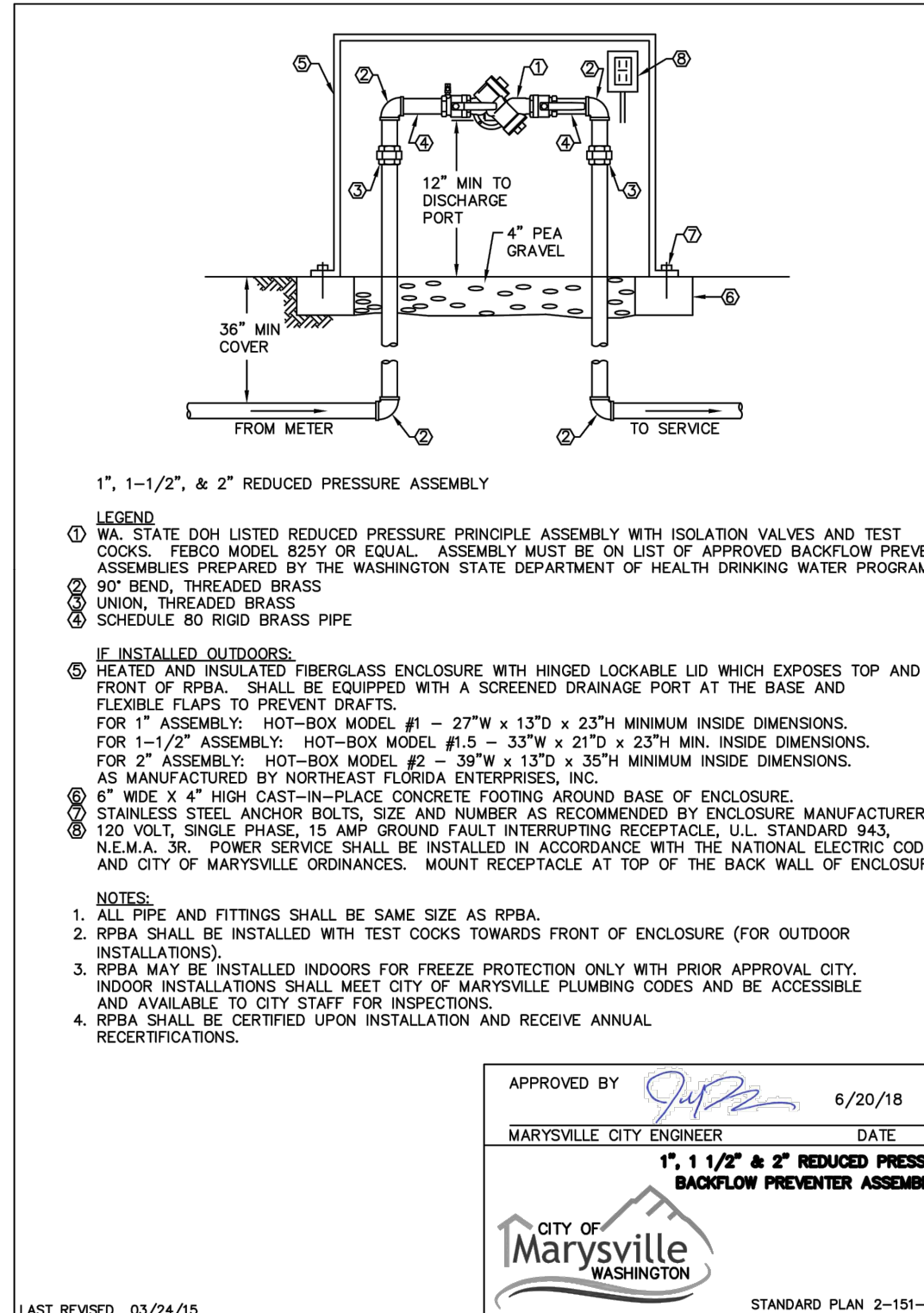
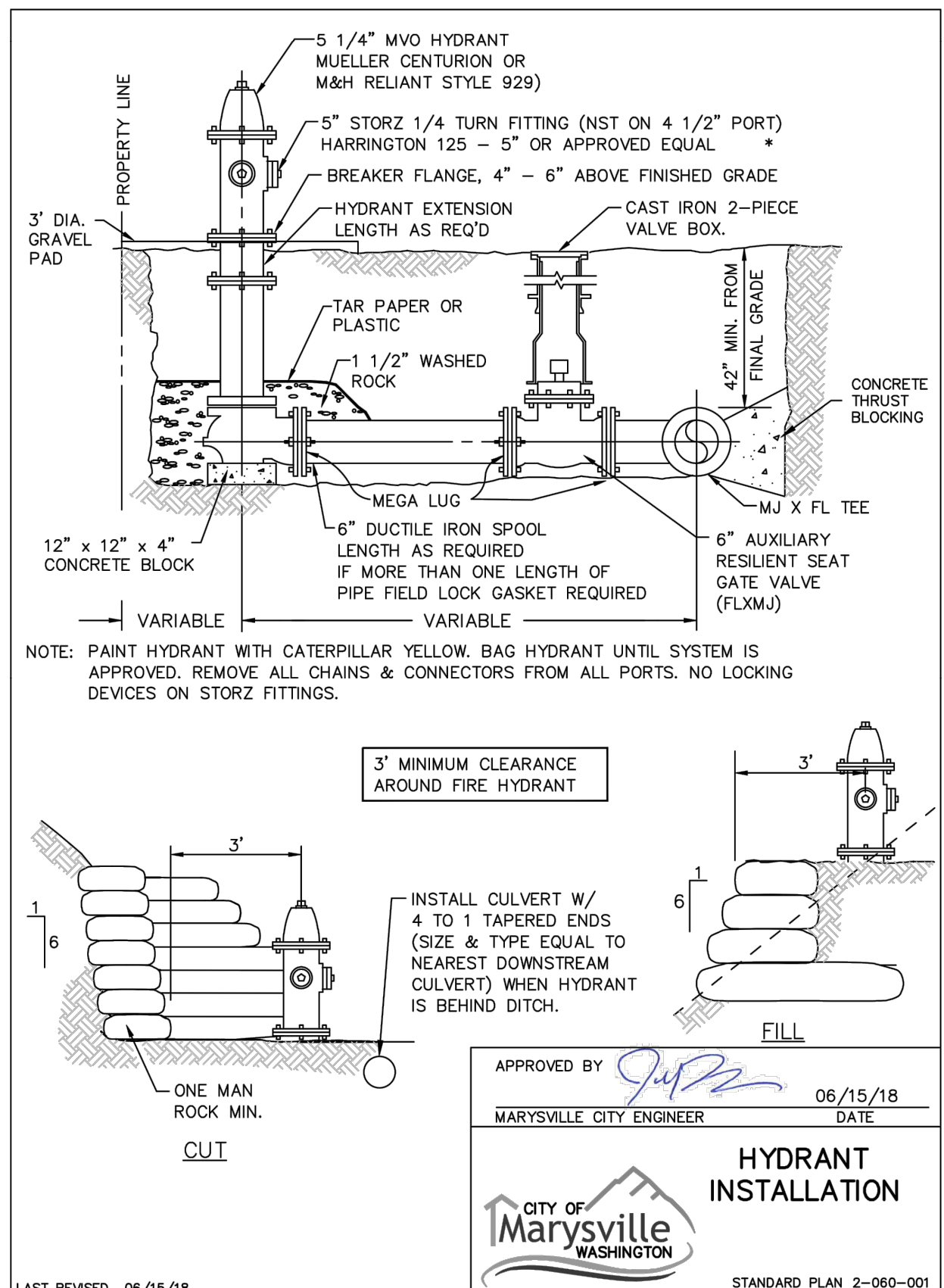
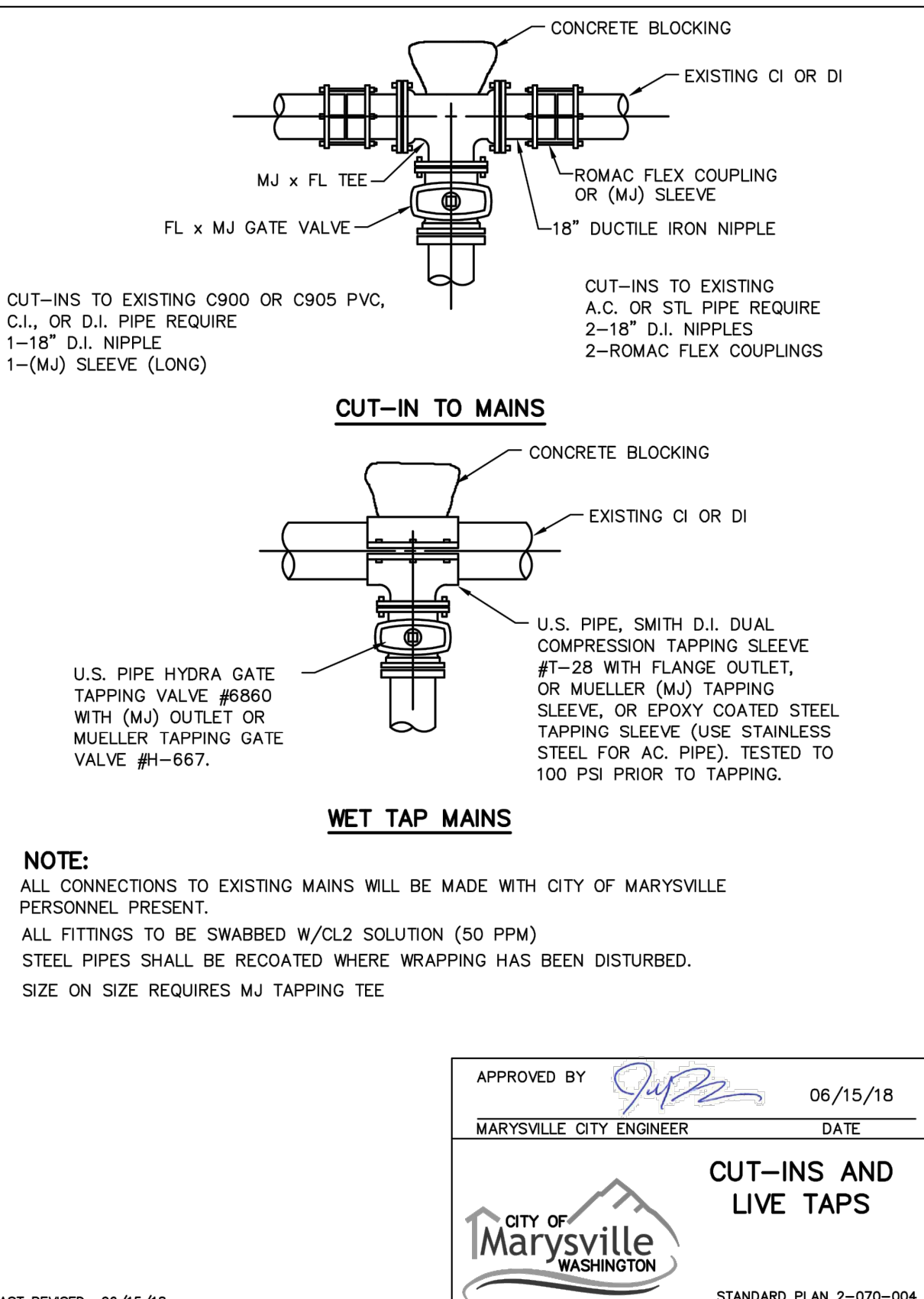
