

PILCHUCK RENTALS - SMOKEY POINT

3304 156TH ST NE
MARYSVILLE, WASHINGTON

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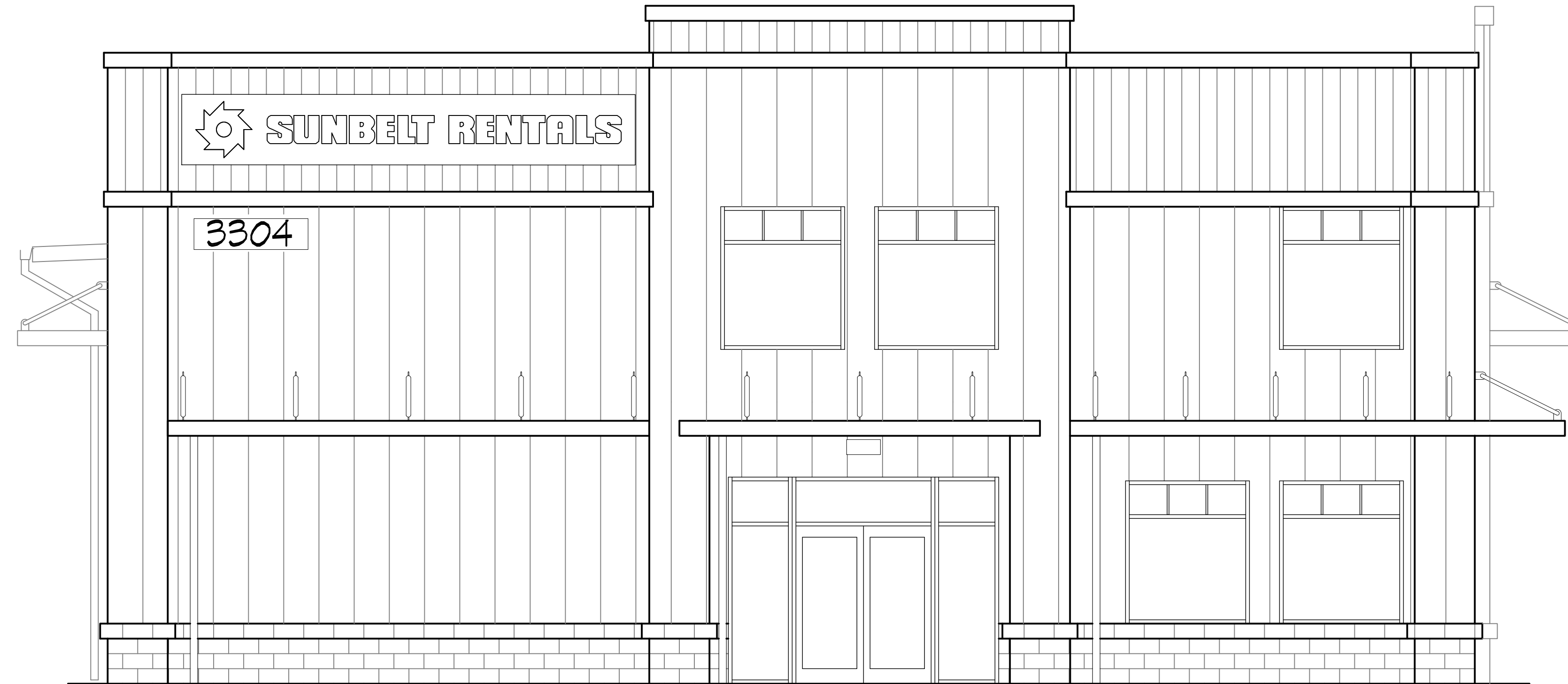
DEFERRED SUBMITTAL

ELECTRICAL
MECHANICAL
PLUMBING
FIRE ALARM
FIRE SPRINKLER

*ALL SUBMITTALS MUST BE REVIEWED BY THE ARCHITECT PRIOR TO SUBMITTAL TO THE CITY

GENERAL NOTES

- ALL DIMENSIONS ARE TO FACE OF STUD, FACE OF CONCRETE OR CENTERLINE OF COLUMN, U.N.O.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD. ARCHITECT OF RECORD SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND ACTUAL FIELD CONDITIONS.
- CONTRACTOR SHALL VERIFY DIMENSIONS OF MANUFACTURED PRODUCTS TO ASSURE COMPATIBILITY WITH THE PLANS.
- ELECTRICAL, MECHANICAL, FIRE SPRINKLER, FIRE ALARM AND PLUMBING SUBCONTRACTORS SHALL SUBMIT PLANS TO CITY OF EVERETT FOR REVIEW AND APPROVAL UNDER DEFERRED SUBMITTAL. SYSTEMS SHALL BE INSTALLED BY LICENSED CONTRACTORS.
- MECHANICAL CONTRACTOR SHALL SUBMIT A MECHANICAL SUMMARY FORM AND PROVIDE VENTILATION SYSTEM COMPLIANT WITH REQUIREMENTS AS SET FORTH IN THE WASHINGTON STATE ENERGY CODE AND THE WASHINGTON STATE VENTILATION AND INDOOR AIR QUALITY CODE.
- ELECTRICAL CONTRACTOR SHALL SUBMIT A LIGHTING SUMMARY FORM AND PROVIDE LIGHTING COMPLIANT WITH REQUIREMENTS AS SET FORTH IN THE WASHINGTON STATE ENERGY CODE.



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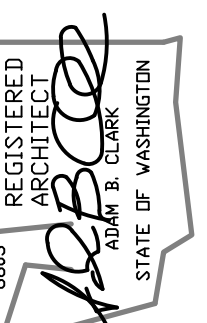
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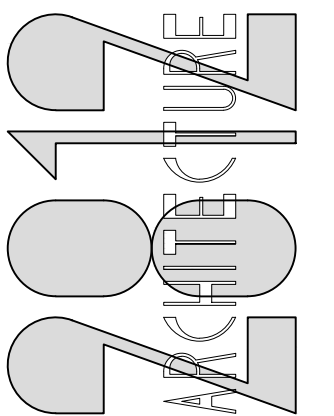
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Date:	T. JUNE 2023	PRELIMINARY
For:	18 JULY '23	LANDUSE/ CUP SUBMITTAL
	02 APR '24	CUP RE-SUBMITTAL

















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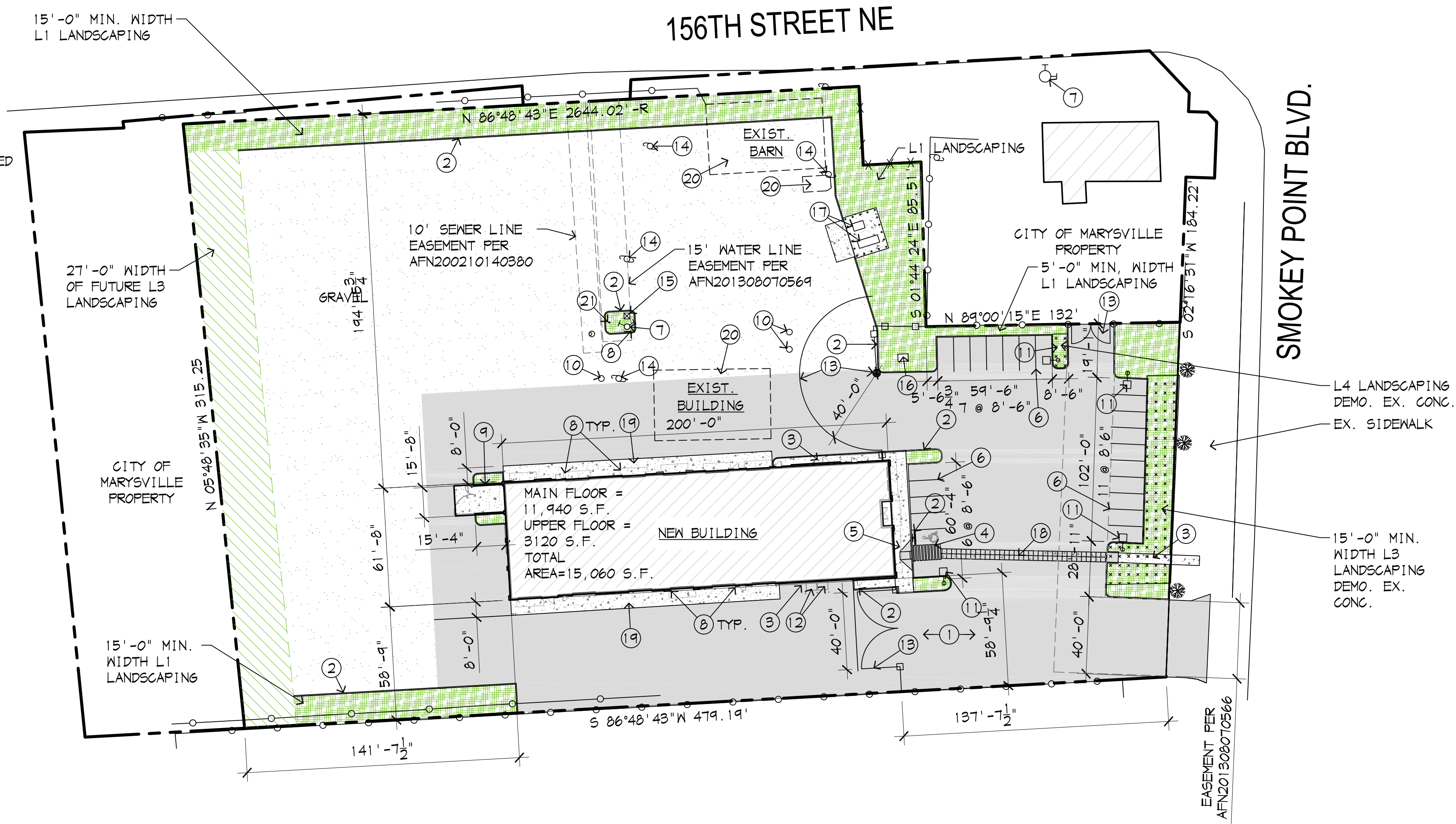


A New Equipment Rental Facility for:
PILCHUCK RENTALS - SMOKEY POINT
3304 156TH ST NE
MARYSVILLE, WASHINGTON 98271
PA23-018

Drawing: **CS**
Job Number: 21c-4287
COVER SHEET

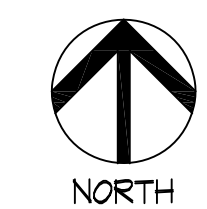
KEY

-  ASPHALT
-  CONCRETE
-  GRAVEL
-  LANDSCAPING
-  ASPHALT TO BE DEMOLISHED
-  EX. FENCE
-  NEW FENCE
-  EX. BARBED WIRE FENCE
-  EX. LIGHT POLE
-  EX. UTILITY POLE
-  NEW LIGHT POLE
-  WATER METER
-  MANHOLE
-  FIRE HYDRANT



SITE PLAN

1" = 40'-0"



SITE PLAN NOTES

1. SHADING DENOTES EXTENT OF ASPHALT PAVING. SEE DET. 1/A1.2, CIVIL DRAWINGS AND GEOTECHNICAL ENGINEERS RECOMMENDATIONS FOR BASE COURSE AND ASPHALT THICKNESSES.
2. CONCRETE CURB PER DET. 2/A1.2.
3. CONCRETE SIDEWALK. SEE DET. 3/A1.2.
4. ACCESSIBLE PARKING STALL WITH PAINTED WALKWAY & SIGN. SEE DET. 4/A1.2.
5. ACCESSIBLE CURB CUT. SEE DET. 6/A1.2.
6. PAINTED PARKING STRIPING, 4" WIDE LINES, 10 FT. IN LENGTH, SPACING PER PLAN. COLOR: TRAFFIC WHITE.
7. EX. FIRE HYDRANT.
8. BOLLARD/PIPE GUARD. SEE FLOOR PLAN AND DET. 8/A1.2.
9. TRASH ENCLOSURE. SEE DET. 10/A1.2.
10. EX. LIGHT POLE. TO BE REMOVED.
11. LIGHT POLE. SEE DET. 9/A1.2.
12. BACK-UP GENERATOR.
13. CHAIN-LINK FENCE GATE. 6 FT TALL.
14. EX. UTILITY POLE.
15. EX. EMPTY WATER METER.
16. ELECTRIC TRANSFORMER - COORDINATE WITH CIVIL.
17. FUEL TANKS. ON CONCRETE PAD 22' X 18' X 6".
18. STAMPED CONCRETE 5' WIDE WALKWAY.
19. CONCRETE APRON.
20. EXISTING BUILDING TO BE DEMOLISHED COMPLETE.
21. F.D.C.

PROJECT CRITERIA

SCOPE OF WORK

CONSTRUCT A NEW 11,940 S.F., TWO-STORY, MANUFACTURED METAL BUILDING FOR AN EQUIPMENT RENTAL FACILITY AND SITE IMPROVEMENTS.

TAX ACCOUNT NO. 31053200102800

LEGAL DESCRIPTION

SECTION 32 TOWNSHIP 31 RANGE 05 QUARTER NE - LOT 3 CITY OF MAR BLA NO 13-004 REG UND AFN 201308075002 BEING PTN NE1/4 NE1/4 NE1/4 SD SEC 32 LY ELY OF SR 5 (AKA PSH NO 1)

CODES

- 2018 INTERNATIONAL BUILDING CODE (IBC)
- 2018 INTERNATIONAL MECHANICAL CODE (IMC)
- 2018 INTERNATIONAL FIRE CODE (IFC)
- 2018 UNIFORM PLUMBING CODE (UPC)

BUILDING CRITERIA

ZONING:	GC (GENERAL COMMERCIAL)
STREET SETBACK:	0'
INTERIOR SETBACK:	0'
MAX. HEIGHT:	35'
OCCUPANCY:	S-1
CONSTRUCTION TYPE:	VB
FULLY SPRINKLERED:	YES
ALARMED:	YES

PARKING CALCULATIONS

REQUIRED PARKING: PER 22C.130.030		
RETAIL: 1 PER 600 S.F.:	1,256/600=	2 PARKING SPACES
OFFICE: 1 PER 400 S.F.:	2,592/400=	7 PARKING SPACE
WAREHOUSE: 1 PER 2,000 S.F.:	7,156/2,000=	4 PARKING SPACES
INDUSTRIAL: 1 PER 750 S.F.:	1,408/750=	2 PARKING SPACES
BUSINESS/TRAINING: 1 PER 400 S.F.:	1,297/400 =	3 PARKING SPACES
TOTAL REQUIRED:		18 PARKING STALLS
PARKING PROVIDED:		24 STALLS

IMPERVIOUS SURFACE CALCULATIONS

TOTAL SITE AREA:	139,029 S.F.
MAXIMUM IMPERVIOUS SURFACE (85%):	118,174 S.F.
TOTAL IMPERVIOUS SURFACE:	116,679 S.F.
IMPERVIOUS SURFACE PERCENTAGE:	83.9%

LANDSCAPING CALCULATIONS (22C.120.130)

TOTAL PARKING AREA:	22,630 S.F.
LANDSCAPE AREA REQUIRED (10%):	139,029 X 10% = 20,854 S.F.
LANDSCAPE AREA PROVIDED:	22,350 S.F.

