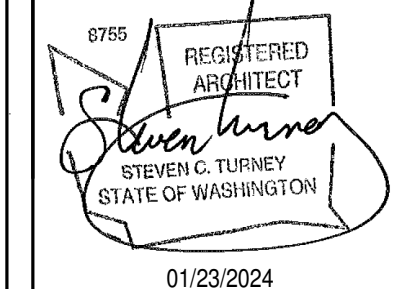


SITE AND BUILDING DATA

SITE SIZE	188,360 S.F. (4.32 ACRES)
BUILDING SIZE	52,033 S.F.
IMPERVIOUS SURFACE AREA:	
MAXIMUM IMPERVIOUS SURFACE AREA (85%)	160,106 S.F.
TOTAL IMPERVIOUS SURFACE AREA	160,094 S.F.
IMPERVIOUS SURFACE AREA PERCENTAGE	85%
PARKING REQUIRED:	
2 x 2 PER SERVICE BAY + 2(2 x 24)	50
1400 S.F. x 2400 S.F.	6
MINIMUM REQUIRED	56 SPACES
PARKING PROVIDED:	
CUSTOMER PARKING PROVIDED	13 SPACES
EMPLOYEE PARKING PROVIDED	48 SPACES
SERVICE HOLDING PROVIDED	89 SPACES
RV HOLDING PROVIDED	2 SPACES
TOTAL	119 SPACES
BICYCLE PARKING:	
MINIMUM BICYCLE PARKING (56 x 5%)	3 SPACES
BICYCLE PARKING PROVIDED	4 SPACES

KEYNOTES

- EXISTING CURB, GUTTER, AND SIDEWALK TO REMAIN
- PYLON SIGN
- 4" THICK CONCRETE PAVEMENT w/ CONTROL JOINTS AS SHOWN
- BIKE RACK ACCOMMODATING 2 BICYCLES EACH
- 6" THICK CONCRETE APRON w/ CONTROL JOINTS AS SHOWN, EXPANSION JOINTS @ 20'-0" O.C. MAX.
- TRASH/RECYCLE ENCLOSURE
- ELECTRIC VEHICLE BATTERY STORAGE AREA (4 MAX ANTICIPATED AT ANY TIME)
- BOLLARD TYPICAL SEE DETAIL DSA101
- CONCRETE CURB
- EXISTING FIRE HYDRANT - PROTECT IN PLACE
- FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION (FDC)
- DECORATIVE FENCE AND SWING GATES PROVIDING 20' CLEAR OPENING
- DECORATIVE FENCE WITH 20' CLEAR WIDTH SLIDING GATE AND MOTOR HOUSING UNIT
- ACCESS CONTROL PEDESTAL FOR SLIDING GATE
- CHAINLINK FENCE TO JOIN EXISTING CHAINLINK FENCE - CONTRACTOR TO VERIFY EXACT LINEAR FT
- CHAINLINK FENCE TO JOIN DECORATIVE FENCE
- EXISTING FENCE ON TOYOTA PROPERTY TO REMAIN
- 4" THICK CONCRETE SIDEWALK w/ CONTROL JOINTS @ 5'-0" O.C. MAX AND EXPANSION JOINTS @ 20'-0" O.C. MAX. 5" THICK WHERE SUBJECT TO VEHICLE TRAFFIC
- ASPHALT PAVEMENT (TYP)
- 4" WIDE STRIPING (TYP)
- LEVEL 2 EV CHARGER
- POLE-MOUNTED LIGHT FIXTURES
- GAS METER
- EXISTING CONCRETE CURB TO REMAIN
- EXISTING POLE LIGHT, PROTECT IN PLACE
- EXISTING SLIDING GATE AND FENCE - PROTECT IN PLACE
- PRECAST CONCRETE WHEELSTOP
- ADA PARKING SIGN - SEE A1A103
- ELECTRIC VEHICLE CHARGING SIGN - SEE A1A103
- CARPOOL PARKING STALLS WITH SIGNAGE - SEE A1A103