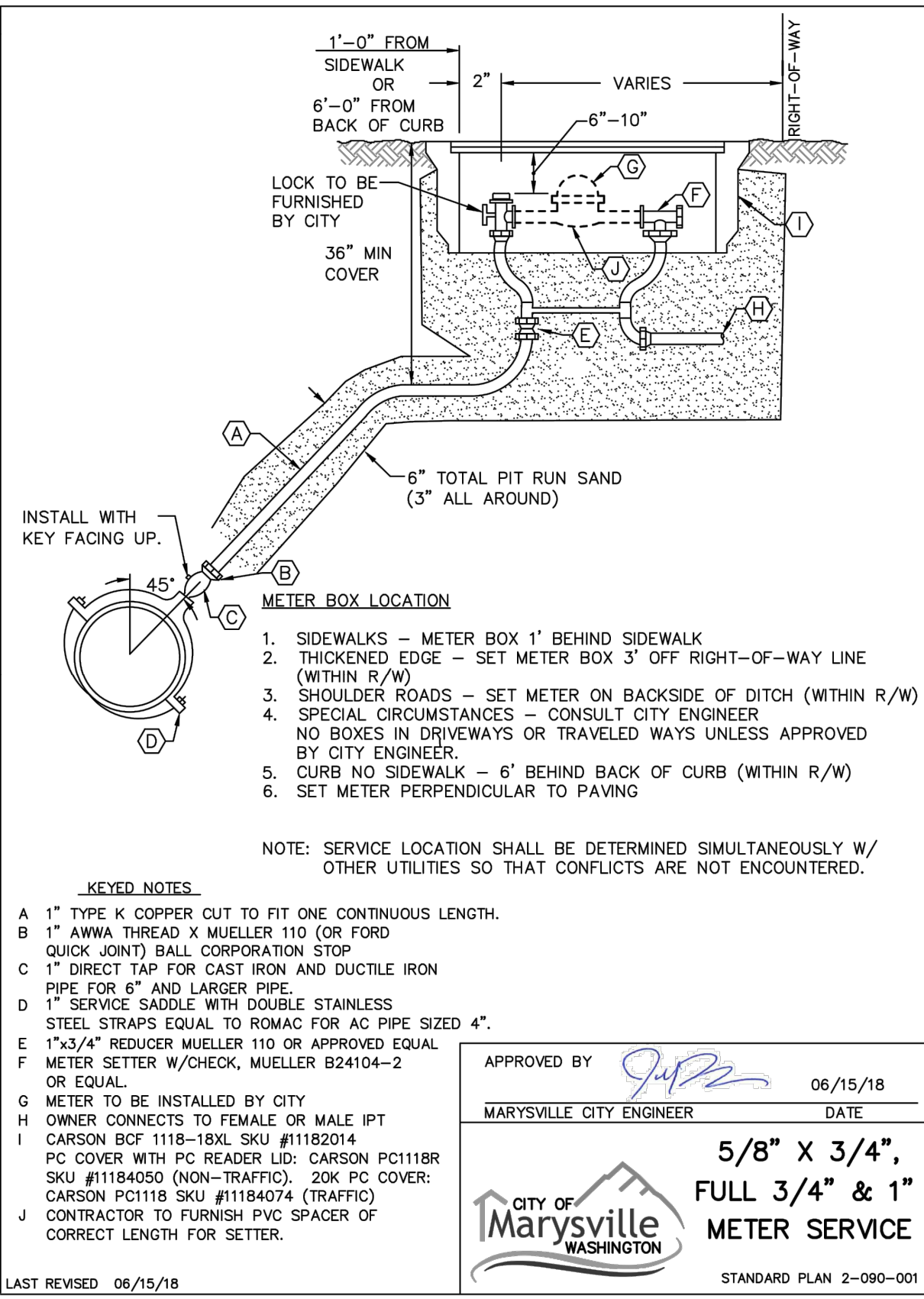
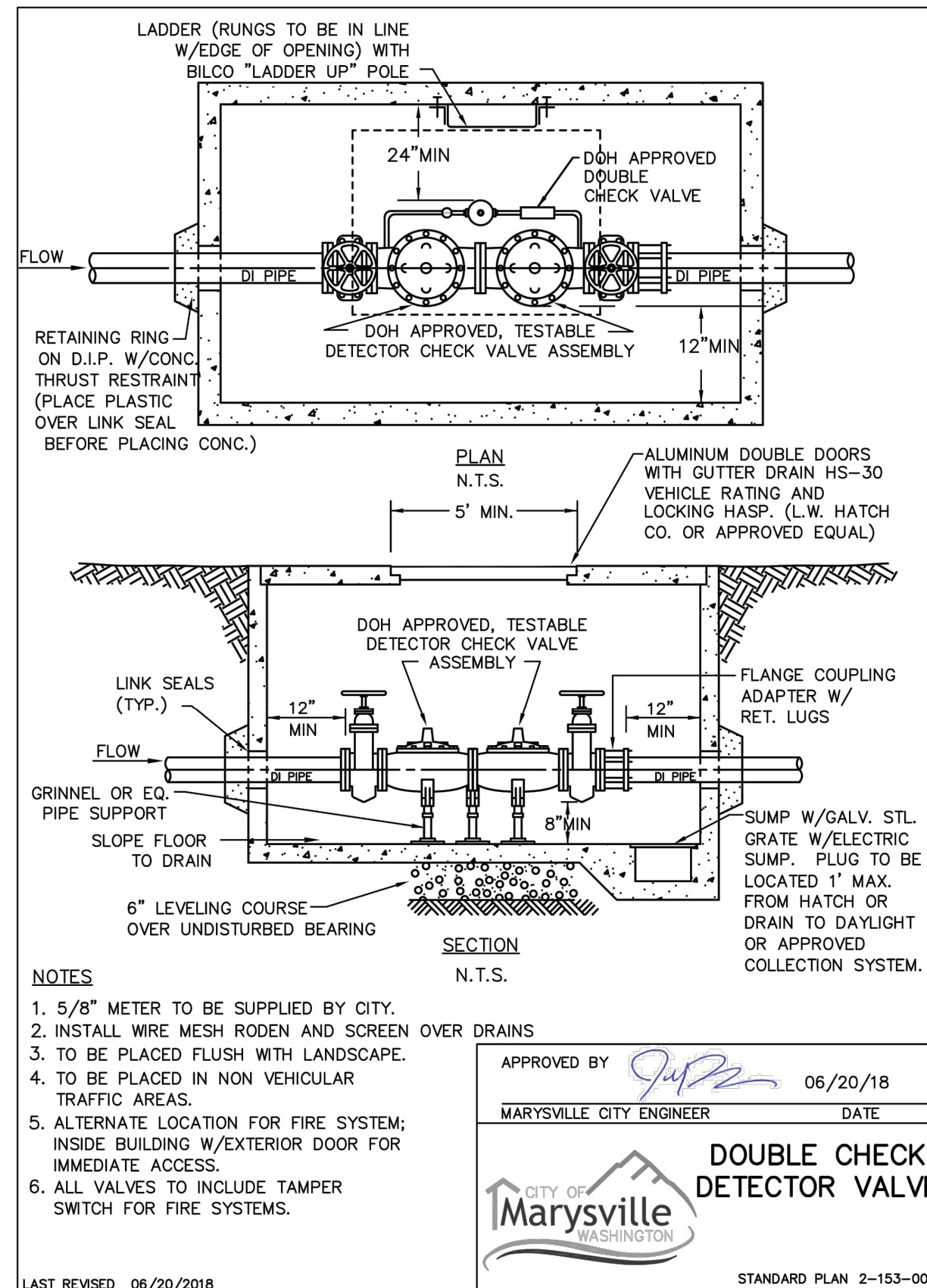
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**811**  
Know what's below.  
Call before you dig.