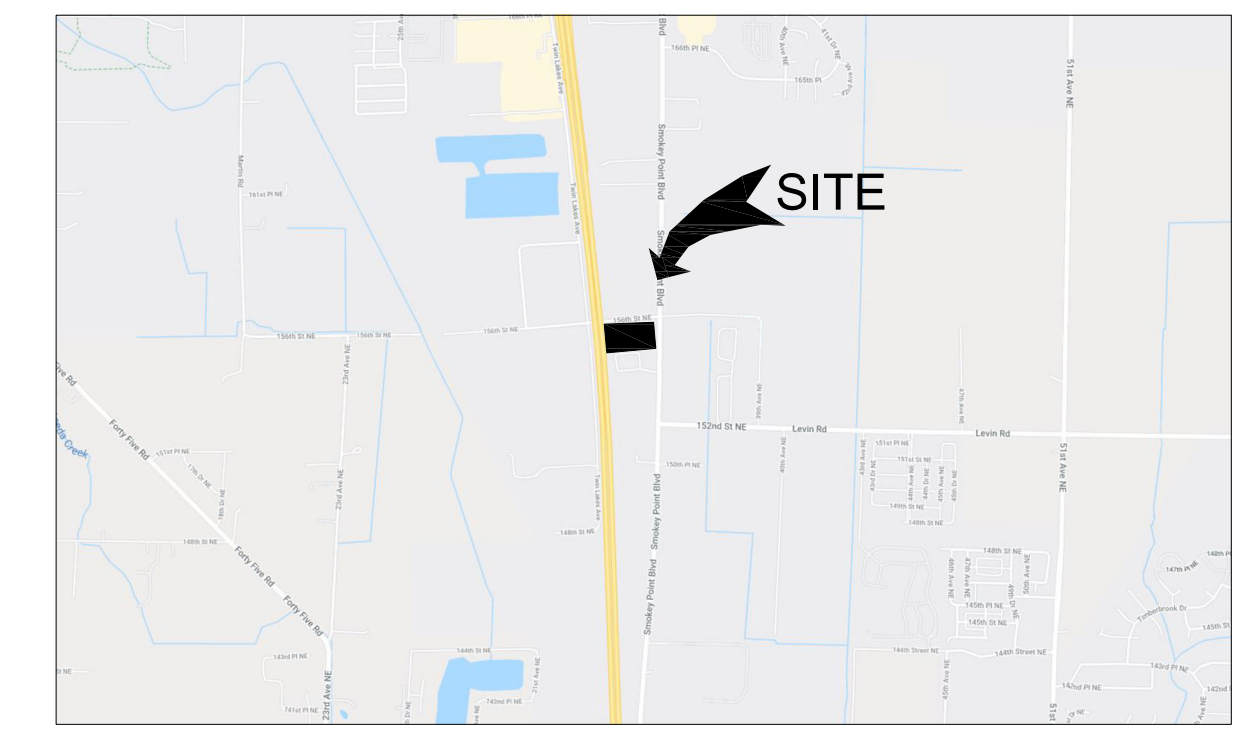
UTILITY DISTRICTS

POWER:	SNOHOMISH COUNTY PUD
WATER:	CITY OF MARYSVILLE
SEWER:	CITY OF MARYSVILLE
TELEPHONE:	VERIZON/FRONTIER
GAS:	PUGET SOUND ENERGY

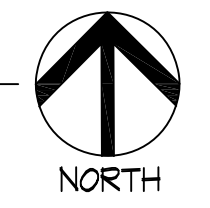
SEPERATE SUBMITTALS

- ELECTRICAL
- MECHANICAL
- PLUMBING
- SIGNS
- FIRE PROTECTION / FIRE ALARM

*NOTE: ALL SEPERATE SUBMITTALS SHALL BE REVIEWED AND APPROVED BY ARCHITECT PRIOR TO PERMIT SUBMISSION.



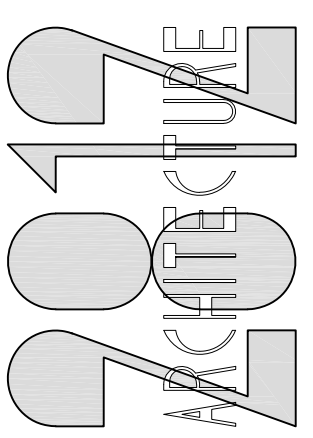
VICINITY MAP



Date:	T. JUNE 2023	PRELIMINARY
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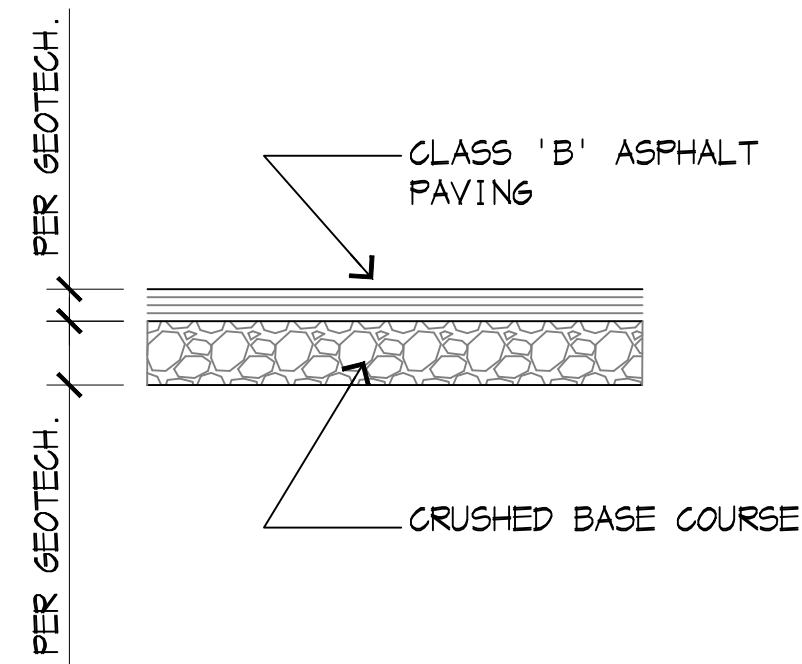
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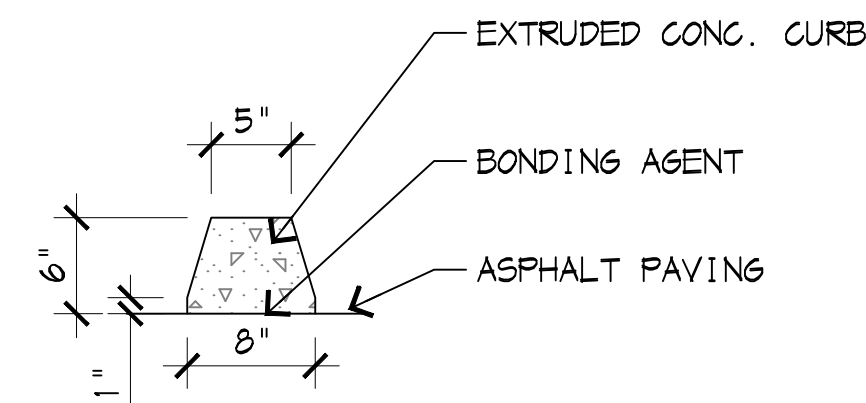
A New Equipment Rental Facility for:
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MARYSVILLE, WASHINGTON 98271

Drawing:	A1.1
Job Number:	21c-4287

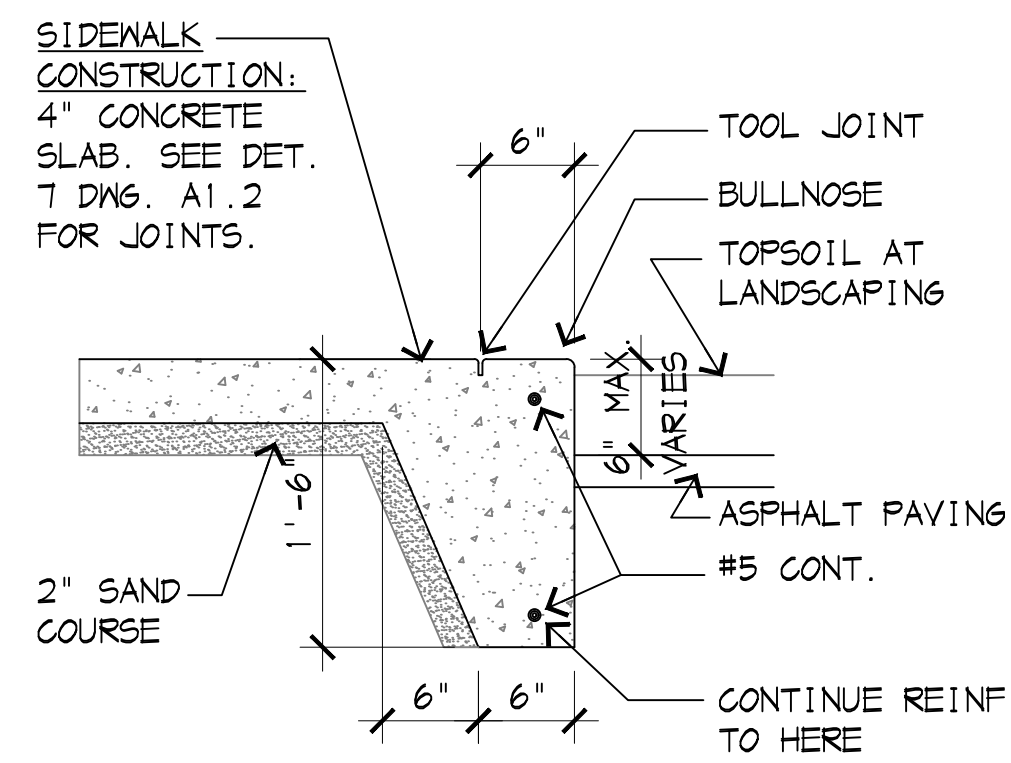
SITE PLAN, PROJECT CRITERIA



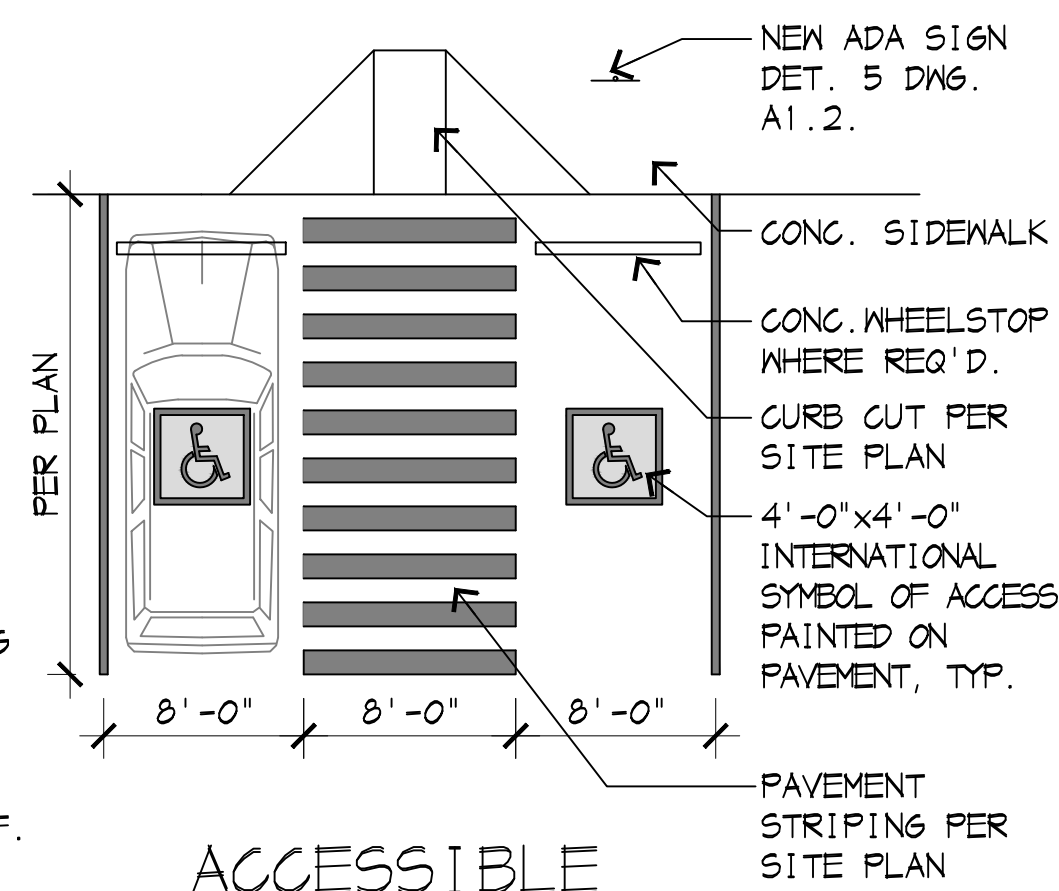
1 ASPHALT PAVING
NO SCALE



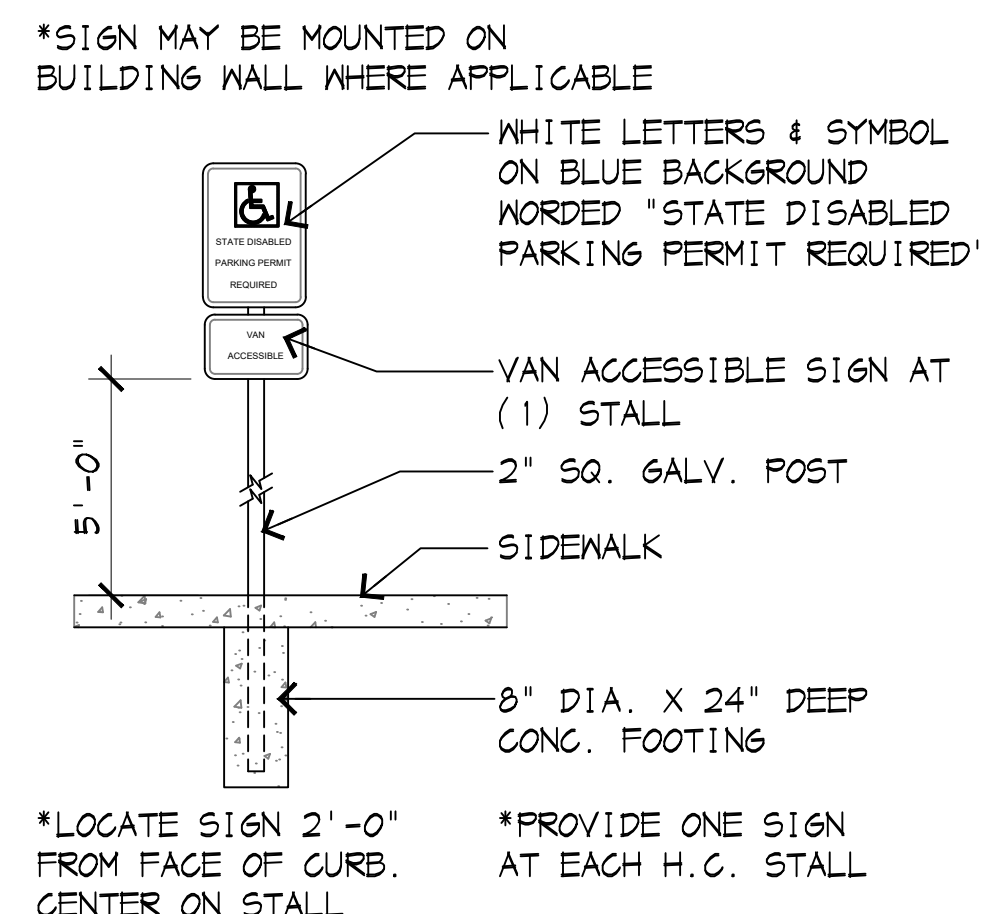
2 CONCRETE CURB
1" = 1'-0"



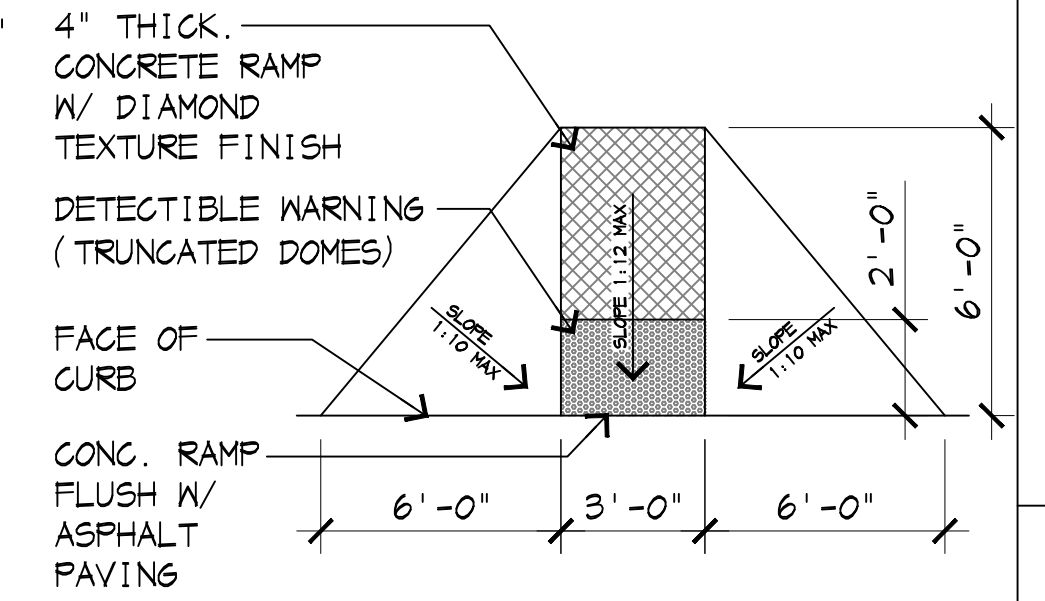
3 CONCRETE SIDEWALK
1" = 1'-0"