01/23/2024

Architects and Planners, Chartered
 300 E. Mallard Drive, Suite 325, Boise Idaho 83706

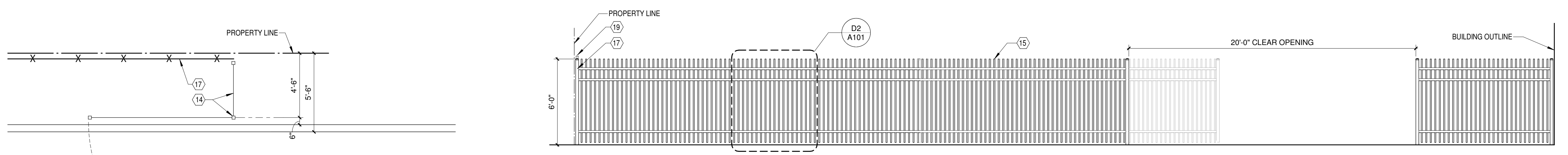
KENDALL AUTO GROUP
FORD PRO ELITE
COMMERCIAL VEHICLE SERVICE CENTER
 16100 SMOKEY POINT BLVD
 MARYSVILLE, WA 98271

PA23 - 024

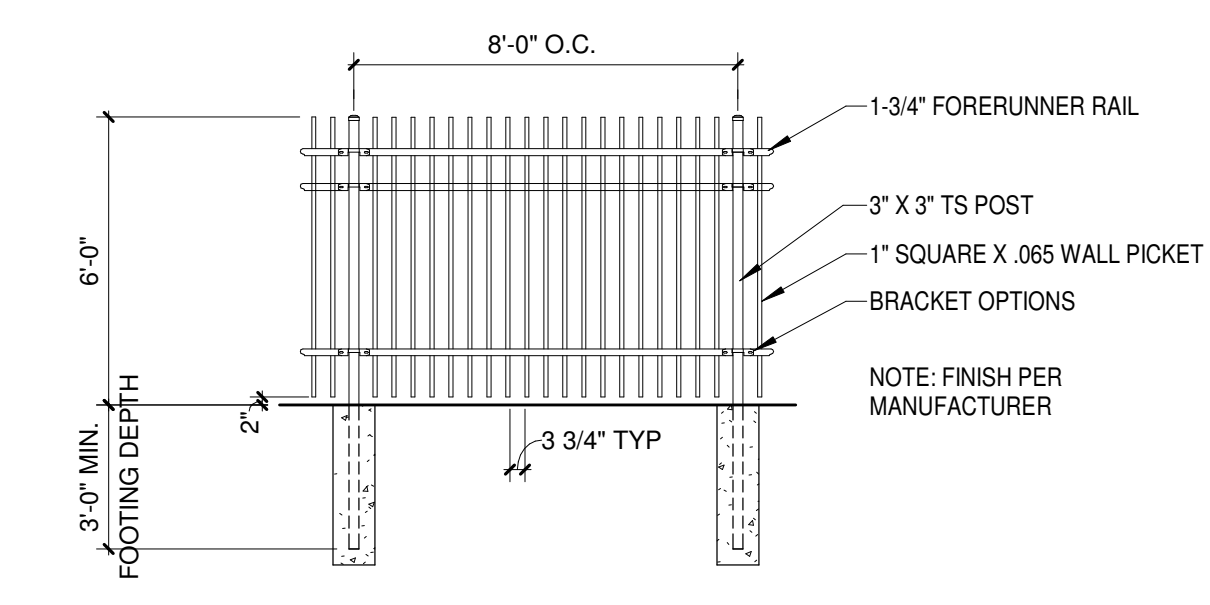
DATE: 01/23/2024
 PROJECT NO: 2310.00
 SHEET:

