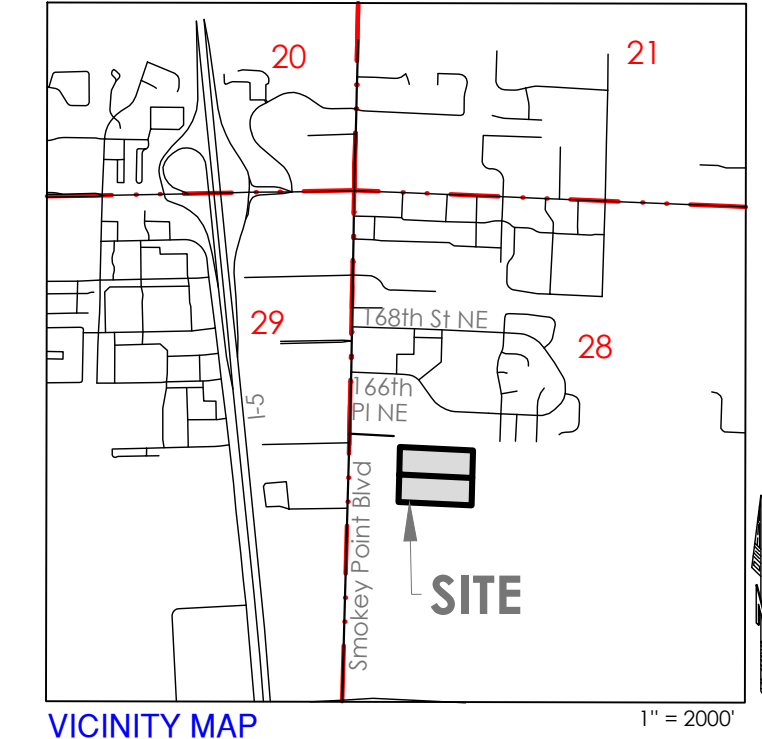


A PORTION OF SECTION 28, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.

LEGEND

[Symbol]	PROJECT BOUNDARY
[Symbol]	EXIST. R/W LINE
[Symbol]	PROPOSED R/W LINE
[Symbol]	EXIST. PARCEL LINE
[Symbol]	PROPOSED TRACT LINE
[Symbol]	PROPOSED LOT LINE
[Symbol]	UNIT AIR SPACE FOR SFDU
[Symbol]	EXIST. EASEMENT LINE
[Symbol]	EASEMENT LINE
[Symbol]	BUILDING SETBACK
[Symbol]	PROPOSED CONTOUR MAJOR
[Symbol]	PROPOSED CONTOUR MINOR
[Symbol]	CONTOUR MAJOR, EXIST
[Symbol]	CONTOUR MINOR, EXIST
[Symbol]	EXIST. EDGE OF PAVEMENT
[Symbol]	EXIST. WATER LINE
[Symbol]	EXIST. SEWER LINE
[Symbol]	EXIST. STORM LINE
[Symbol]	EXIST. STORM CULVERT
[Symbol]	EXIST. POWERLINE
[Symbol]	EXIST. / PROP. POWER POLE
[Symbol]	EXIST. GAS LINE
[Symbol]	ROCK WALL
[Symbol]	EXIST. FENCE
[Symbol]	EXIST. BUILDING
[Symbol]	PROPOSED PAVED AREA
[Symbol]	Wetland Buffer
[Symbol]	Additional Wetland Buffer
[Symbol]	Self-Storage Area
[Symbol]	Office Area
[Symbol]	Canopy Area
[Symbol]	Additional Wetland Buffer



LEGAL DESCRIPTION
310528-003-014-00
 SEC 28 TWP 31 RGE 05PTN N1/2 SW1/4 BEING LOT 4 OF SURV REC UNDER AUD FILE NO. 7804170304 VOL 7 OF SURVEYS PG 87

310528-003-017-00
 SEC 28 TWP 31 RGE 05PTN N1/2 SW1/4 BEING LOT 5 OF SURV REC UNDER AUD FILE NO. 7804170304 VOL 7 OF SURVEYS PG 87

DATUM & BENCHMARK
 DATUM: NAVD 88 (NGVD 29 = NAVD 88-3.71)
 BENCHMARK: None yet established.

SURVEY NOTES
 1. Benchmark Survey Note: this is a feasibility map with wetlands for site development layout only and is not a boundary survey, the boundary shown was calculated from the record of survey AFN: 7804170304.