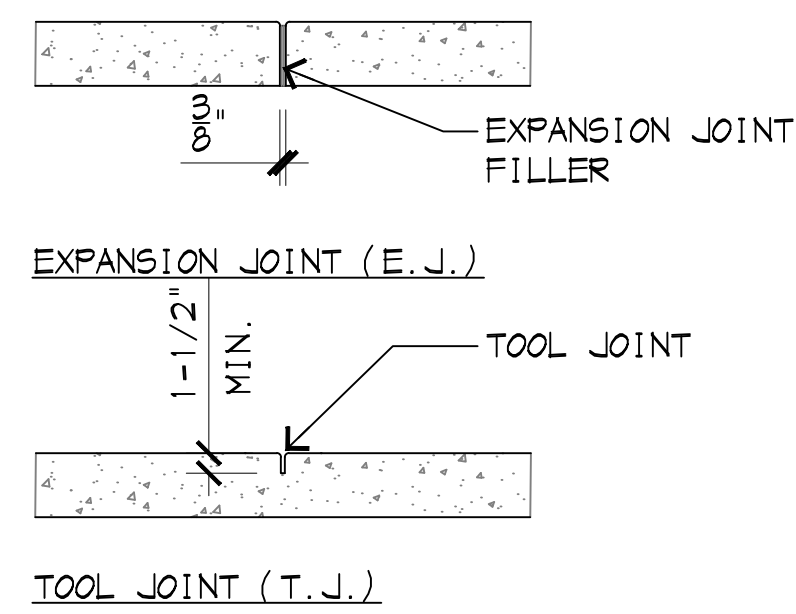
4 ACCESSIBLE PARKING STALL
NO SCALE



5 H.C. SIGN
NO SCALE

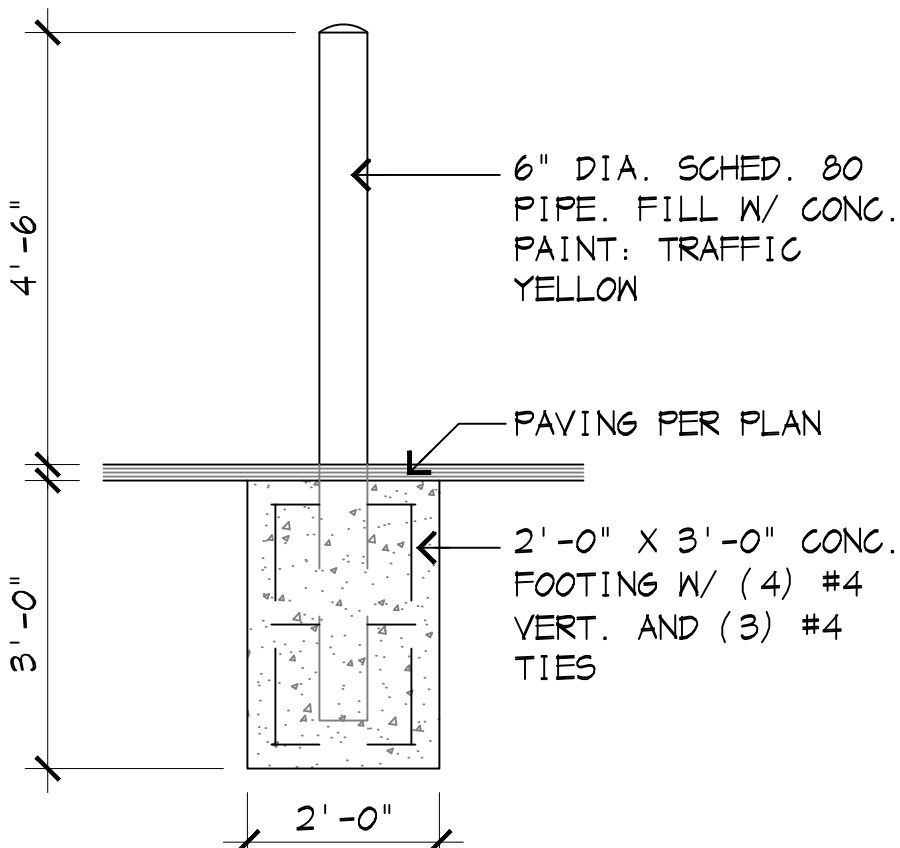


6 ACCESSIBLE CURB CUT
1/4" = 1'-0"

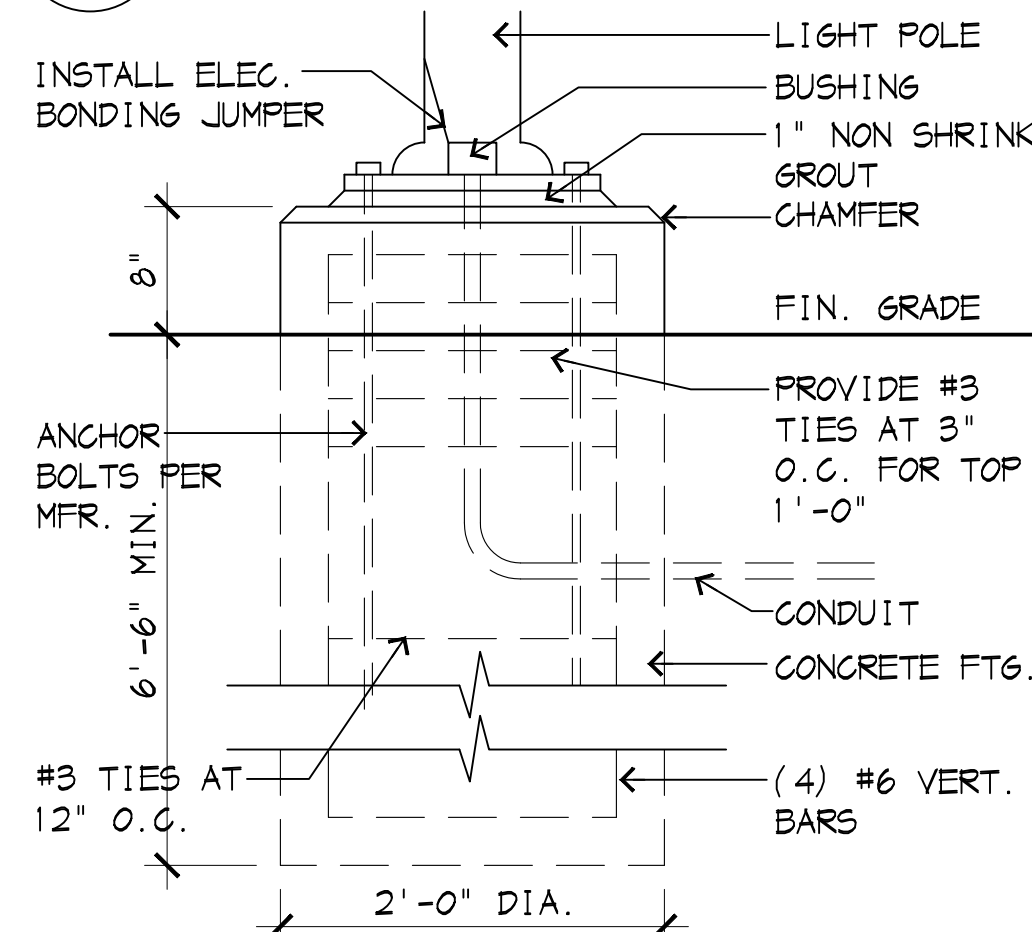


PROVIDE EXPANSION JOINTS @ 12'-0" O.C. MAX. AND TOOL JOINTS @ 6'-0" O.C. MAX.

7 SIDEWALK JOINTS
1/2" = 1'-0"



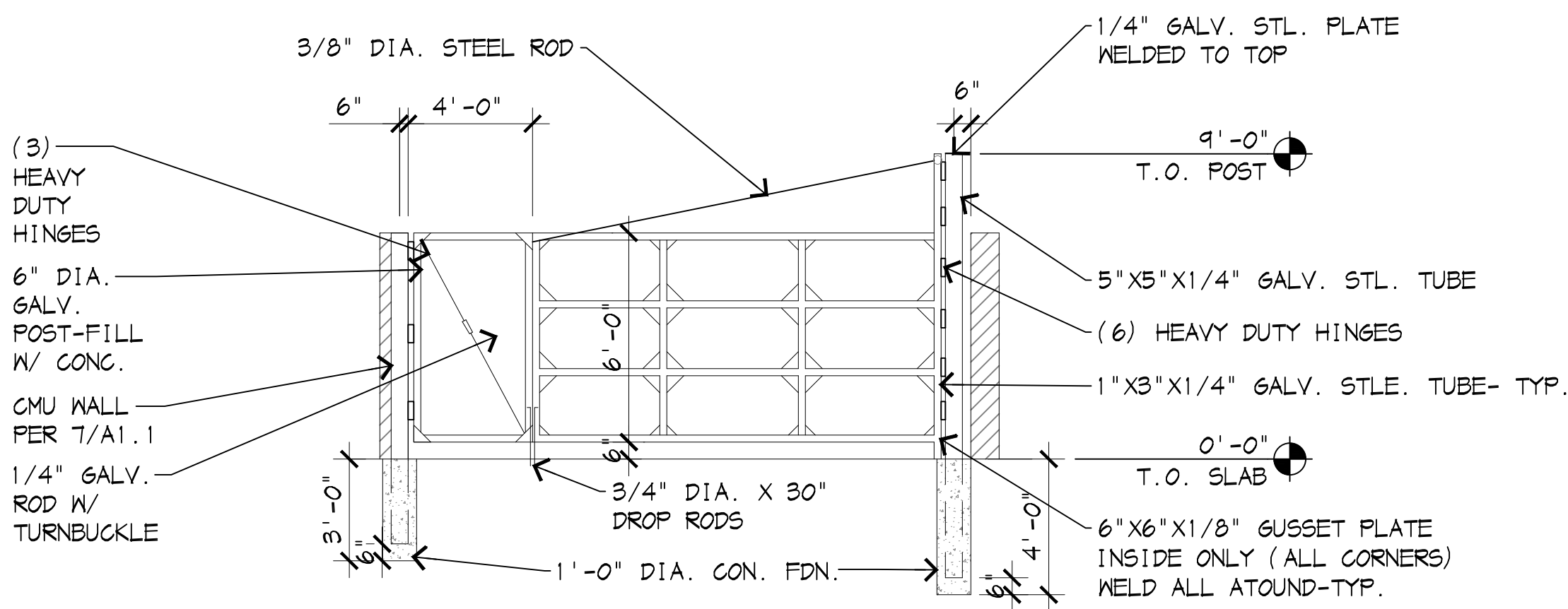
8 BOLLARD
1/2" = 1'-0"



9 LIGHT POLE BASE
NO SCALE

- NOTES:
1. CMU COLOR AND TEXTURE TO MATCH BUILDING.
 2. 6" CONG. SLAB W/6" X 6" W/ W2.9 X W2.9 W.W.F.
 3. TYP. WALL FTG. 12" X 12" CONT. W/ (2) #5 BOTTOM REINF.
 4. 6" CONG. APRON W/#4 BARS @ 16" O.C. EA. WAY.
 5. FOR SLAB FINISHED GRADES SEE CIVIL DWGS.
 6. PROVIDE GATE PER DET. 11 DWG. A1.3.

10 TRASH ENCLOSURE SECTION
1" = 1'-0"



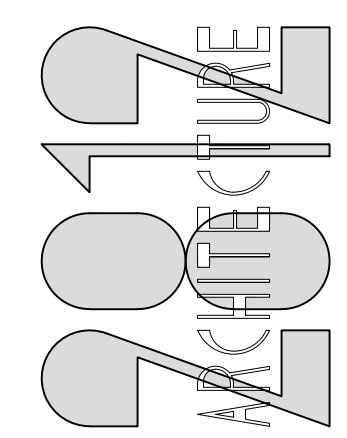
11 TRASH ENCLOSURE GATE
1/2" = 1'-0"

* FACE GATES W/ 24 GA. GALV. PREFINISHED IMSA NU-WAVE CORRUGATED MTL. PANEL

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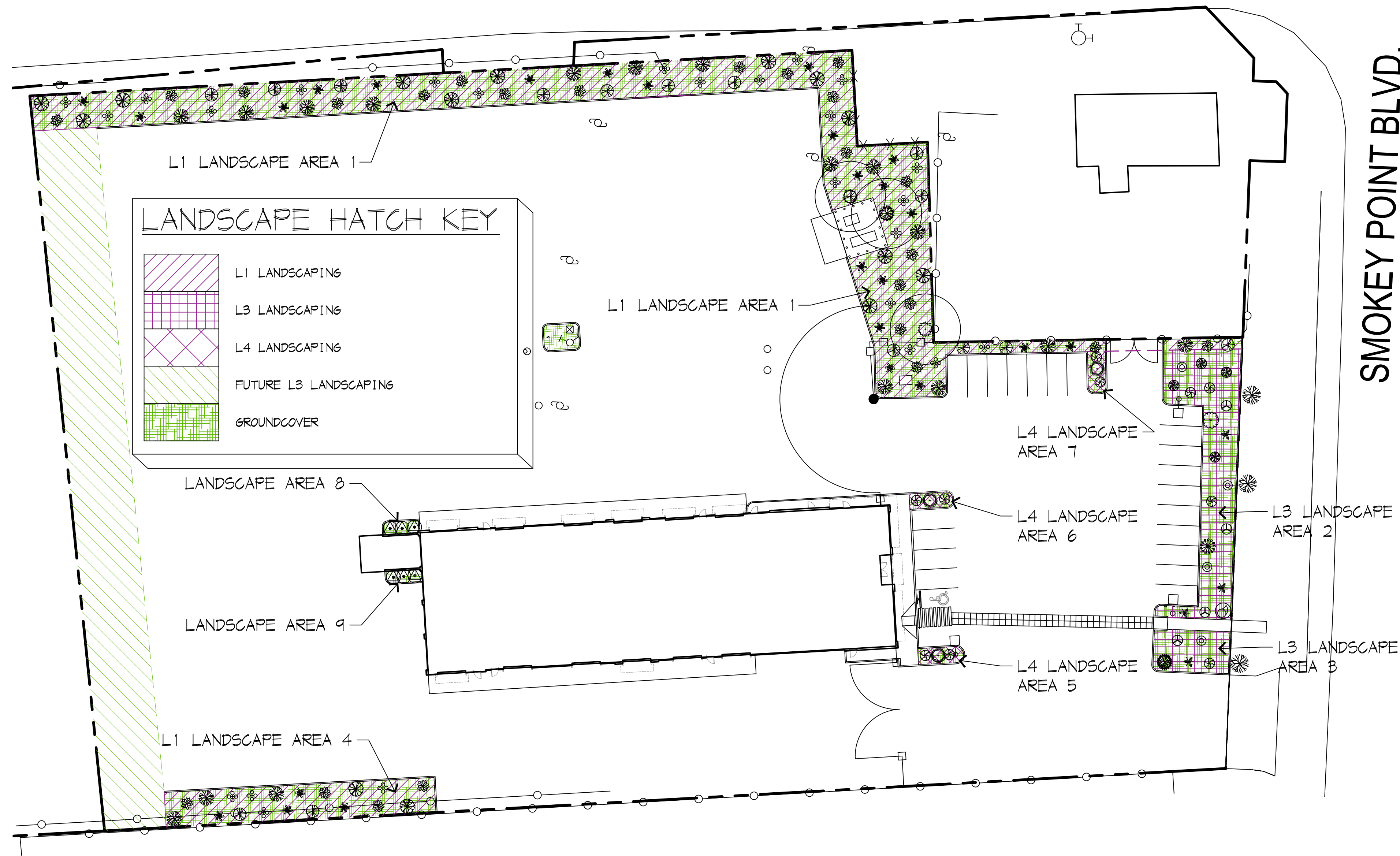
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Contents:
SITE DETAILS

156TH STREET NE



SMOKEY POINT BLVD.

LANDSCAPE NOTES

- BACKFILL MIX FOR PLANTING TREES, SHRUBS AND GROUND COVER SHALL BE: ONE PART BY VOLUME OF 3-WAY TOPSOIL MIXED WITH ONE PART NATIVE SOIL.
- PLANTER AREAS TO RECEIVE 3-WAY TOPSOIL.
- ALL TREES, SHRUBS AND GROUND COVER SHALL BE FERTILIZED WITH AGRO 4-2-2 TRANSPLANTER OR EQUAL AT PLANTING TIME.
- AFTER PLANTING OF ALL PLANTS, MULCH ALL AREAS WITH A MINIMUM OF 2" OF MEDIUM FINE BARK MULCH.
- OWNER TO APPROVE PLANTING PRIOR TO INSTALLATION.
- PLANT TYPES MAY BE SUBSTITUTED DUE TO AVAILABILITY WITH SIMILAR SPECIES AND VARIETIES PROVIDED THEY ARE APPROVED BY THE ARCHITECT. DROUGHT TOLERANT PLANTINGS ARE REQUIRED.
- LANDSCAPING CONTRACTOR RESPONSIBLE FOR MAINTENANCE DURING CONSTRUCTION PERIOD.
- ALL PLANTS TO BE HEALTHY AT THE TIME OF PLANTING AND GUARANTEED FOR ONE FULL YEAR OR UNTIL THE NEXT SPRING (WHICHEVER IS GREATER).
- PRIOR TO PLANTING ELIMINATE EXISTING WEEDS AND GRASSES.
- SEE THIS DRAWING FOR PLANTING AND LANDSCAPING DETAILS.
- LANDSCAPING IS INTENDED TO BE DROUGHT TOLERANT. PROVIDE HOSE BIBS WITHIN 100' OF ALL LANDSCAPE AREAS FOR INTERMITTENT WATERING DURING THE FIRST TWO YEARS.
- DECIDUOUS TREES SHOULD HAVE A CALIPER OF AT LEAST TWO INCHES AT THE TIME OF PLANTING. THE CALIPER MAY BE AVERAGED AT THE BASE, BUT NO INDIVIDUAL TREE SHOULD HAVE A CALIPER OF LESS THAN 1.5 INCHES.
- EVERGREEN TREES SHOULD BE AT LEAST SIX FEET IN HEIGHT MEASURED FROM TREETOP TO THE GROUND AT THE TIME OF PLANTING.
- SHRUBS SHOULD BE TWO-GALLON SIZE AT TIME OF PLANTING IN TYPE L2, L3 AND L4 LANDSCAPING, AT LEAST 24 INCHES IN HEIGHT AT THE TIME OF PLANTING FOR TYPE L1 LANDSCAPING, AND MAINTAINED AT A HEIGHT NOT EXCEEDING FOUR FEET WHEN LOCATED IN TYPE L3 OR L4 LANDSCAPING.