SHEET **C18** of **C20**  
24x36  
PA23016



**THRUST BLOCK TABLE**

PIPE SIZE	A (FT.2)	B (FT.2)	C (FT.2)	D (FT.2)	E (FT.2)
3"	3	2	2	2	2
4"	4	2	2	2	2
6"	7	4	4	2	2
8"	11	10	6	3	2
10"	16	14	9	5	3
12"	22	19	12	6	3
14"	29	25	16	8	4
16"	36	31	20	10	5
18"	45	39	24	13	6
20"	54	47	29	15	8
22"	64	56	35	18	9
24"	87	76	48	24	12
30"	101	87	55	28	14
36"	145	125	78	40	20
42"	197	171	107	55	27
48"	257	223	140	71	36

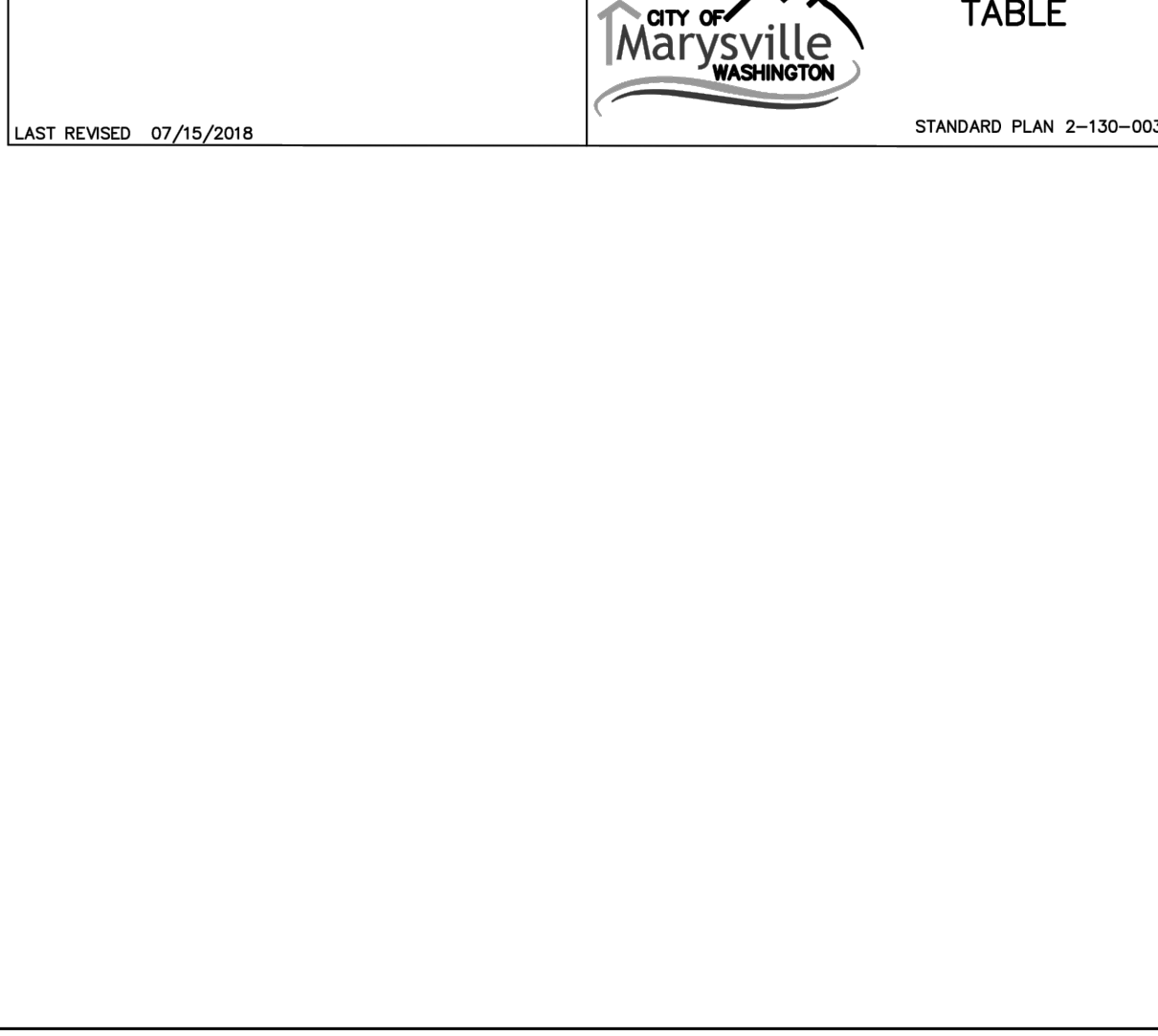
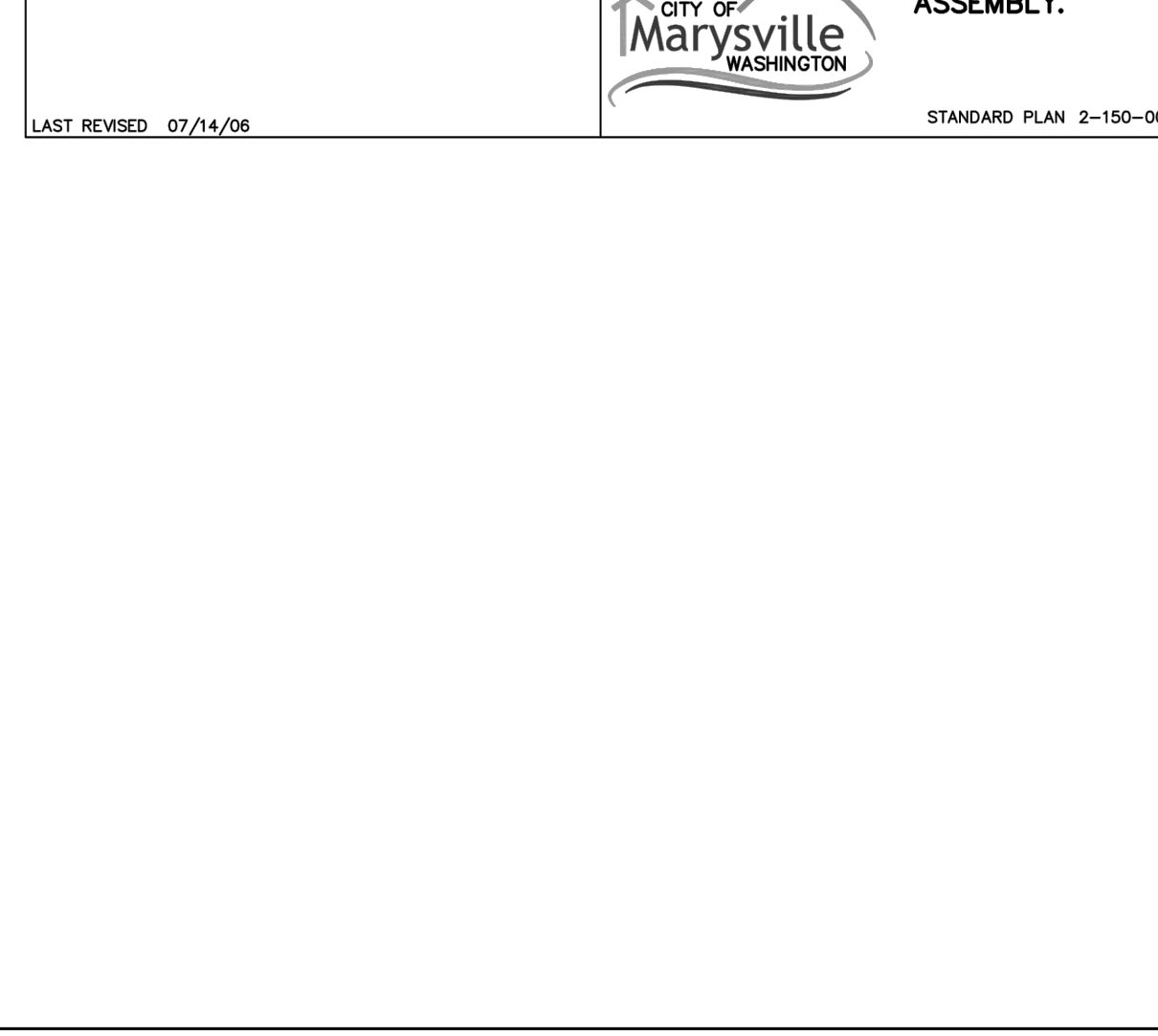
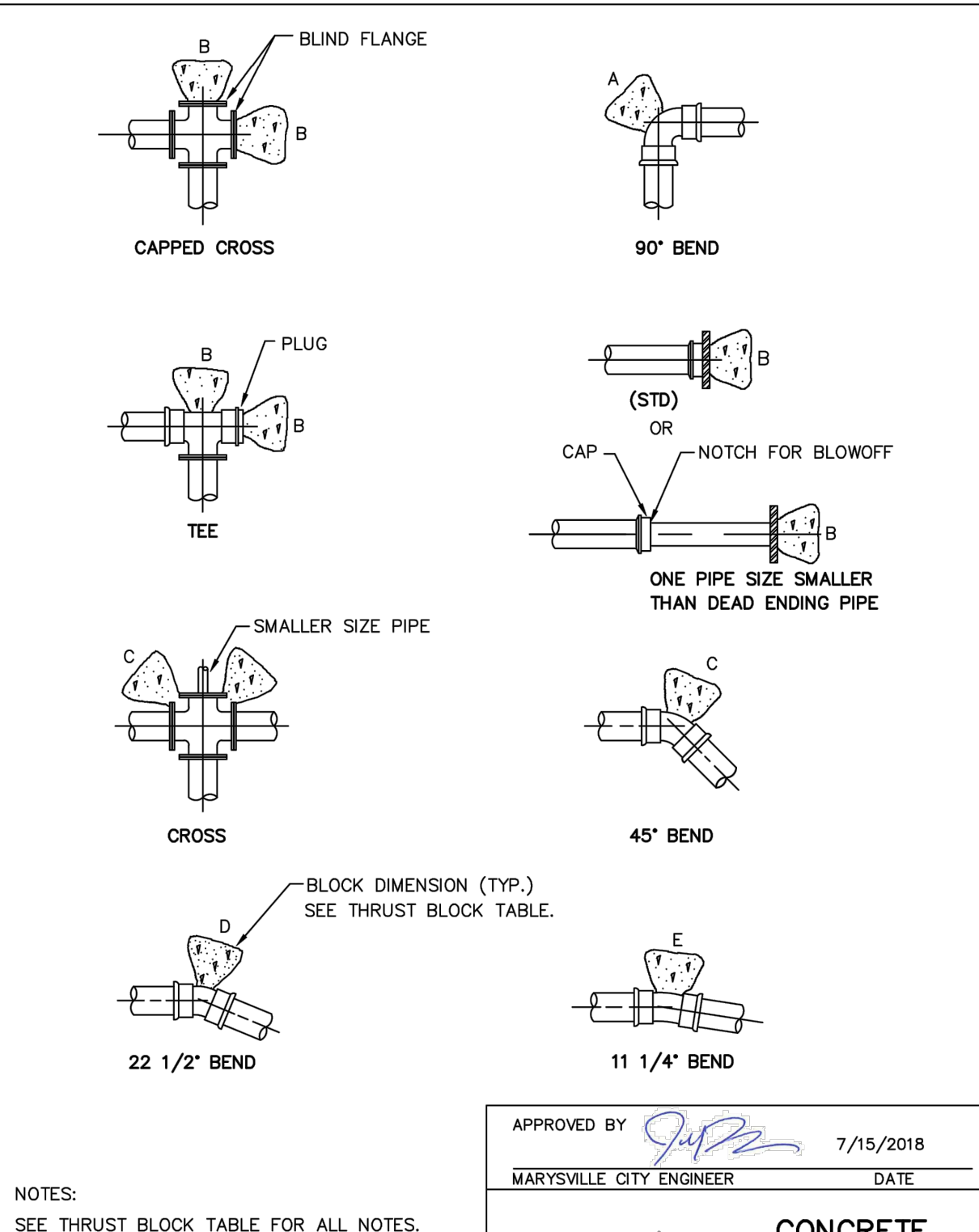
**THRUST BLOCK TABLE**