A101
 SITE PLAN

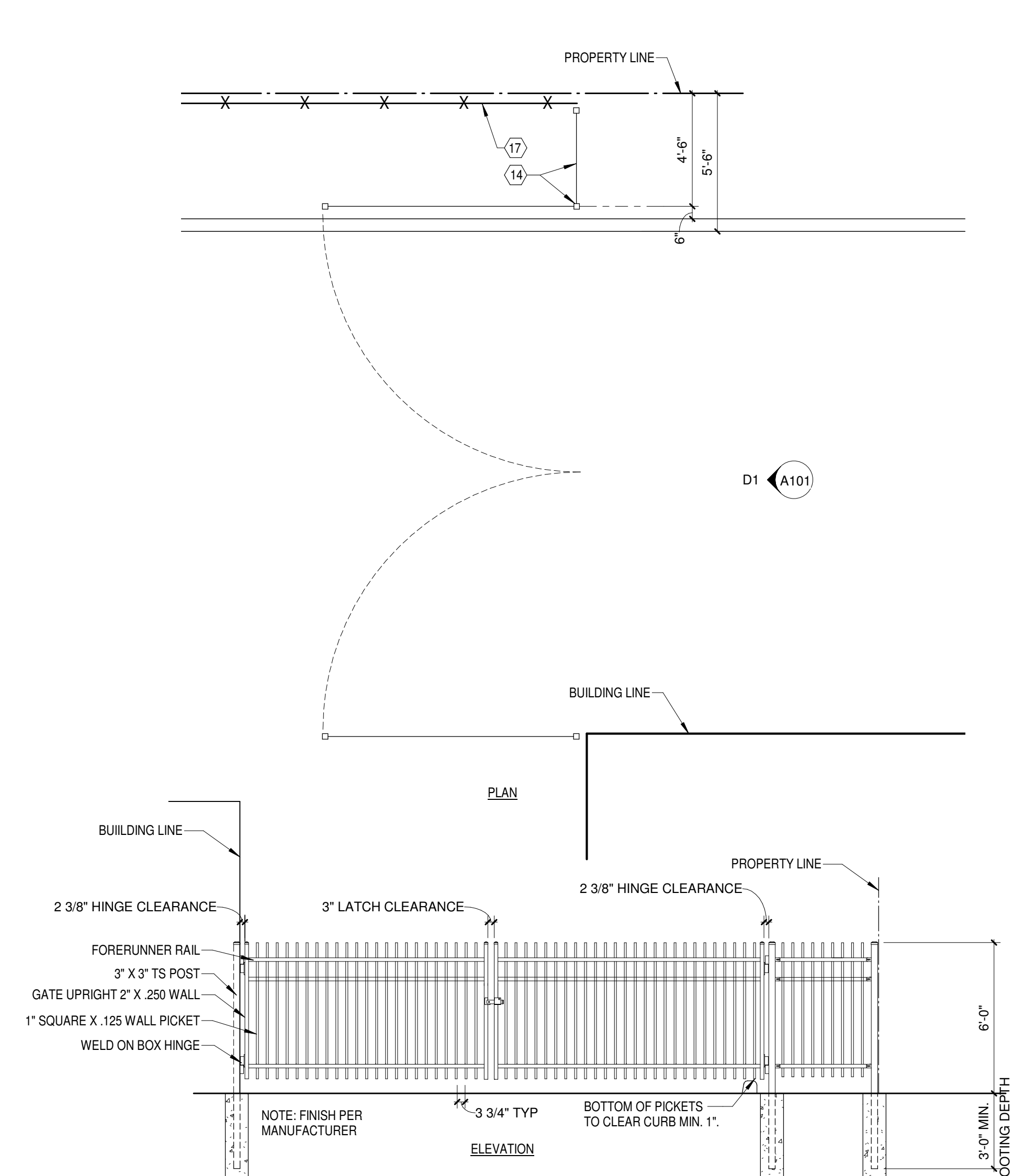
BUILDING PERMIT APPLICATION 01/23/2024