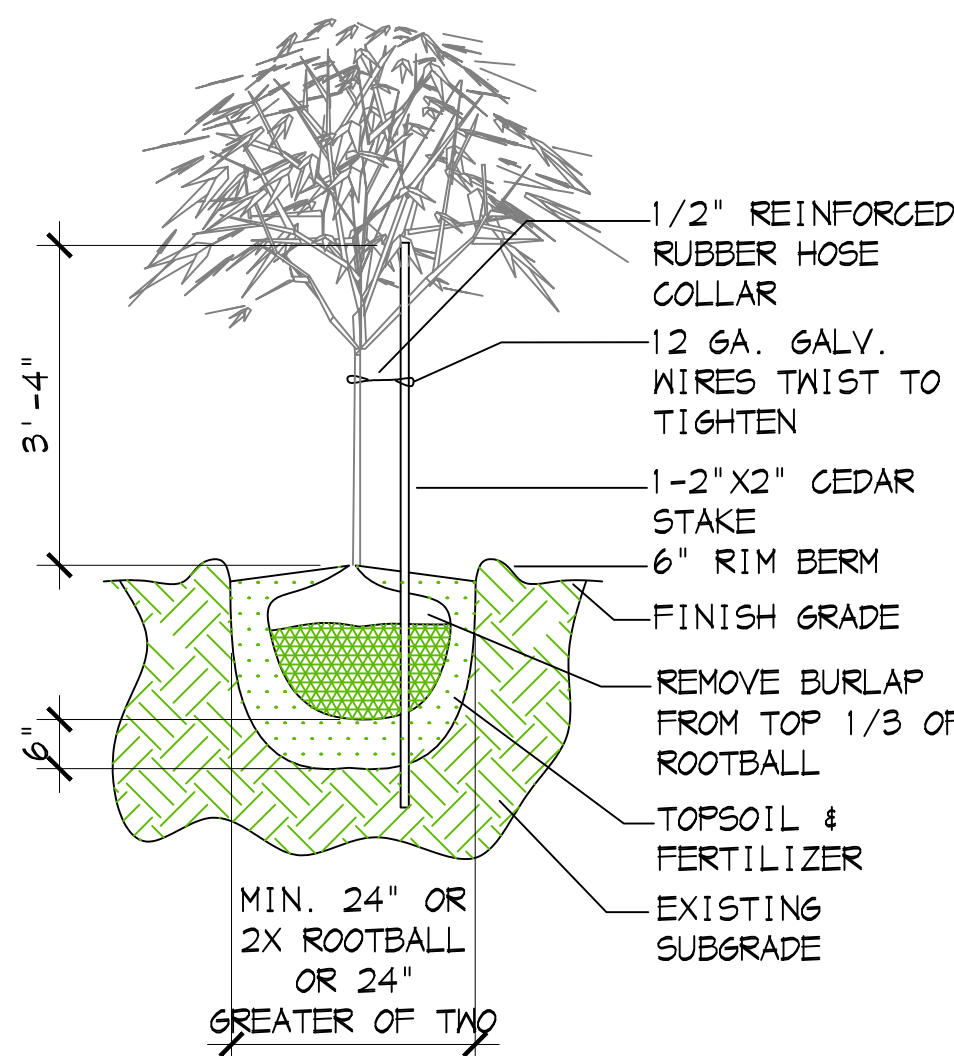
PLANTING SCHEDULE

SYMBOL	TOTAL QUANTITY	BOTANICAL	COMMON	SIZE	REMARKS
EVERGREEN TREE					
	10	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	B & B, OVER 6" TALL	
	9	THUJA PLICATA	WESTERN RED CEDAR	B & B, OVER 6" TALL	
DECIDUOUS TREE					
	11	ACER MACROPHYLLUM	BIG LEAF MAPLE	2" CAL.	24" TALL
EVERGREEN TREE (UNDER 25' TALL)					
	1	CHAMAECYPARIS NOOTKATENSIS 'PENDULA'	KEEPIING NOOTKA CYPRESS	B & B, OVER 6" TALL	
	12**	THUJA OCCIDENTALIS 'FASTIGIATA'	PYRAMIDAL ARBORVITAE	B & B, OVER 6" TALL	
DECIDUOUS TREE (UNDER 25' TALL)					
	1	ACER GLABRUM VAR. DOUGLASII	DOUGLAS MAPLE	2 GAL.	24" TALL
	3	ACER PLATANOIDES 'CRIMSON SENTRY'	GRIMSON SENTRY MAPLE	2 GAL.	24" TALL
	1	ACER PALMATUM 'BLOODGOOD'	BLOODGOOD JAPANESE MAPLE	2 GAL.	24" TALL
	1	STYRAX JAPONICAS	JAPANESE SNOWBELL	2 GAL.	24" TALL
SHRUBS (TEN PLANTS PER SYMBOL)					
	250	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	2 GAL.	24" TALL
	250	PAXISTIMA MYRSINITES	OREGON BOXWOOD	2 GAL.	24" TALL
	250	MAHONIA AQUIFOLIUM	OREGON GRAPE	2 GAL.	24" TALL
	40	PHYSOCARPUS CAPITATUS	PACIFIC NINEBARK	2 GAL.	
	40	CORNUS SERICEA	RED OSIER DOGWOOD	2 GAL.	
	82*	HOLIDISCU DISCOLOR	OCEANSFRAY	2 GAL.	
	40	OEMLERIA CREASIFORMIS	INDIAN PLUM	2 GAL.	
	40	RIBES SANGUINEUM	RED FLOWERING CURRANT	2 GAL.	
GROUND COVER					
	AS REQ'D	GAULTHERIA SHALLON	SALAL	4" POTS	24" O.C. △

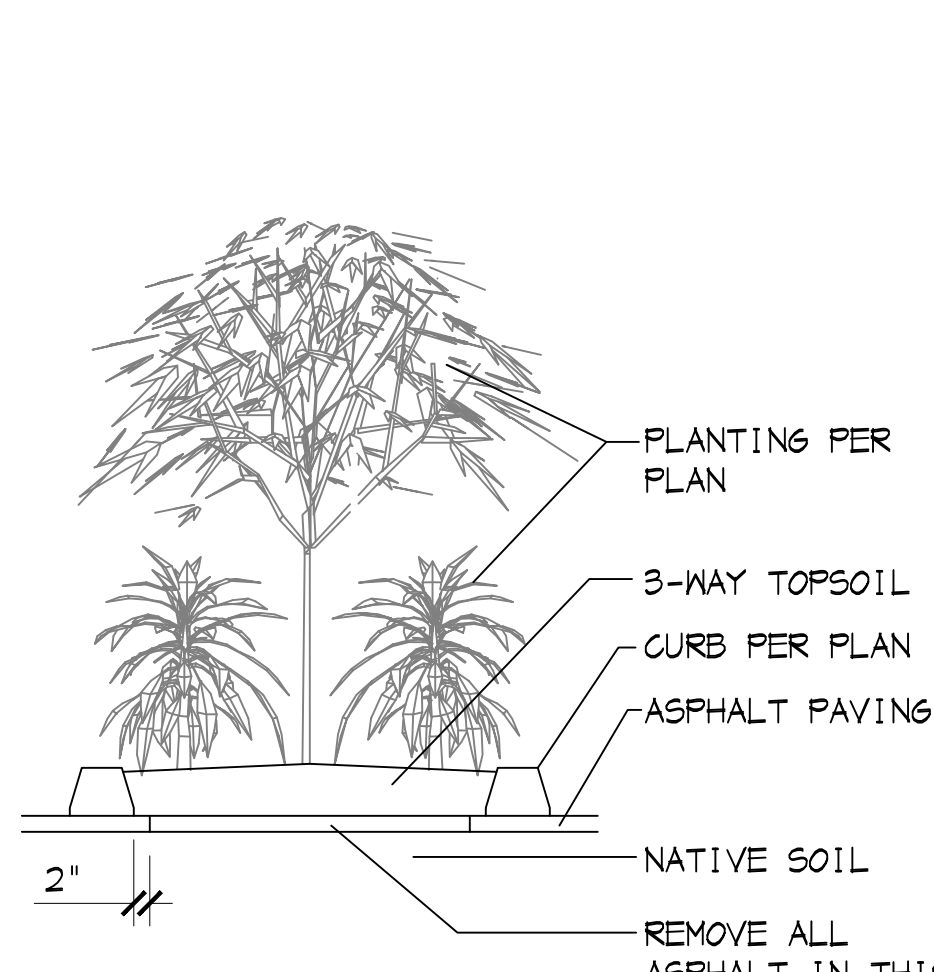
*NOTE LANDSCAPE AREAS 5, 6, AND 7 EACH GET 14 SHRUBS
 ** NOTE: TWO PLANTS PER SYMBOL

LANDSCAPE PLAN

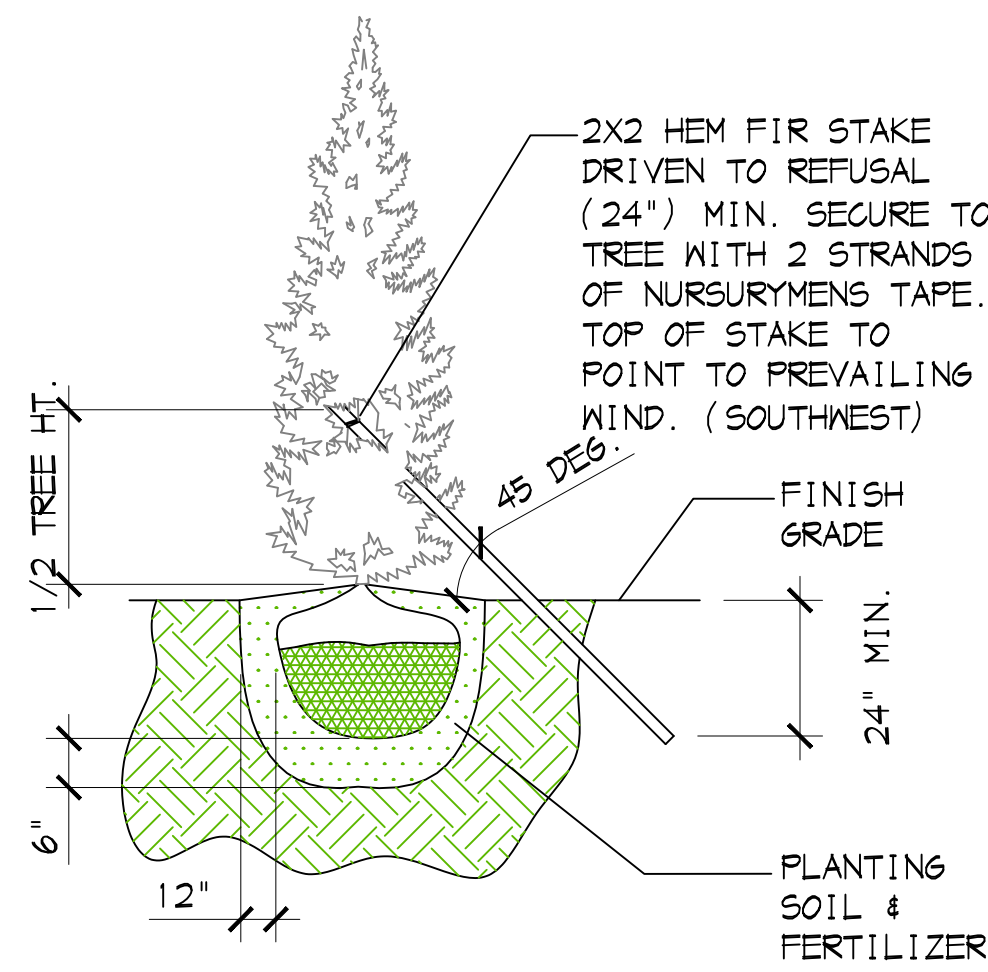
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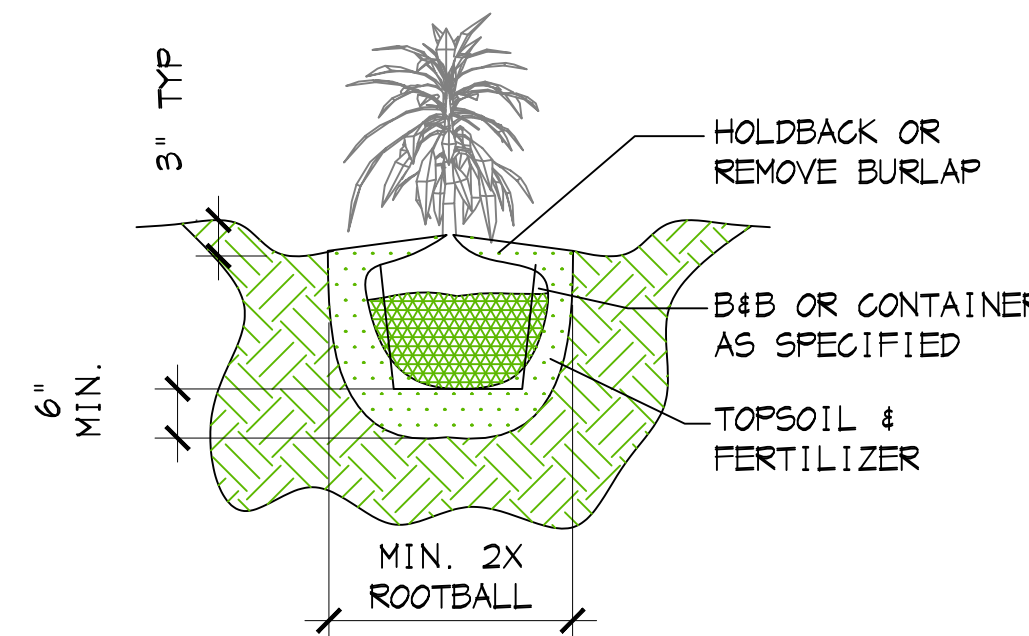
DECIDUOUS TREE PLANTING
NO SCALE