APPROVED BY *J.P.P.* 7/15/2018  
MARYSVILLE CITY ENGINEER DATE

CITY OF MARYSVILLE WASHINGTON

STANDARD PLAN 2-130-003

LAST REVISED 07/15/2018



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Richard Peterson  
170 120th Ave NE Ste 203, Bellevue, WA 98005

163 RV Storage  
163XX Smokev Point Blvd, Marysville, WA 98271

A PORTION OF SECTION 28, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.

CITY OF MARYSVILLE WATER DETAILS

PROJECT LEAD: *Acris*  
CHECKED BY: *Flyer*  
DRAWN BY: *Flyer*  
APPLICATION DATE: *05/20/2024*  
SITE APPROVAL: *05/20/2024*  
REVISION DATE: *05/20/2024*  
LDA APPROVAL: *05/20/2024*  
AS-BUILT: *05/20/2024*

SHEET C19 of C20  
24x36  
PA23016

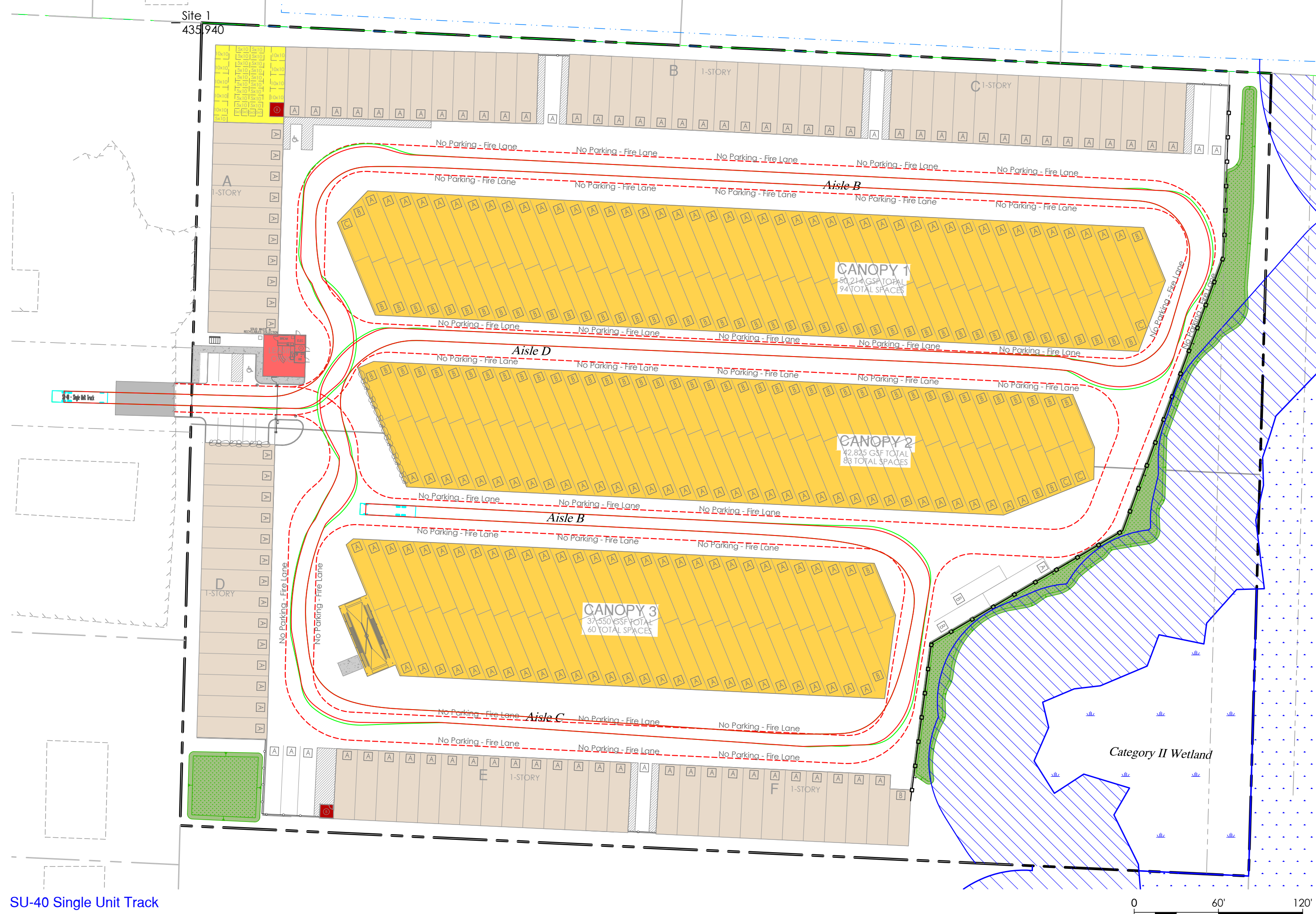
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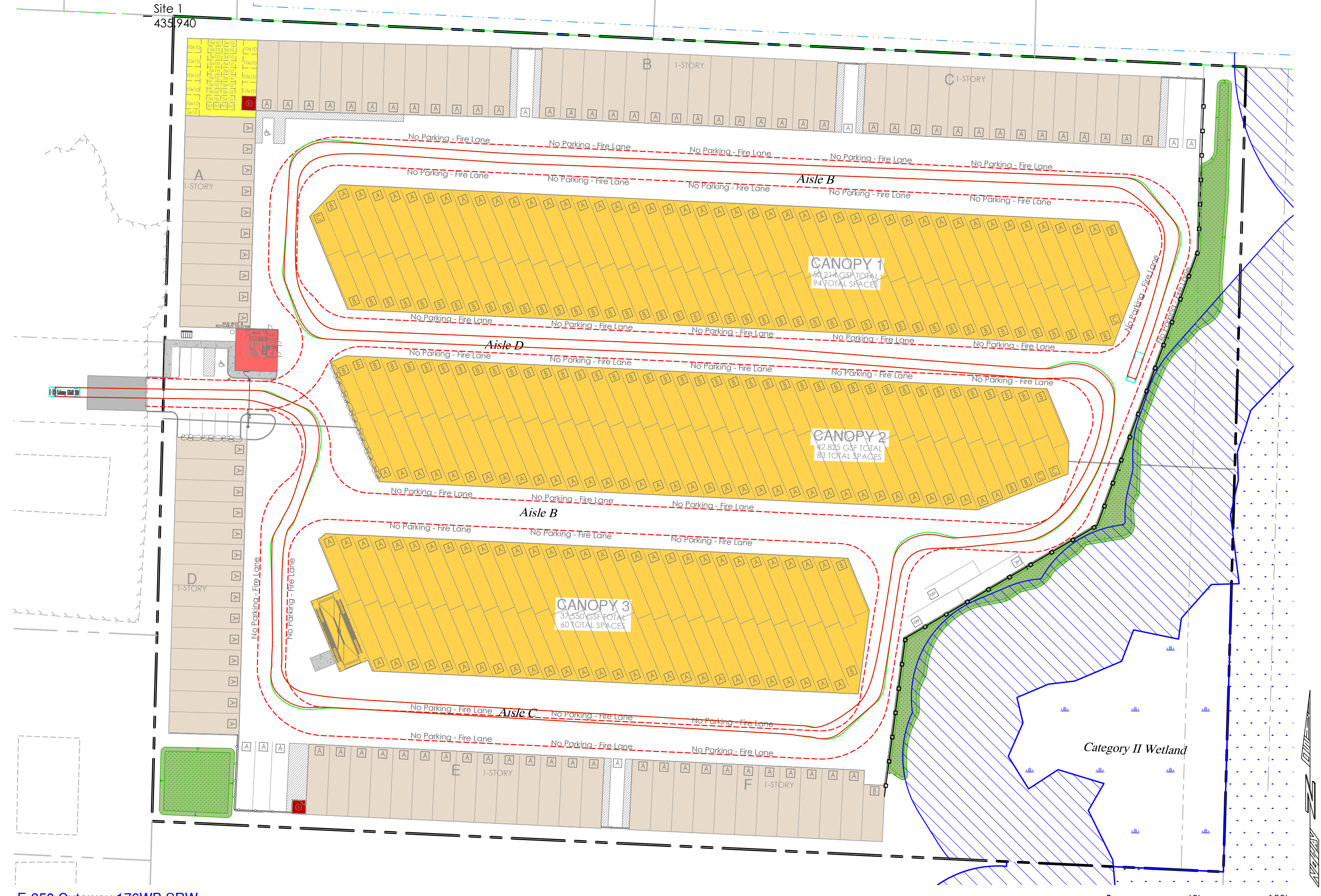
MAKING A WAY OUT OF NO WAY