DEVELOPMENT STANDARDS

Zoning	GC
Minimum Street Setback	None
Minimum Interior Setback	None
Maximum Base Height	35'
Maximum Impervious Surface	85%

Landscape Setbacks:
 Public Right-of-Way & Private Access 15'
 Public Arterial Right-of-Way 15'

PROJECT INFORMATION

Tax Parcel Numbers	310528-003-014-00, 310528-003-017-00
Total Area	435,940 sf (10.01 ac)
GP Designation	General Commercial
Existing Zoning	General Commercial
Existing Land Use	Vacant
Proposed Land Use	Vacant

LOCAL SERVICES

Sewage Disposal:	City of Marysville Sewer System
Water District:	City of Marysville Water System
School District:	Lakewood School District 306
Fire District:	Marysville Fire District RFA
Post Office:	Marysville
Electric:	Snohomish County PUD
Phone:	Frontier
Cable:	Comcast
Gas:	

CONTACT PERSON **SITE ADDRESS**

Land Technologies Inc.	163XX Smokey Point Blvd
Merle Ash	Marysville, WA, 98271
18820 3rd Ave. NE	
Arlington, WA 98223	
360.652.9727	
merle@landtechway.com	

ENGINEER **APPLICANT**

Land Technologies, Inc.	Richard Peterson
Tyler Foster, PE	170 120th Ave NE Ste 203
18820 3rd Ave. NE	Bellevue, WA 98005
Arlington, WA 98223	
360.652.9727	
tyler@landtechway.com	

SURVEYOR **OWNER**

Benchmark Surveying LLC	163 BUSINESS PARK LLC
11915 44th Drive SE	13420 NE 83rd St
Everett, WA 98208	Redmond, WA 98052
206.459.7010	

CERTIFIED EROSION CONTROL SPECIALIST

FIRE MARSHAL NOTES

- Emergency access to locked gates shall be provided for firefighting operations by use of approved Knox products (IFC 504/504).
- Hazardous materials storage will not be allowed without meeting additional requirements.

NOTES

- Where illuminated signs and illuminated areas are permitted, such illuminating devices shall be shaded and/or directed so as not to visibly create a nuisance to any property in a residential zone classification. Residential zoning is located to the east of the proposed development.
- Mechanical equipment located on the roof, facade or external portions of a building shall be architecturally screened so as not to be visible from adjacent properties at street level or the public street.
- Equipment or vents which generate noise or air emissions shall be located on the opposite side of the building from adjoining residentially designated properties.
- Industrial and exterior lighting shall not be used in such a manner that it produces glare on public highways. Arc welding, acetylene-torch cutting, or similar processes shall be performed so as not to be seen from any point beyond the outside of the property.
- The storage and handling of inflammable liquids, liquefied petroleum gases, and explosives shall comply with rules and regulations falling under the jurisdiction of the City's fire chief, and the laws of the state of Washington. Bulk storage of inflammable liquids below ground shall be permitted, and the tanks shall be located not closer to the property line than the greatest dimension (diameter, length or height) of the tank.
- Provisions shall be made for necessary shielding or other preventive measures against interference as occasioned by mechanical, electrical and nuclear equipment, and uses or processes with electrical apparatus in nearby buildings or land uses.
- Liquid and solid wastes and storage of animal or vegetable waste which attract insects or rodents or otherwise create a health hazard shall be prohibited. No waste products shall be exposed to view from any level from any property line in an industrial district.
- All necessary power lines, telephones wires, television cables, fire alarm systems and other communication wires, cables or lines shall be placed in underground location either by direct burial or by means of conduit or duct. All such underground installations or systems shall be approved by the appropriate utility company and shall adhere to all governing applicable regulations including, but not limited to, the applicable City and State regulations and specific requirements of the appropriate utility pursuant to MMC Section 22G.120.270.

ADMINISTRATIVE SITE PLAN

PARKING CALCULATIONS

Parking Analysis			
Site Area	435,940 sf		
Storage Parking Ratio	1 per 50 Units	(To be distributed onsite)	
Storage Parking Ratio	2 per 50 Units	(To be located at the office)	
New Building Area			
GSF	Actual # of Units	Required Parking	
Fully Enclosed Buildings	76,500 sf	129	3
RV Canopies	130,448 sf	237	5
Total	206,948 sf	366	8

STORAGE REVENUE RV SPACES

RV & Boat Total - All Bldgs			
Enclosed A	# of Units	NSF	
Enclosed A	15x50	88	66,000 sf
Enclosed B	15x40	1	600 sf
Covered A	12x50	141	84,600 sf
Covered B	12x40	94	45,120 sf
Covered C	12x30	2	720 sf
Open A	12x50	4	2,400 sf
Open B	12x40	2	960 sf
Total	332		200,400 sf

SELF-STORAGE LOCKERS (NW Corner)