PLANTER DETAIL
NO SCALE



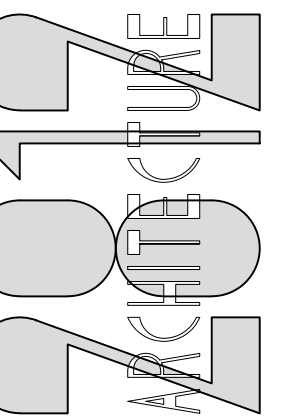
EVERGREEN TREE PLANTING
NO SCALE



SHRUB PLANTING
NO SCALE

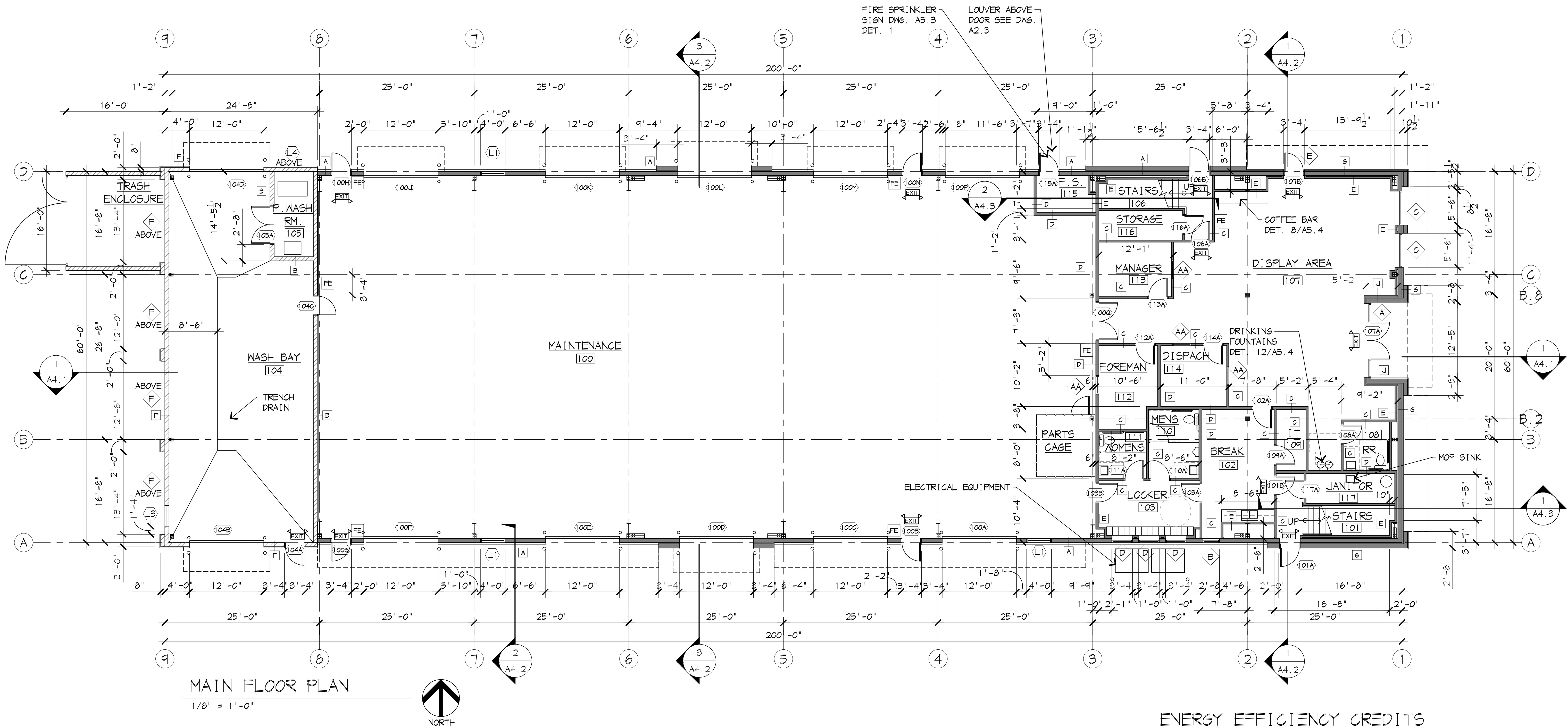
Date:	18 JULY '23	LANDUSE/ CUP SUBMITTAL
For:	PRELIMINARY	CUP RE-SUBMITTAL
	02 APR '24	

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A New Equipment Rental Facility for:
PILCHUCK RENTALS - SMOKEY POINT
 3304 156TH ST NE
 MARYSVILLE, WASHINGTON 98271

Drawing:
A1.3
 Job Number:
 21c-4287



MAIN FLOOR PLAN

1/8" = 1'-0"



WALL TYPES

- A** MANUFACTURED METAL EXTERIOR WALL - METAL SIDING PANELS OVER RIGID INSULATION WITH VAPOR BARRIER ON METAL GIRTS ATTACHED TO STEEL COLUMNS. FOR FURRING REFER TO WALL TYPE SPECIFIED.
- B** CONSTRUCT CMU WALL FROM SLAB TO ROOF ABOVE WITH 8" SMOOTH FACE CMU BLOCKS, FURR WALL WITH 2X4 STUDS AND 5/8" GMB ON MAINTENANCE SIDE OF WALL, FINISH PER SCHEDULE.
- C** CONSTRUCT WALL FROM FLOOR TO UNDERSIDE OF STRUCTURE ABOVE WITH 2X4 STUDS @ 16" O.C. WITH 5/8" GMB EA. SIDE. FINISH PER SCHEDULE. FILL CAVITIES WITH SOUND INSULATION BATTING.
- D** CONSTRUCT WALL FROM FLOOR TO UNDERSIDE OF STRUCTURE ABOVE WITH 2X6 STUDS @ 16" O.C. WITH 5/8" GMB EA. SIDE. FINISH PER SCHEDULE. FILL CAVITIES WITH SOUND INSULATION BATTING.

- E** FURRED WALL: FLOOR TO STRUCTURE ABOVE WITH 2X4 STUDS AT 16" O.C. WITH 5/8" GMB AT INTERIOR SIDE. FINISH PER SCHEDULE.
- F** CMU WALL: 8" SPLIT-FACED CMU BLOCKS FROM SLAB TO 14'-0" HEIGHT. 8" SMOOTH-FACED CMU WITH METAL SIDING PANELS ABOVE 14'-0" HEIGHT. R-10 CONTINUOUS RIGID INSULATION WITH 2" METAL STUDS AT 24" O.C. WITH 3/4" MARINE GRADE PLYWOOD AT INTERIOR.
- G** MANUFACTURED METAL EXTERIOR WALL. METAL SIDING PANELS OVER RIGID INSULATION WITH VAPOR BARRIER ON METAL GIRTS ATTACHED TO METAL BUILDING COLUMNS. CMU MAINSCOT AT EXTERIOR. FURRING AT INTERIOR.
- H** WALL FURRING EXTERIOR
- J** EXTERIOR WALL AT ENTRY

- H** WALL FURRING EXTERIOR
- J** EXTERIOR WALL AT ENTRY

SYMBOLS LEGEND

- (xxx)** DOOR NUMBER. SEE DOOR SCHEDULE DWG. A5.1
- (xxx)** ROOM NUMBER. SEE FINISH SCHEDULE DWG. A5.1
- (x)** WALL TYPE. SEE THIS DRAWING.
- (xx)** WINDOW/RELITE. SEE WINDOW LOUVER AND RELIGHT TYPES DWG. A5.2
- (FE)** 5 LB.-2A 10BC FIRE EXTINGUISHER SURFACE MOUNTED. SEE DWG. A 5.1 FOR MOUNTING REQUIREMENTS.
- (EXIT)** EXIT SIGN W/ EMERGENCY LIGHTING*
- (E)** NEW EMERGENCY LIGHT FIXTURE*
- (X)** LOUVER.

ENERGY EFFICIENCY CREDITS

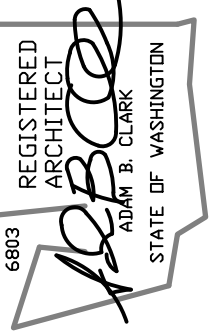
TABLE C406.1
ENERGY CREDITS REQUIRED - 6

- EFFICIENCY CREDITS TAKEN:
- 1. MORE EFFICIENT HVAC PERFORMANCE IN ACCORDANCE WITH SECTION C406.2 - 2.0 CREDITS
 - 3. REDUCE LIGHTING POWER: OPTION 2 IN ACCORDANCE WITH SECTION C406.3.2 - 4.0 CREDITS
- TOTAL CREDITS TAKEN: 6.0 CREDITS

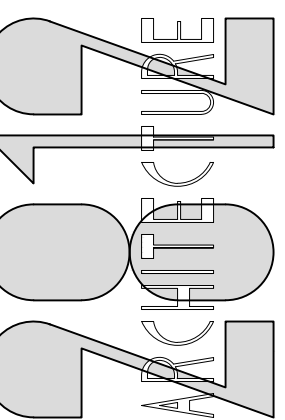
ENERGY CODE REQUIREMENTS

- 1. ENERGY CODE COMPLIANCE:
FULLY CONDITIONED BUILDING: C402.1.3
- 2. INSULATION REQUIREMENTS:
ROOF INSULATION:
METAL BUILDINGS: R-25 + R-11 LS
WALL INSULATION:
METAL BUILDINGS: R-19 G1
WALLS BELOW GRADE: N.A.
SLAB ON GRADE INSULATION: R-10 FOR 24" BELOW (UNHEATED)
SKYLIGHTS: U-0.50
SECTIONAL DOORS: U-0.31
SWINGING DOORS: U-0.37
FIXED WINDOWS: U-0.30
ENTRANCES: U-0.60
- 3. SHADING COEFFICIENTS:
SKYLIGHTS: SHGC=0.35 MAX.
FIXED WINDOWS: SHGC=0.27 MAX.
ENTRANCES: SHGC=0.38 MAX.

Date:	T. JUNE 2023	PRELIMINARY
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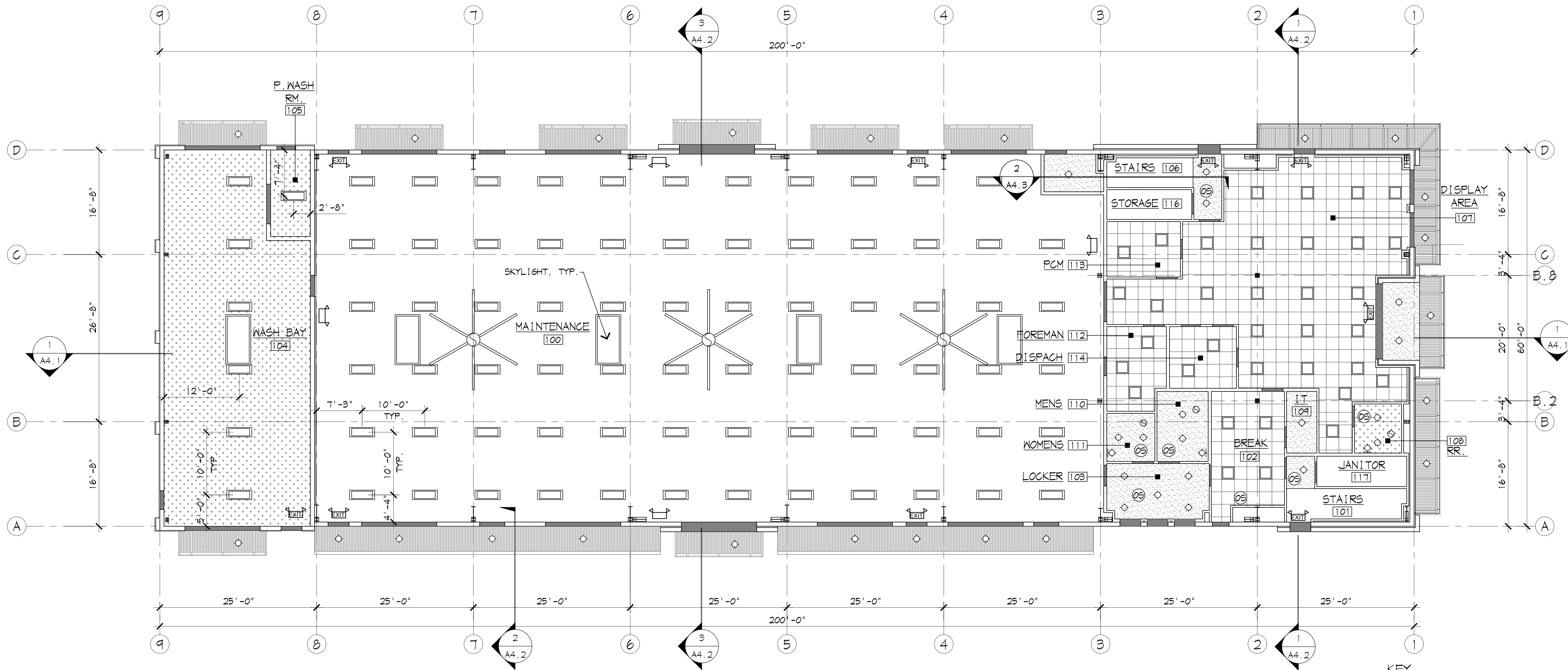


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A New Equipment Rental Facility for:
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3304 156TH ST NE
MARYSVILLE, WASHINGTON 98271
CONTRACT: MAIN FLOOR PLAN

Drawing:
A2.1
Job Number:
21c-4287



MAIN FLOOR REFLECTED CEILING PLAN

1/8" = 1'-0"



KEY

- ACOUSTICAL CEILING TILE. SEE SEISMIC BRACING DETAIL 1 DWG A2.3
- GYP BD CEILING
- WATER RESISTANT GYP BD CEILING

CEILING PLAN NOTES

1. CEILING GRID AND LIGHTING LAYOUT IS CENTERED IN ROOM UNLESS NOTED OTHERWISE ON PLAN.
2. SEE ROOM FINISH SCHEDULE FOR CEILING CONSTRUCTION AND FINISHES.

CEILING SYMBOLS LEGEND

- EXIT EXIT SIGN (ARROW INDICATES DIRECTION)*
- EXIT EXIT SIGN W/ EMERGENCY LIGHTING*
- NEW EMERGENCY LIGHT FIXTURE*
- LAY IN LIGHT FIXTURE (SUSPENDED CEILING)
- LAY IN LIGHT FIXTURE (SUSPENDED CEILING) WITH EXIT ILLUMINATION
- LINEAR STRIP FIXTURE (SURFACE OR PENDANT)
- RECESSED CAN LIGHT
- DECORATIVE PENDANT FIXTURE
- EXHAUST FAN
- CEILING FAN
- OCCUPANCY SENSOR FOR LIGHTING

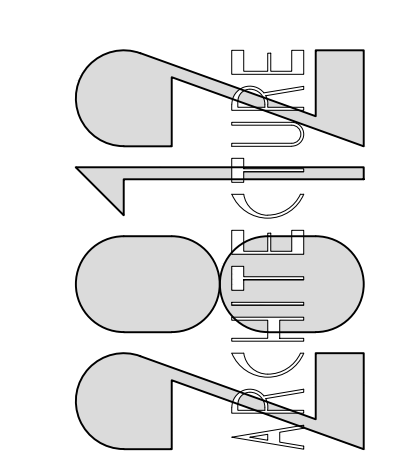
* PROVIDE AN EMERGENCY POWER SUPPLY WITH A MINIMUM DURATION OF 90 MINUTES. EXIT SIGNS SHALL BE LIGHTED 24/7.

WASHINGTON STATE ENERGY CODE LIGHTING CONTROL NOTES

1. OCCUPANCY SENSOR CONTROLS SHALL BE INSTALLED TO CONTROL LIGHTS IN ALL AREAS AND COMPLY WITH THE FOLLOWING:
 - a. AUTOMATICALLY TURN OFF LIGHTS WITHIN 30 MINUTES OF ALL OCCUPANTS LEAVING THE SPACE. BE MANUAL ON OR MANUALLY CONTROLLED TO AUTOMATICALLY TURN THE LIGHTING ON TO NOT MORE THAN 50% POWER. (FULL AUTOMATIC-ON CONTROLS ARE PERMITTED IN PUBLIC CORRIDORS, STAIRWAYS, RESTROOMS, PRIMARY BUILDING ENTRANCES AND LOBBIES AND OTHER AREAS WHERE MANUAL ON OPERATION WOULD PRESENT A LIFE SAFETY OR SECURITY OF THE BUILDING OCCUPANTS OR ROOM.
 - b. SHALL INCORPORATE A MANUAL CONTROL TO ALLOW OCCUPANTS TO TURN LIGHTS OFF.
2. IN WAREHOUSE AREAS, LIGHTING IN AISLEWAYS AND OPEN AREAS SHALL BE CONTROLLED WITH OCCUPANT SENSORS THAT AUTOMATICALLY REDUCE THE LIGHTING LEVEL TO NOT LESS THAN 50% WHEN THE AREAS ARE OCCUPIED. OCCUPANCY SENSORS SHALL CONTROL LIGHTING IN EACH AISLEWAY INDEPENDENTLY AND SHALL NOT CONTROL LIGHTING IN THE AISLEWAY BEING CONTROLLED BY THE SENSOR.
3. EACH AREA OF THE BUILDING NOT CONTROLLED WITH OCCUPANCY SENSORS SHALL BE PROVIDED WITH TIME SWITCH CONTROLS PER WSEC REQUIREMENTS.
4. SPACES REQUIRED TO HAVE LIGHT REDUCTION CONTROLS SHALL HAVE A MANUAL CONTROL THAT ALLOWS OCCUPANTS TO REDUCE THE CONNECTED LIGHTING LEVEL NOT LESS THAN 50% IN A UNIFORM ILLUMINATION PATTERN. NOTE: LIGHT REDUCTION CONTROLS ARE NOT REQUIRED IN DAYLIGHT ZONES WITH DAYLIGHT RESPONSIVE CONTROLS.
5. MANUAL CONTROLS SHALL BE READILY ACCESSIBLE TO OCCUPANTS AND BE LOCATED WHERE THE CONTROLLED LIGHTS ARE VISIBLE.
6. DAYLIGHT RESPONSIVE CONTROLS SHALL BE PROVIDED IN ALL DAYLIGHT ZONES.
 - a. LIGHTS IN PRIMARY AND SECONDARY DAYLIGHT ZONES SHALL BE CONTROLLED INDEPENDENTLY.
 - b. DAYLIGHT RESPONSIVE CONTROLS SHALL BE CONFIGURED TO COMPLETELY SHUT OFF ALL CONTROLLED LIGHTS IN THAT ZONE.
 - c. LIGHTS IN DAYLIGHT ZONES FACING DIFFERENT ORIENTATIONS (I.E., WITHIN 45 DEGREES OF DUE NORTH, EAST SOUTH, WEST) SHALL BE CONTROLLED INDEPENDENTLY OF EACH OTHER.
 - d. A SINGLE DAYLIGHT CONTROL ZONE SHALL NOT EXCEED 2,500 S.F.
7. DAYLIGHT RESPONSIVE CONTROLS SHALL BE CONFIGURED TO AUTOMATICALLY REDUCE THE POWER OF GENERAL LIGHTING IN THE DAYLIGHT ZONE IN RESPONSE TO AVAILABLE DAYLIGHT, WHILE MAINTAINING UNIFORM ILLUMINATION LEVELS WITHIN THE SPACE.
8. EXTERIOR LIGHTING (OTHER THAN EMERGENCY AND/OR LIFE SAFETY RELATED LIGHTING) THAT IS INTENDED TO BE AUTOMATICALLY OFF DURING DAYLIGHT HOURS SHALL BE PROVIDED WITH A CONTROL THAT AUTOMATICALLY TURNS OFF THE LIGHTING AS A FUNCTION OF AVAILABLE DAYLIGHT.
9. THE MAXIMUM LIGHTING POWER THAT MAY BE CONTROLLED FROM A SINGLE SWITCH OR AUTOMATIC CONTROL SHALL NOT EXCEED THAT WHICH IS PROVIDED BY A 20 AMP CIRCUIT LOADED TO NOT MORE THAN 80%. A MASTER CONTROL MAY BE INSTALLED PROVIDED THE INDIVIDUAL SWITCHES RETAIN THE CAPABILITY TO FUNCTION INDEPENDENTLY. CIRCUIT BREAKERS MAY NOT BE USED AS A SOLE MEANS OF SWITCHING.