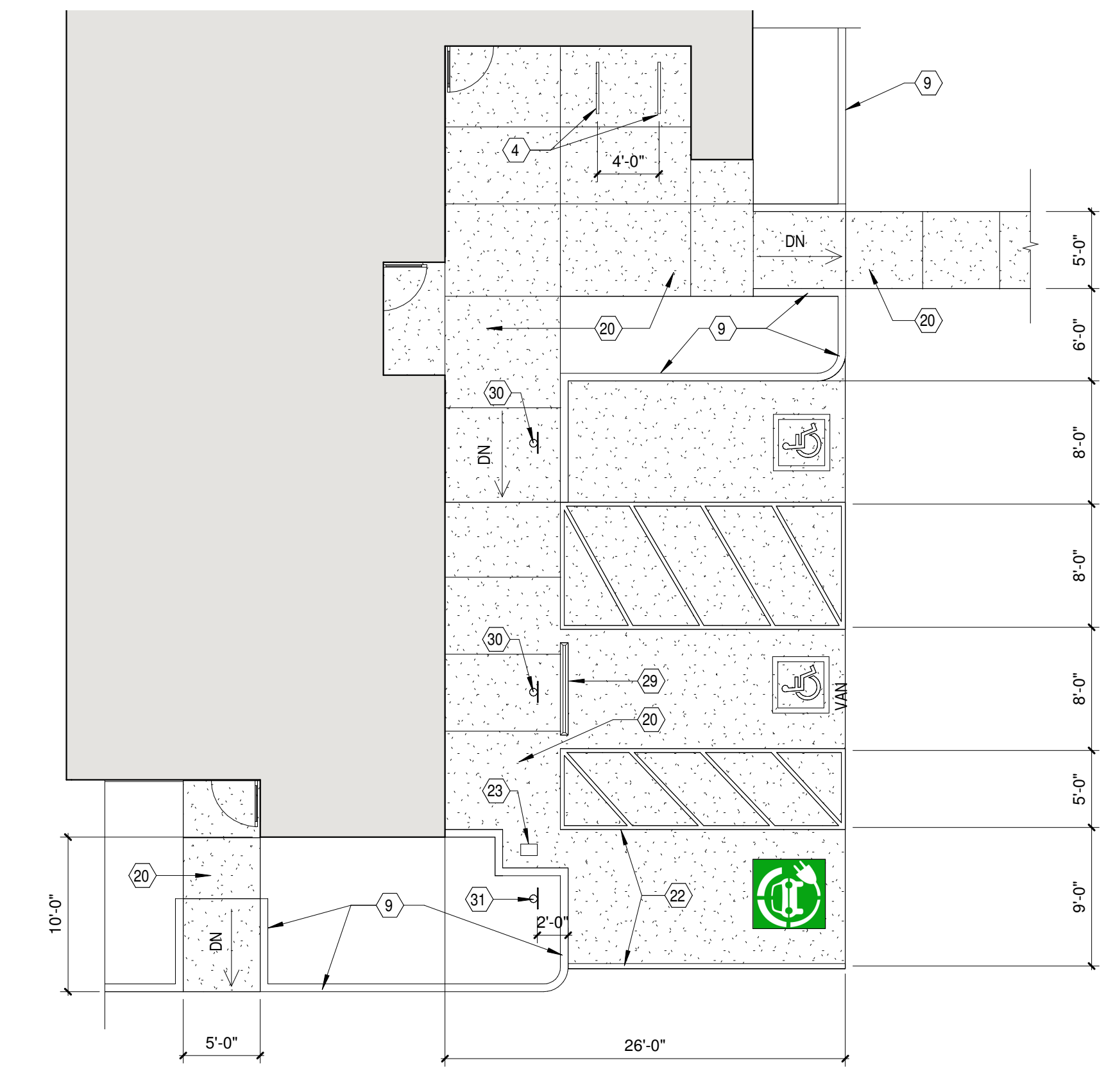
E2 DECORATIVE FENCE- SLIDING GATE ELEVATION
A101 1/4" = 1'-0"