Self-Storage Unit Summary		
Total Units	Grade-Level Access	Self-Storage Totals
35	35	35
% of Total Units	100%	
Total NRSF	4,550 sf	4,550 sf
% of Total Area	100%	
Average Unit Size	130 sf	130 sf

LEASING OFFICE/BUILDING A

BLDG A Non-Revenue Areas	
Level One Office & Support	900 sf
Sub-total	900 sf

LANDSCAPE DATA

Total Site Area	435,940 sf (10.01 ac)
Landscape Required	
Total Required (15% of Total Area)	65,391 sf (1.50 ac)
Landscape Provided	
Total Landscaping	70,750 sf (1.62 ac)

LAND DISTURBING AREA

Total Site Area	435,940 sf (10.01 ac)
Impervious Area	
Drive Aisle	143,611 sf (3.30 ac)
Sidewalk	600 sf (0.01 ac)
PGIS Total	144,211 sf (3.31 ac)
Roof	201,442 sf (4.62 ac)
Max. Building Coverage	348,752 sf (8.01 ac)
Total Impervious	345,653 sf (7.94 ac)
Land Disturbing Activity	
Conceptual Area of Disturbance	387,895 sf (8.90 ac)

Site Grading

Cut	0 cy
Fill	57,843 cy

Sheet List Table

Sheet Number	Sheet Title
P1	Preliminary Site Plan
P2	Existing Conditions Map
C15	Construction: C15
C1	Civil Site Plan
C2	Construction Notes
C3	Clearing, Grading & TESC Plan
C4	Grading & TESC Details
C5	Site Cross Sections
C6	Site Cross Sections
C7	Drive Aisle A Plan and Profile
C8	Drive Aisle B Plan and Profile Sta 0+00 - 19+00
C9	Drive Aisle B Plan and Profile Sta 19+00 - 26+14
C10	Drive Aisle C Plan and Profile
C11	Drive Aisle D Plan and Profile
C12	Road Details
C13	Stormwater Management Overview Plan
C14	Stormwater Management Details
C15	Sewer and Water Plan and Profile

CALL AT LEAST 2 BUSINESS DAYS BEFORE YOU DIG
 1-800-424-5555

AQUIFER RECHARGE/
 WELL HEAD PROTECTION

SOILS
 Custer Fine Sandy Loam;
 Hydrologic Soil Group: C/D
 Compact Fill Area to 95% Modified Proctor

LAND TECHNOLOGIES
 18820 Third Avenue, N.E.
 Arlington, WA 98223
 360-652-9727

MAKING A WAY OUT OF NO WAY

PROJECT LEAD: Merle Ash
 CHECKED BY: Tyler Foster
 DRAWN BY: Tyler Foster
 APPLICATION DATE: 11/15/23
 SITE APPROVAL: 11/15/23
 REVISION DATE: 11/15/23
 LDA APPROVAL: 11/15/23
 AS BUILT: 11/15/23