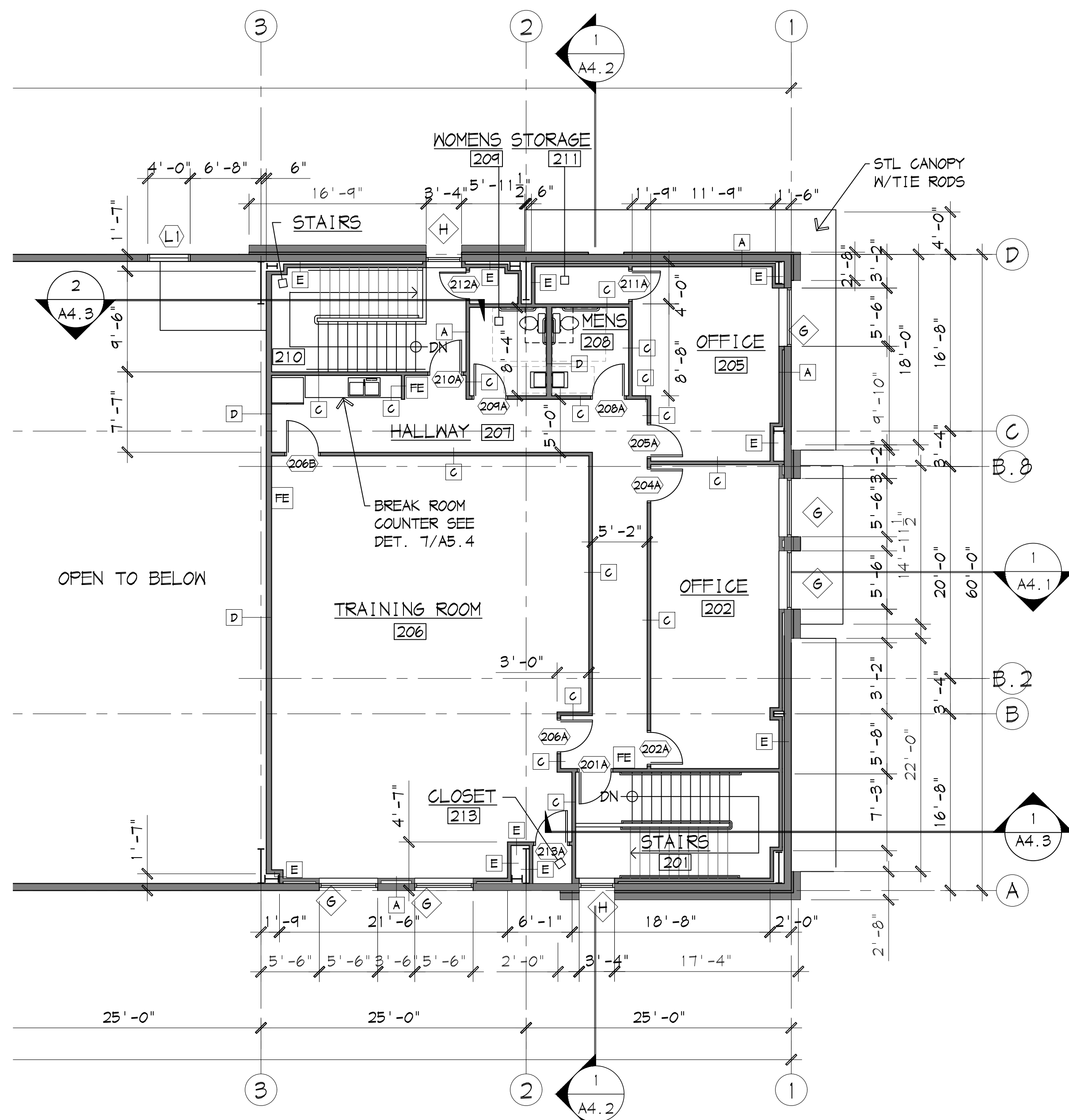
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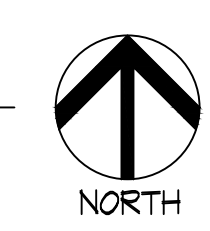


A New Equipment Rental Facility for:
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3304 156TH ST NE
MARYSVILLE, WASHINGTON 98271
PA23-018

Drawing:	A2.2
Job Number:	21c-4287



SECOND FLOOR PLAN
1/8" = 1'-0"



WASHINGTON STATE ENERGY CODE
LIGHTING CONTROL NOTES

- OCCUPANCY SENSOR CONTROLS SHALL BE INSTALLED TO CONTROL LIGHTS IN ALL AREAS AND COMPLY WITH THE FOLLOWING:
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 - A SINGLE DAYLIGHT CONTROL ZONE SHALL NOT EXCEED 2,500 S.F.
- DAYLIGHT RESPONSIVE CONTROLS SHALL BE CONFIGURED TO AUTOMATICALLY REDUCE THE POWER OF GENERAL LIGHTING IN THE DAYLIGHT ZONE IN RESPONSE TO AVAILABLE DAYLIGHT, WHILE MAINTAINING UNIFORM ILLUMINATION LEVELS WITHIN THE SPACE.
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CEILING PLAN NOTES

- CEILING GRID AND LIGHTING LAYOUT IS CENTERED IN ROOM UNLESS NOTED OTHERWISE ON PLAN.
- SEE ROOM FINISH SCHEDULE FOR CEILING CONSTRUCTION AND FINISHES.

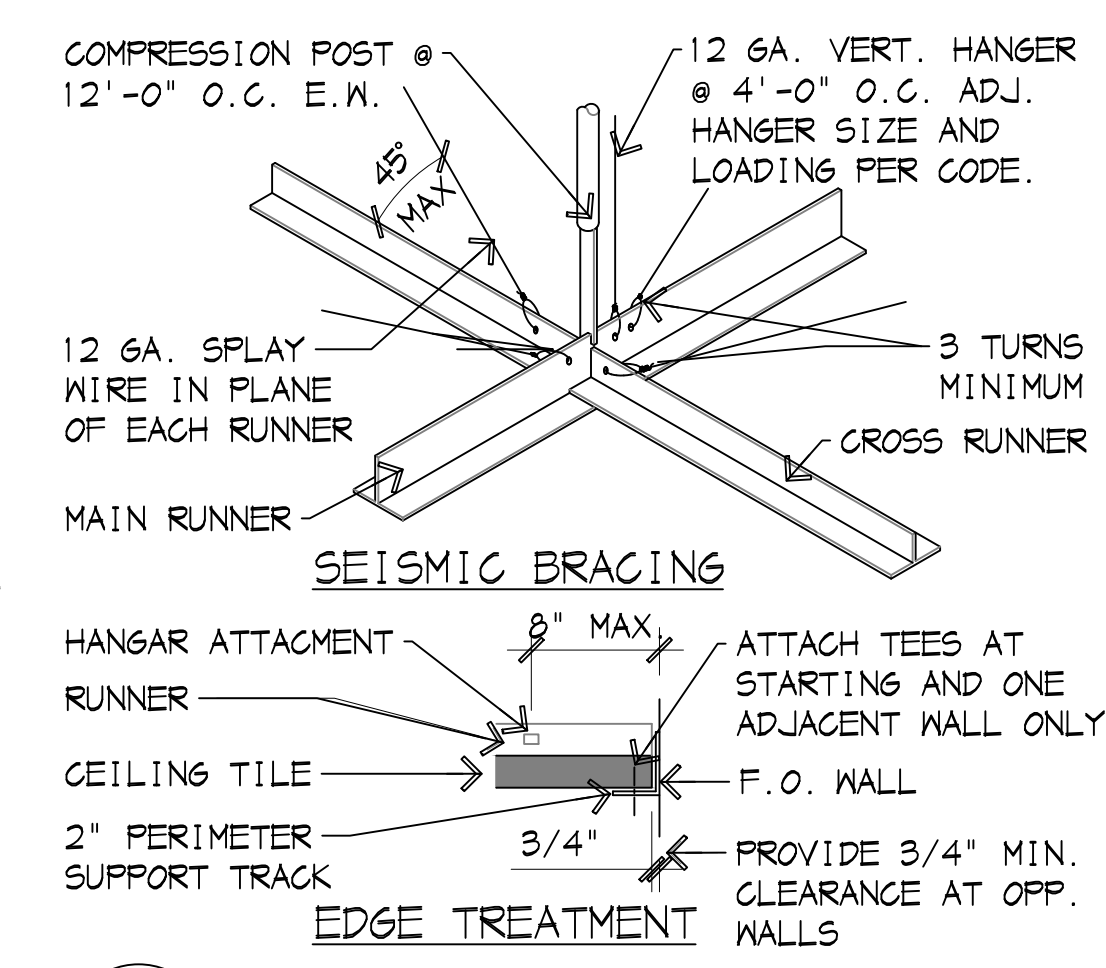
WALL TYPES

- A MANUFACTURED METAL EXTERIOR WALL - METAL SIDING PANELS OVER RIGID INSULATION WITH VAPOR BARRIER ON METAL GIRTS ATTACHED TO STEEL COLUMNS. FOR FURRING REFER TO WALL TYPE SPECIFIED.
- B CONSTRUCT CMU WALL FROM SLAB TO UNDERSIDE OF STRUCTURE ABOVE WITH 8" CMU BLOCKS, FURR WALL WITH 2X4 STUDS AND 5/8" GMB ON WAREHOUSE SIDE OF WALL, FINISH PER SCHEDULE.
- C CONSTRUCT WALL FROM FLOOR TO UNDERSIDE OF STRUCTURE ABOVE WITH 2X4 STUDS @ 16" O.C. WITH 5/8" GMB EA. SIDE. FINISH PER SCHEDULE. FILL CAVITIES WITH SOUND INSULATION BATTING.
- D CONSTRUCT WALL FROM FLOOR TO UNDERSIDE OF STRUCTURE ABOVE WITH 2X6 STUDS @ 16" O.C. WITH 5/8" GMB EA. SIDE. FINISH PER SCHEDULE. FILL CAVITIES WITH SOUND INSULATION BATTING.
- E FURRED WALL: FLOOR TO STRUCTURE ABOVE WITH 2X4 STUDS @ 16" O.C. WITH 5/8" GMB AT INTERIOR SIDE. FINISH PER SCHEDULE.
- F CMU WALL: 8" SPLIT-FACED CMU BLOCKS FROM SLAB TO 8'-0" HEIGHT. ABOVE CMU, METAL SIDING PANELS OVER RIGID INSULATION PANELS WITH VAPOR BARRIER ON METAL GIRTS ATTACHED TO STEEL BUILDING COLUMNS.
- G MANUFACTURED METAL EXTERIOR WALL: METAL SIDING PANELS OVER RIGID INSULATION WITH VAPOR BARRIER ON METAL GIRTS ATTACHED TO METAL BUILDING COLUMNS. CMU MAINSCOT AT EXTERIOR. FURRING AT INTERIOR.
- H WALL FURRING EXTERIOR
- J EXTERIOR WALL AT ENTRY

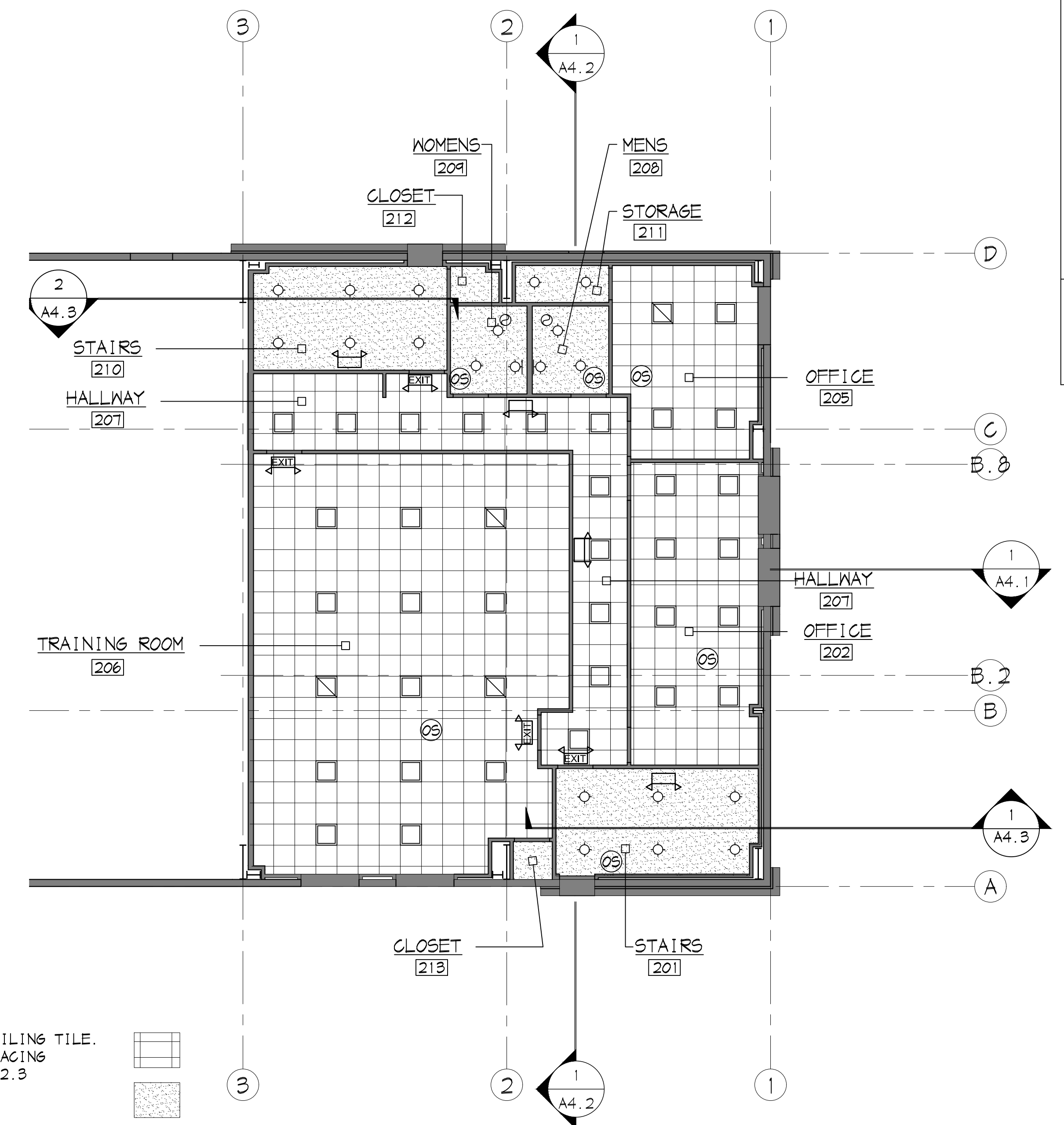
SYMBOLS LEGEND

- XXX DOOR NUMBER. SEE DOOR SCHEDULE DWG. A5.1
- XXX ROOM NUMBER. SEE FINISH SCHEDULE DWG. A5.1
- X WALL TYPE. SEE THIS DRAWING.
- XX WINDOW/RELITE. SEE WINDOW LOUVER AND RELITE TYPES DWG. A5.2
- FE 5 LB.-2A 10BC FIRE EXTINGUISHER SURFACE MOUNTED. SEE DWG. A 5.1 FOR MOUNTING REQUIREMENTS.
- EXIT EXIT SIGN W/ EMERGENCY LIGHTING*
- NEW EMERGENCY LIGHT FIXTURE*

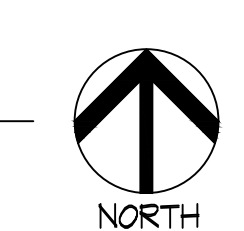
- KEY
- ACOUSTICAL CEILING TILE. SEE SEISMIC BRACING DETAIL 1 DWG A2.3
 - GYP BD CEILING



1 CEILING TILE BRACING
NO SCALE



SECOND FLOOR REFLECTED CEILING PLAN
1/8" = 1'-0"



CEILING SYMBOLS LEGEND

- EXIT EXIT SIGN (ARROW INDICATES DIRECTION)*
- EXIT EXIT SIGN W/ EMERGENCY LIGHTING*
- NEW EMERGENCY LIGHT FIXTURE*
- LAY IN LIGHT FIXTURE (SUSPENDED CEILING)
- LAY IN LIGHT FIXTURE (SUSPENDED CEILING) WITH EXITING ILLUMINATION
- LINEAR STRIP FIXTURE (SURFACE OR PENDANT)
- RECESSED CAN LIGHT
- DECORATIVE PENDANT FIXTURE
- EXHAUST FAN
- CEILING FAN
- OCCUPANCY SENSOR FOR LIGHTING

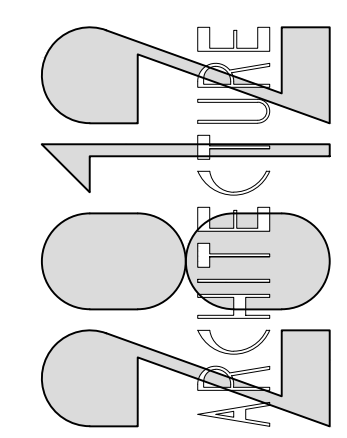
* PROVIDE AN EMERGENCY POWER SUPPLY WITH A MINIMUM DURATION OF 90 MINUTES. EXIT SIGNS SHALL BE LIGHTED 24/7.