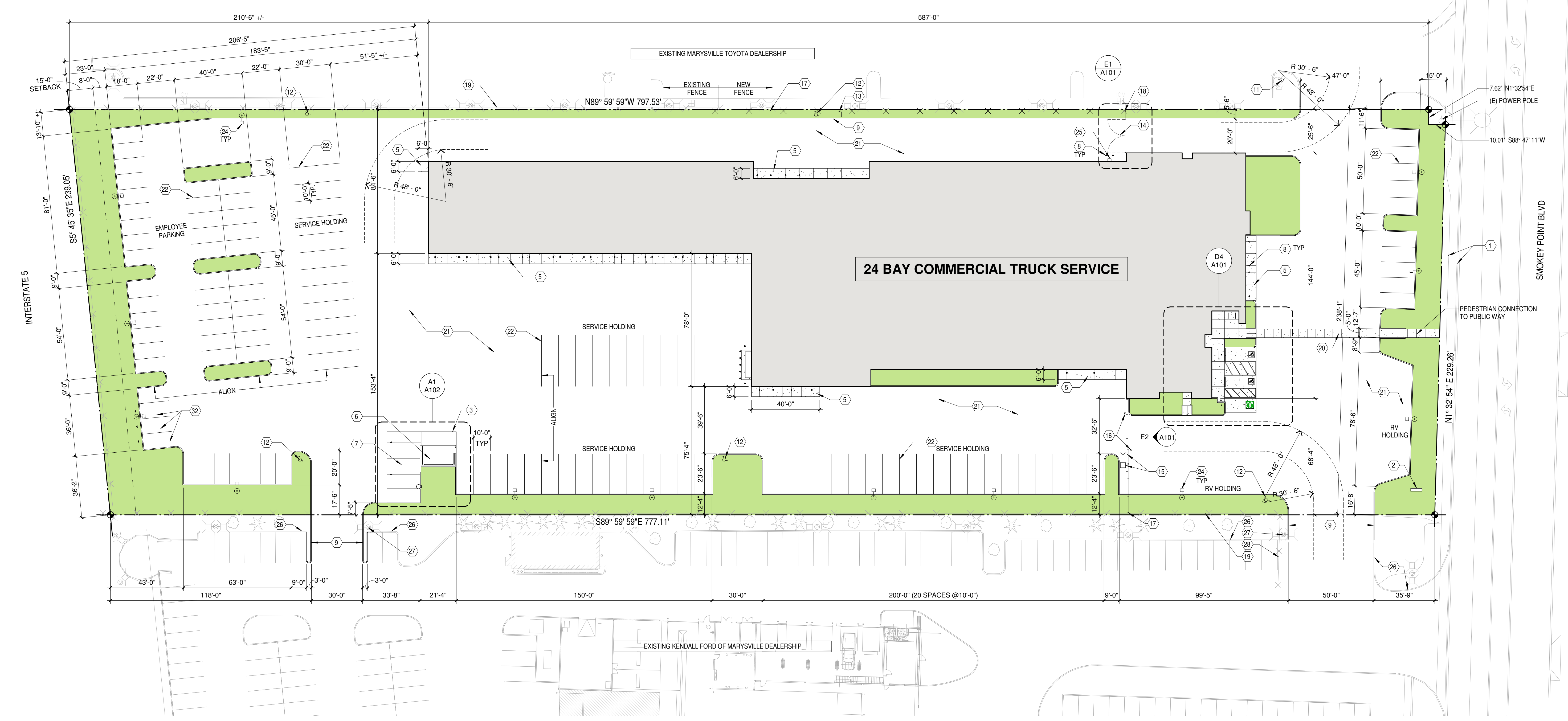
D2 DECORATIVE FENCE ELEVATION
A101 1/4" = 1'-0"



D1 DECORATIVE FENCE - SWINGING GATE
A101 1/4" = 1'-0"



D4 PARKING AREA
A101 1/8" = 1'-0"



A3 SITE PLAN
A101 1" = 30'-0"