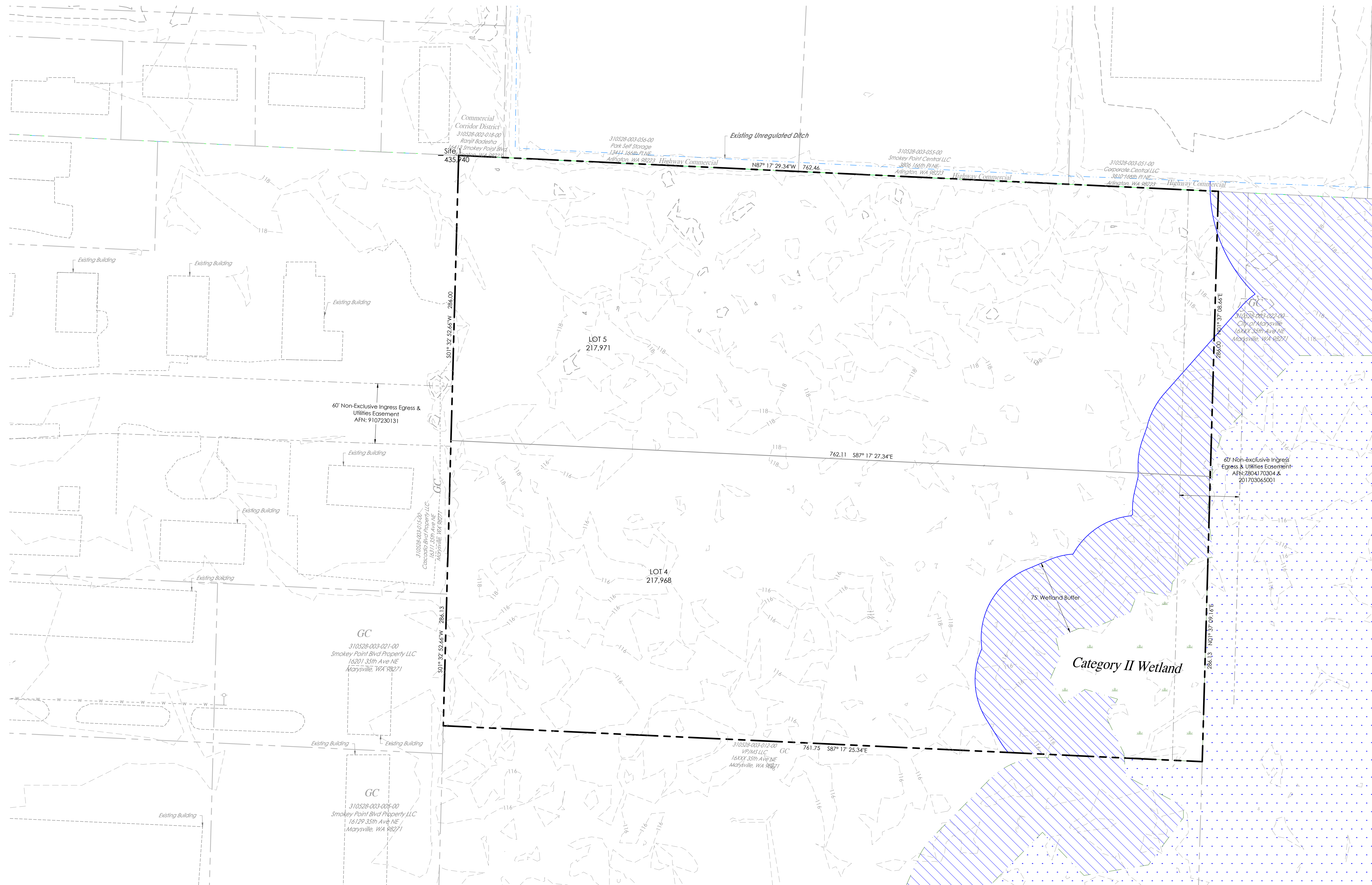
163 RV Storage
 163XX Smokey Point Blvd, Marysville, WA 98271
 A PORTION OF SECTION 28, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.

ADMINISTRATIVE SITE PLAN

Richard Peterson
 170 120th Ave NE Ste 203, Bellevue, WA 98005

LEGEND

	Boundary Line		Existing Section Symbol
	Existing Section Line		Existing Monument
	Existing Right-of-Way Line		Existing Type 1 Catch Basin
	Existing Lot Line		Existing Sanitary Sewer Manhole
	Existing Casement Line		Existing Water Hydrant
	Existing Road Centerline		Existing Water Meters
	Existing Edge of Asphalt		Existing Water Fittings
	Existing Sidewalk		Existing Power Symbol
	Existing Major Contour Line		Existing Telephone Symbol
	Existing Minor Contour Line		Existing Gas Symbol
	Existing Storm Drainage Line		Existing Soil Log
	Existing Ditch Line		Existing Sign
	Existing Sanitary Sewer Line		Existing Light
	Existing Water Line		Existing Mailbox
	Existing Fence		
	Existing Power Line		
	Existing Telephone Line		
	Existing Gas Line		
	Existing Flow Path		



**AQUIFER RECHARGE/
WELL HEAD PROTECTION**

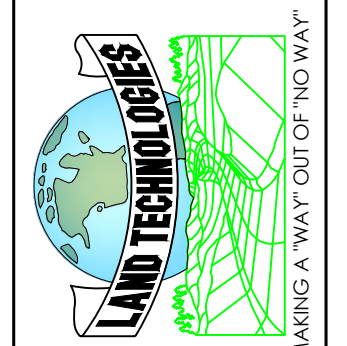
SOILS
Custer Fine Sandy Loam;
Hydrologic Soil Group: C/D
Compact Fill Area to 95% Modified Proctor

CALL AT LEAST 2
BUSINESS DAYS
BEFORE YOU DIG
1-800-424-5555

EXISTING CONDITIONS MAP



LAND TECHNOLOGIES
18820 Third Avenue, N.E.
Arlington, WA 98223
360-652-9727



PROJECT LEAD: Merie
CHECKED BY: Tyler
DRAWN BY: -
APPLICATION DATE: -
SITE APPROVAL DATE: -
REVISION DATE: -
LDA APPROVAL: -
AS BUILT: -

163 RV Storage
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A PORTION OF SECTION 28, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.

Richard Peterson
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SHEET
P2 of **P2**
24x36
G22-0037

EXISTING CONDITIONS MAP