- CODE REQUIREMENTS
- SUSPENDED CEILING SYSTEM TO COMPLY WITH:
ASTM C 635, ASTM C 636, SECTION 9.6 OF ASCE 7
- SYSTEM TO BE DESIGNED AND INSTALLED IN ACCORDANCE WITH CISCA RECOMMENDATIONS FOR SEISMIC ZONES 3 AND 4.
- A heavy duty t-bar grid system shall be used.
 - The width of the perimeter supporting angle shall be not less than 2".
 - For ceiling areas exceeding 1000 SF horizontal restraint of the ceiling structural system shall be provided. The tributary areas of the restraints shall be approximately equal.
 - For ceiling areas exceeding 2500 SF a seismic joint or full height partition shall break up the ceiling so that no area is greater than 2500 SF.
 - Except where rigid braces are used to limit horizontal deflections, sprinkler heads and other penetrations shall have a 2" oversize ring, sleeve, or adapter through the ceiling to allow for free movement of at least 1" in all directions.
 - Changes in ceiling plan elevation shall be provided with positive bracing.
 - Cable trays and electrical conduits shall be supported independently of the ceiling.
 - Suspended ceilings shall be subject to the special inspection requirements of Section A.9.3.3.3.9 of this standard.

Date:	T. JUNE 2023 PRELIMINARY
For:	18 JULY '23 LANDUSE/ CUP SUBMITTAL
	02 APR '24 CUP RE-SUBMITTAL

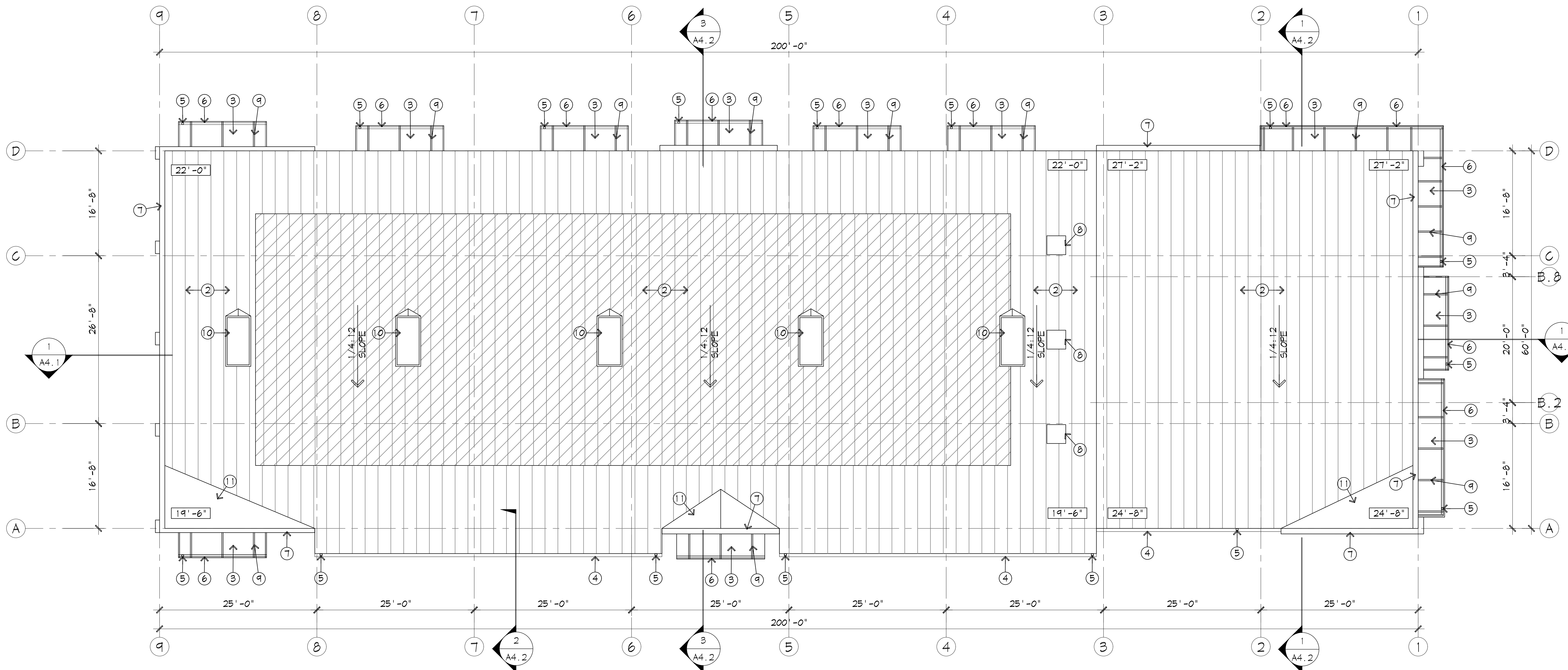


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A New Equipment Rental Facility for:
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MARYSVILLE, WASHINGTON 98271
PA23-018
SECOND FLOOR PLAN AND REFLECTED CEILING PLAN

Drawing:	A2.3
Job Number:	21c-4287



ROOF PLAN


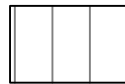
SCALE: 1/8" = 1'-0"



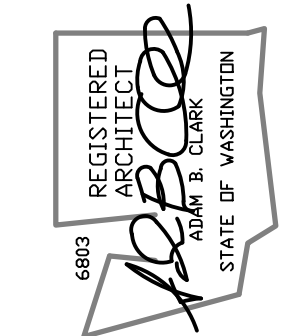
ROOF PLAN NOTES

1. ROOF ELEVATIONS ARE AS SHOWN ON TOP OF FRAMING MEMBERS.
2. METAL ROOF: PREFINISHED METAL ROOFING (SSR GALVALUME METAL ROOF PANELS) AND FRAMING W R-25 & R-11 LINEAR INSULATION SYSTEM AND VAPOR BARRIER OVER FRAMING PER METAL BUILDING MANUFACTURER. COLOR - WHITE PER SEE SECTION
3. CANOPY ROOF: PREFINISHED METAL AND FRAMING PER STRUCT. SEE SECTIONS & DET. 11 DWG. A5.3.
4. PREFINISHED METAL GUTTER. SEE DET. 3 DWG. A5.3.
5. PREFINISHED METAL DOWNSPOUT.
6. PREFINISHED METAL CANOPY GUTTER.
7. FRAMED PARAPET WALL. SEE DET. 7 DWG. A5.3.
8. SOLAR PANEL INVERTER - COORDINATE W/SOLAR PANEL PROVIDER
9. STEEL TIE RODS. SEE DET. 11 DWG. A5.3.
10. SKYLIGHT.
11. CRICKET.

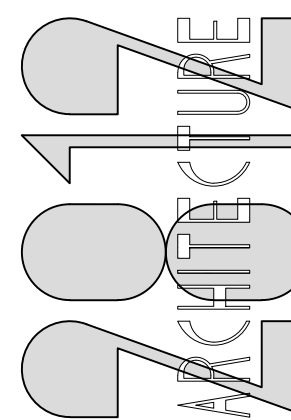
KEY

-  40% OF ROOF AREA DESIGNATED FOR PHOTOVOLTAIC PANELS
-  METAL ROOFING PANELS

Date:	For:
7 JUNE 2023 PRELIMINARY	
18 JULY '23 LANDUSE/ CUP SUBMITTAL	
02 APR '24 CUP RE-SUBMITTAL	



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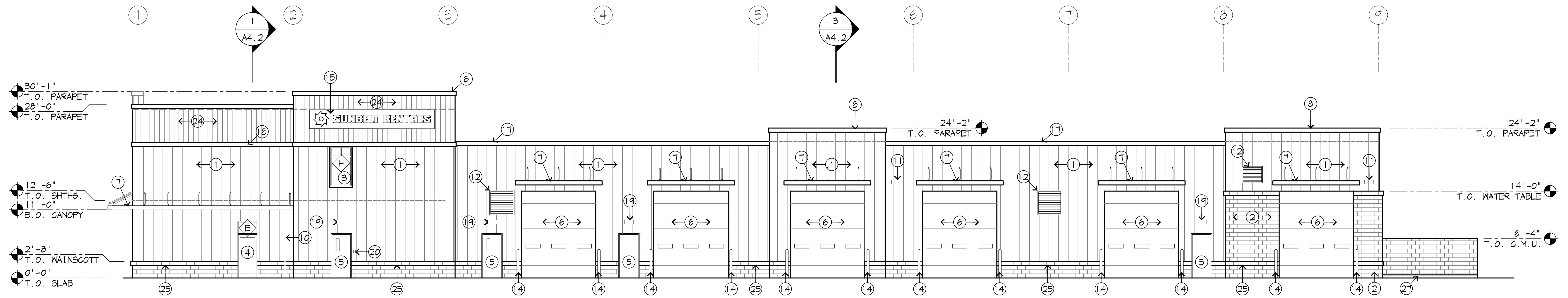


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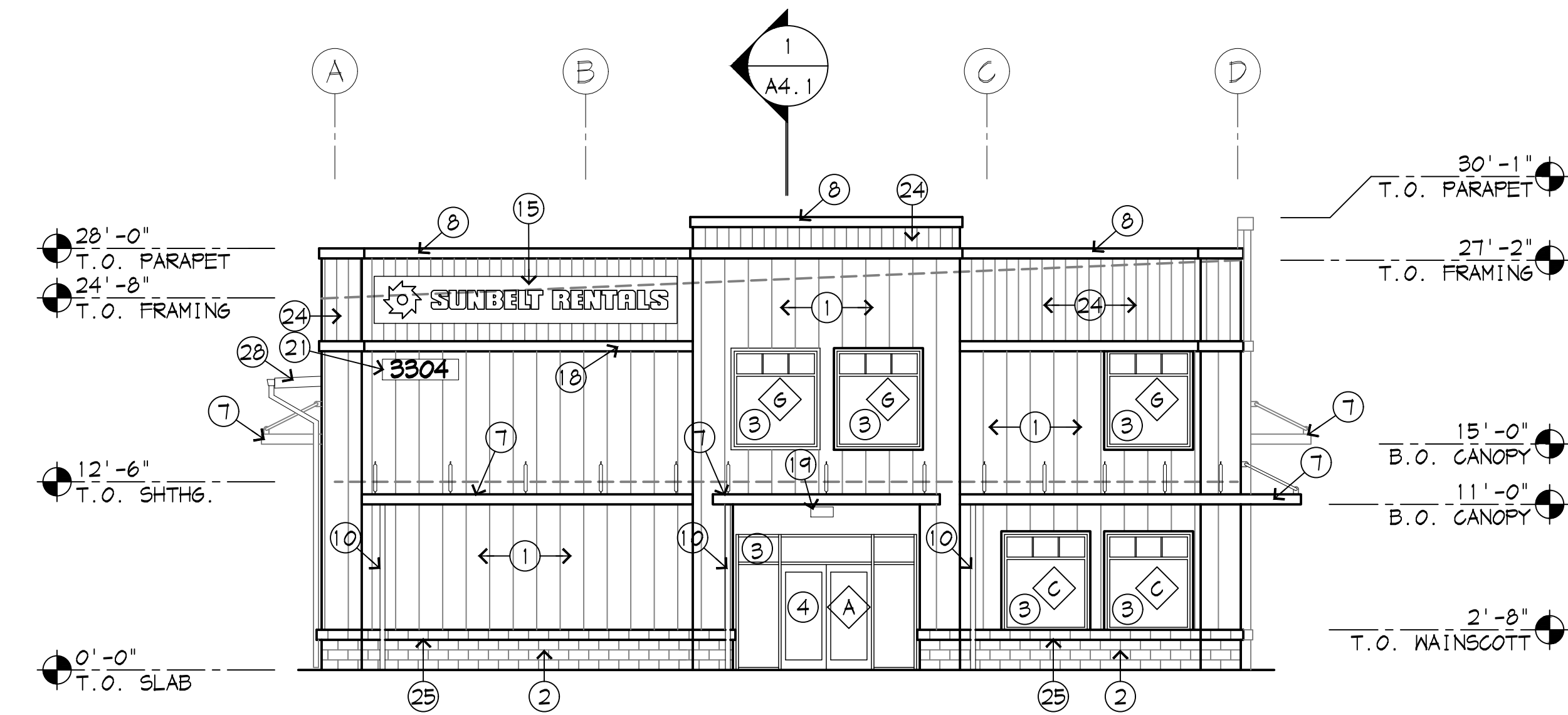
PA23-018

Drawing:	A2.4
Job Number:	21c-4287

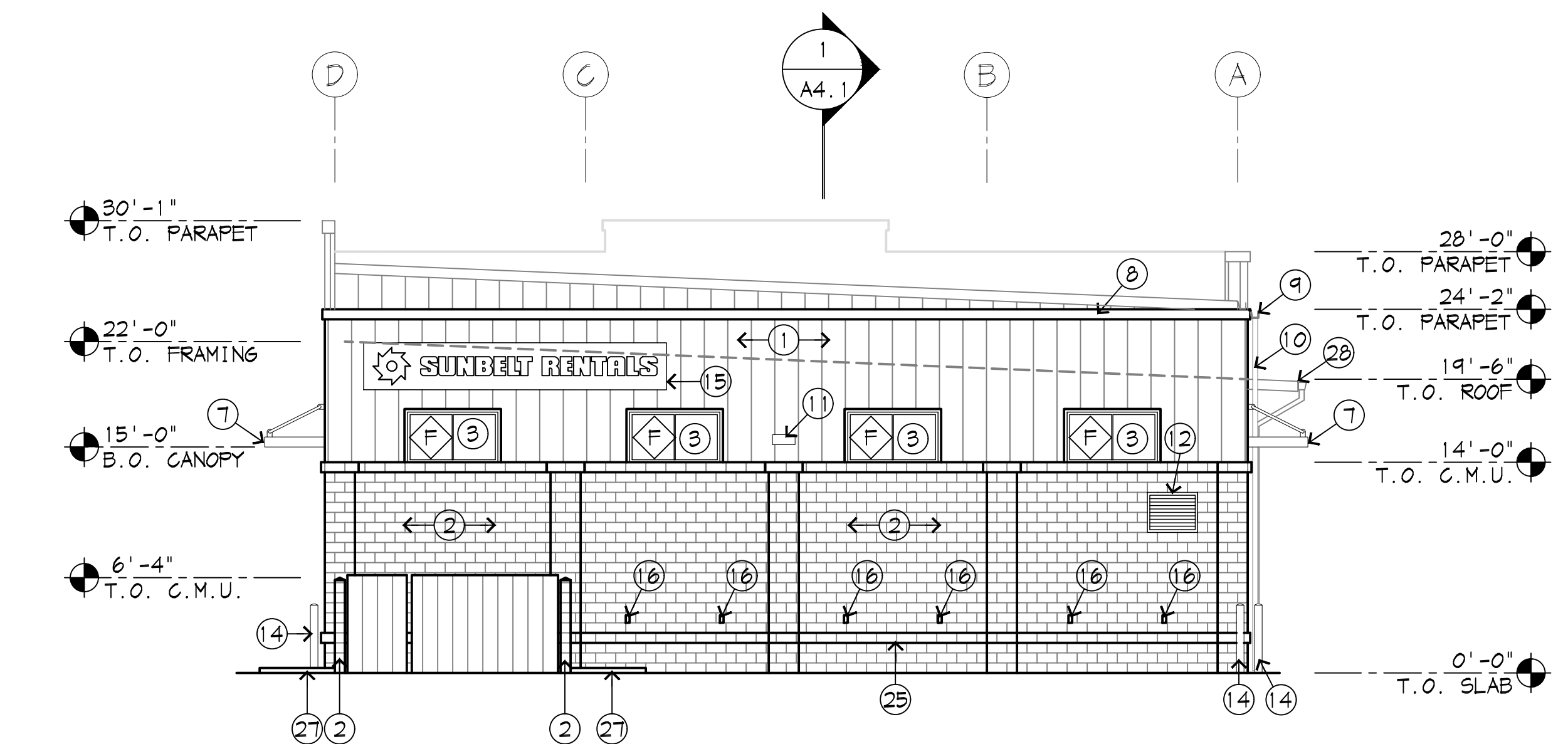
Contents:
ROOF PLAN



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
SCALE: 1/8" = 1'-0"