STATE OF WASHINGTON  
REGISTERED PROFESSIONAL ENGINEER  
05/20/2024

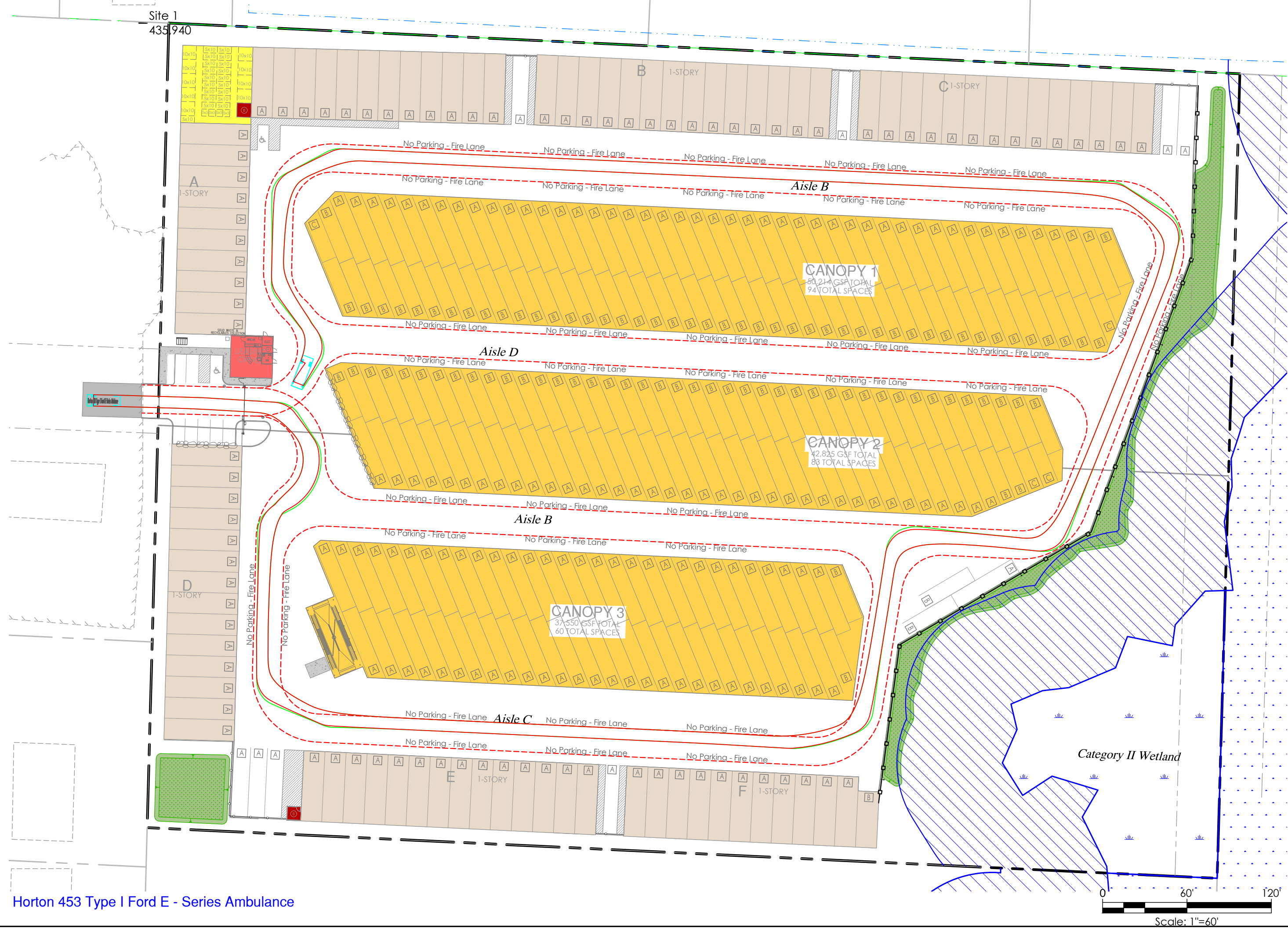
A PORTION OF SECTION 28, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.



SU-40 Single Unit Track



E-350 Cutaway 176WB SRW



Horton 453 Type I Ford E - Series Ambulance

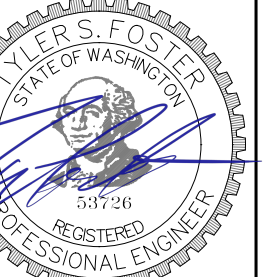
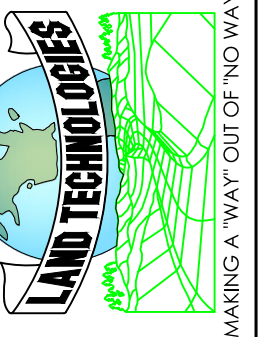
**CONSTRUCTION DRAWING REVIEW ACKNOWLEDGEMENT**

THIS PLAN SHEET HAS BEEN REVIEWED AND EVALUATED FOR GENERAL COMPLIANCE WITH THE APPLICABLE CITY OF MARYSVILLE CODES AND ORDINANCES. CONFORMANCE OF THIS DESIGN WITH ALL APPLICABLE LAWS AND REGULATIONS IS THE FULL AND COMPLETE RESPONSIBILITY OF THE LICENSED DESIGN ENGINEER, WHOSE STAMP AND SIGNATURE APPEAR ON THIS SHEET. ACKNOWLEDGMENT OF CONSTRUCTION DRAWING REVIEW DOES NOT IMPLY CITY APPROVAL FOR CONSTRUCTION ACTIVITIES THAT REQUIRED OTHER COUNTY, STATE OR FEDERAL PERMIT REVIEW AND APPROVAL. THE PROPERTY OWNER AND LICENSED DESIGN ENGINEER SHALL BE RESPONSIBLE FOR THE ACQUISITION AND COMPLIANCE OF ALL APPLICABLE PERMITS OR AUTHORIZATIONS WHICH MAY INCLUDE BUT ARE NOT LIMITED TO: WSPW HYDRAULIC PROJECT APPROVAL (HPA), WSDOE NOTICE OF INTENT (NOI), ANY CORPS OF ENGINEERS FILL PERMITS AND THE REQUIREMENTS OF THE ENDANGERED SPECIES ACT. THIS \_\_\_ DAY OF \_\_\_, 202\_\_.

JOSH KING, P.E., DEVELOPMENT SERVICES MANAGER

THESE APPROVED CONSTRUCTION PLANS EXPIRE AFTER PERIOD OF 60 MONTHS FROM THE DATE SHOWN ABOVE OR UPON EXPIRATION OF PRELIMINARY PLAT OR SITE PLAN APPROVAL PER MMC 22A.040.020 & 22A.040.030.

**LAND TECHNOLOGIES**  
18820 Third Avenue, N.E.  
Arlington, WA 98223  
360-652-9727



05/20/2024

PROJECT LEAD: *Merve*  
CHECKED BY: *Tyler*  
DRAWN BY: *Tyler*  
APPLICATION DATE: *05/20/2024*  
SITE APPROVAL: *05/20/2024*  
REVISION DATE: *05/20/2024*  
LDA APPROVAL: *05/20/2024*  
AS-BUILT: *05/20/2024*

163 RV Storage  
163XX Smokee Point Blvd, Marysville, WA 98271  
A PORTION OF SECTION 28, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.

Richard Peterson  
170 120th Ave NE Ste 203, Bellevue, WA 98005

SHEET  
C20 of C20  
24x36  
PA23016

5/20/2024 12:06 PM

Z:\Peterson, Richard - Smokee Point 4\Sheets\C20 Auto\turn - Vehicle Tracking.dwg



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