3 WEST ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION NOTES

1. METAL SIDING. 266A. PREFINISHED METAL, PAINT COLOR C3.
2. CONCRETE MASONRY UNIT WALL. PER STRUCTURAL. COLOR C2
3. STOREFRONT FRAMING W/ 1" INSULATED GLASS. SEE WINDOW TYPES DWG. A5.2
4. STOREFRONT ENTRY DOOR. PAINT COLOR C2. SEE DOOR SCHEDULE DWG. A5.1. SEE WINDOW TYPES ON A5.2.
5. HOLLOW METAL DOOR & FRAME PAINT COLOR C2. SEE DOOR SCHEDULE DWG. A5.1.
6. SECTIONAL OVERHEAD DOOR. PAINT COLOR C2. SEE DOOR SCHEDULE DWG. A5.1.
7. METAL CANOPY ROOF. PAINT COLOR C1.
8. PARAPET COPING. PREFINISHED METAL. PAINT COLOR C2.
9. PREFINISHED METAL GUTTER. PAINT COLOR C2.
10. DOWNSPOUT. SCHEDULE 40 PVC PAINT COLOR C2.
11. LIGHT FIXTURE. COORD. W/ ELECTRICAL.
12. LOUVER. SEE WINDOW LOUVER AND RELITE TYPES ON A5.3 FOR LOUVER TYPES.
13. ELECTRICAL EQUIPMENT - PAD MOUNTED
14. BOLLARD. REFER TO DTL. B ON A1.2
15. SIGN.
16. CHARGING STATION OUTLET.
17. EDGE FLASHING. PREFINISHED METAL. COLOR C2
18. METAL TRIM. PREFINISHED METAL. COLOR C2
19. EMERGENCY AND MEANS OF EGRESS LIGHT FIXTURE. FIXTURE SHALL BE CONTROLLED BY LIGHT SENSOR SO THAT IT IS LIGHTED AT ALL NON-DAYLIGHT HOURS. PROVIDE AN EMERGENCY POWER SUPPLY WITH A MINIMUM DURATION OF 90 MINUTES FOR THIS FIXTURE.
20. FIRE DEPARTMENT KEY BOX WITH BUILDING ACCESS KEYS. CONTACT TO OBTAIN. MARYSVILLE FIRE DISTRICT RFA AT (360) 363-8500 OR (425) 407-3999.
21. ADDRESS LETTERS 18" HIGH. FONT: ARIAL. COLOR TO CONTRAST WITH BACKGROUND COLOR. VERIFY ADDRESS WITH COUNTY PRIOR TO FABRICATION.
22. EXHAUST FAN TERMINATION. COORDINATE WITH ELECTRICAL CONTRACTOR
23. STANDING SEAM MTL ROOF. 246A. SSR GALVALUME METAL ROOF PANELS; COLOR - WHITE
24. METAL SIDING. 266A. PREFINISHED METAL, PAINT COLOR C1.
25. CMU MAINSCOTT. - COLOR C3
26. SKYLIGHT.
27. PLANTER.
28. ROOF EYE.

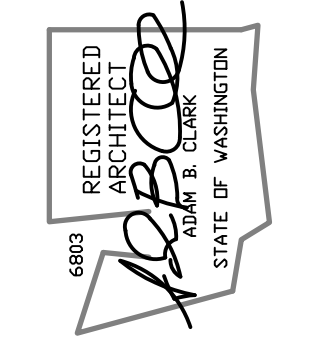
EXTERIOR COLORS

- C1 SUNBELT RENTALS GREEN
- C2 SHERWIN WILLIAMS - WEB GRAY "SWT075"
- C3 SHERWIN WILLIAMS - DORIAN GRAY "SWT017"
- C4 SUNBELT RENTALS YELLOW
- C5 SUNBELT RENTALS BLACK
- C6 SUNBELT RENTALS WHITE

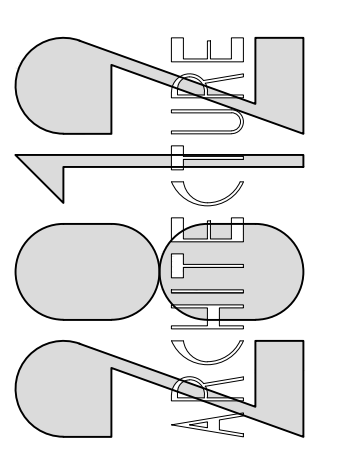
ELEVATION LEGEND

- (X) ELEVATION NOTES
- (X) WINDOW PER WINDOW LOUVER AND RELITE TYPES ON DWG. A5.2

Date:	T. JUNE 2022
For:	PRELIMINARY
	18 JULY '23 LANDUSE/ CUP SUBMITTAL
	02 APR '24 CUP RE-SUBMITTAL

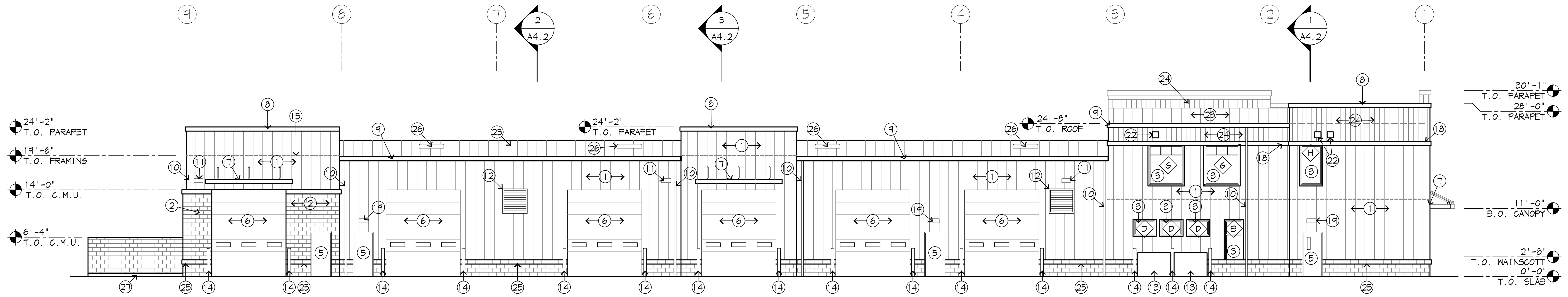


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PILCHUCK RENTALS - SMOKEY POINT
PA23-018

A New Equipment Rental Facility for:
3304 156TH ST NE
MARYSVILLE, WASHINGTON 98271



1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION NOTES

1. METAL SIDING. 266A. PREFINISHED METAL, PAINT COLOR C3.
2. CONCRETE MASONRY UNIT WALL. PER STRUCTURAL. COLOR C2
3. STOREFRONT FRAMING W/ 1" INSULATED GLASS. SEE WINDOW TYPES DWG. A5.2.
4. STOREFRONT ENTRY DOOR. PAINT COLOR C2. SEE DOOR SCHEDULE DWG A5.1. SEE WINDOW TYPES ON A5.2.
5. HOLLOW METAL DOOR & FRAME PAINT COLOR C2. SEE DOOR SCHEDULE DWG. A5.1.
6. SECTIONAL OVERHEAD DOOR. PAINT COLOR C2. SEE DOOR SCHEDULE DWG. A5.1.
7. METAL CANOPY ROOF. PAINT COLOR C1.
8. PARAPET COPING. PREFINISHED METAL. PAINT COLOR C2.
9. PREFINISHED METAL GUTTER. PAINT COLOR C2.
10. DOWNSPOUT. SCHEDULE 40 PVC PAINT COLOR C2.
11. LIGHT FIXTURE. COORD. W/ ELECTRICAL.
12. LOUVER. SEE WINDOW LOUVER AND RELITE TYPES ON A5.3 FOR LOUVER TYPES.
13. ELECTRICAL EQUIPMENT - PAD MOUNTED
14. BOLLARD. REFER TO DTL. B ON A1.2
15. SIGN.
16. CHARGING STATION OUTLET.
17. EDGE FLASHING. PREFINISHED METAL. COLOR C2
18. METAL TRIM. PREFINISHED METAL. COLOR C2
19. EMERGENCY AND MEANS OF EGRESS LIGHT FIXTURE. FIXTURE SHALL BE CONTROLLED BY LIGHT SENSOR SO THAT IT IS LIGHTED AT ALL NON-DAYLIGHT HOURS. PROVIDE AN EMERGENCY POWER SUPPLY WITH A MINIMUM DURATION OF 90 MINUTES FOR THIS FIXTURE.
20. FIRE DEPARTMENT KEY BOX WITH BUILDING ACCESS KEYS. CONTACT TO OBTAIN. MARYSVILLE FIRE DISTRICT RFA AT (360)363-0500 OR (425)401-3999.
21. ADDRESS LETTERS 18" HIGH. FONT: ARIAL. COLOR TO CONTRAST WITH BACKGROUND COLOR. VERIFY ADDRESS WITH COUNTY PRIOR TO FABRICATION.
22. EXHAUST FAN TERMINATION. COORDINATE WITH ELECTRICAL CONTRACTOR
23. STANDING SEAM MTL ROOF. 246A. SSR GALVALUME METAL ROOF PANELS; COLOR - WHITE
24. METAL SIDING. 266A. PREFINISHED METAL, PAINT COLOR C1.
25. CMU MAINSCOTT. - COLOR C3
26. SKYLIGHT.
27. PLANTER.
28. ROOF EVE.

EXTERIOR COLORS

- C1 SUNBELT RENTALS GREEN
- C2 SHERWIN WILLIAMS - WEB GRAY "SWT075"
- C3 SHERWIN WILLIAMS - DORIAN GRAY "SWT017"
- C4 SUNBELT RENTALS YELLOW
- C5 SUNBELT RENTALS BLACK
- C6 SUNBELT RENTALS WHITE

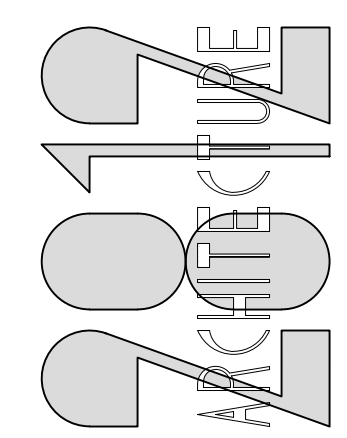
ELEVATION LEGEND

- (X) ELEVATION NOTES
- (X) WINDOW PER WINDOW LOUVER AND RELITE TYPES ON DWG.A5.2

Date:	T. JUNE 2023 PRELIMINARY
For:	18 JULY '23 LANDUSE/ CUP SUBMITTAL
	02 APR '24 CUP RE-SUBMITTAL



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A New Equipment Rental Facility for:
PILCHUCK RENTALS - SMOKEY POINT
3304 156TH ST NE
MARYSVILLE, WASHINGTON 98271
PA23-018
EXTERIOR ELEVATIONS

Drawing:	A3.2
Job Number:	21c-4287



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
SCALE: 1/8" = 1'-0"



3 WEST ELEVATION
SCALE: 1/8" = 1'-0"

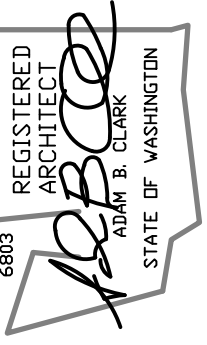
EXTERIOR COLORS

- C1 SUNBELT RENTALS GREEN
- C2 SHERWIN WILLIAMS - WEB GRAY "SWT075"
- C3 SHERWIN WILLIAMS - DORIAN GRAY "SWT017"
- C4 SUNBELT RENTALS YELLOW
- C5 SUNBELT RENTALS BLACK
- C6 SUNBELT RENTALS WHITE

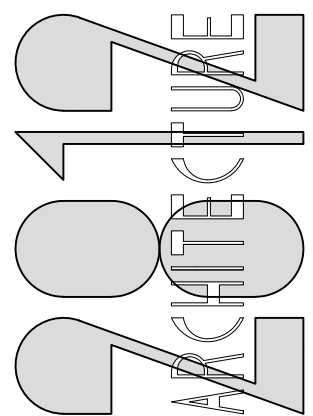


4 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

Date:	7 JUN 2022	PRELIMINARY
	18 JULY '23	LANDUSE/ CUP SUBMITTAL
	02 APR '24	CUP RE-SUBMITTAL
For:		

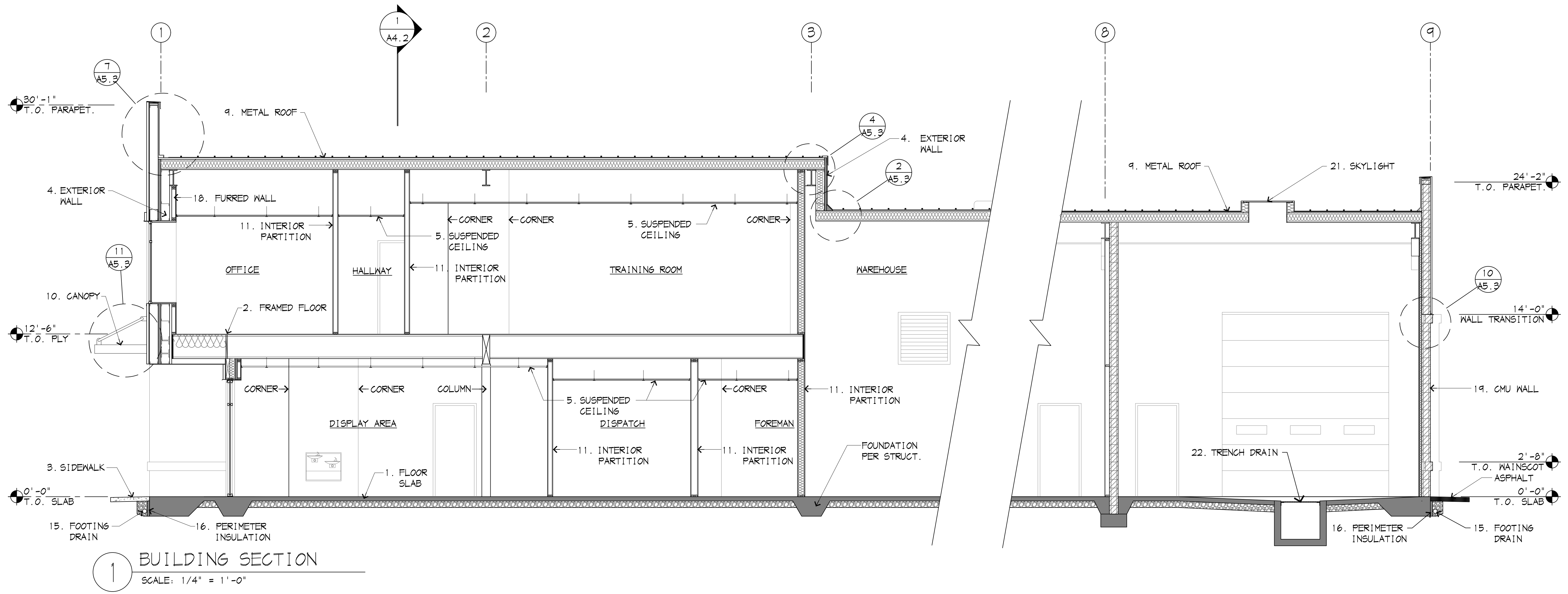


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A New Equipment Rental Facility for:
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3304 156TH ST NE
MARYSVILLE, WASHINGTON 98271
PA23-018

EXTERIOR ELEVATIONS RENDERINGS
Drawing: **A3.3**
Job Number: 21c-4287



1 BUILDING SECTION
SCALE: 1/4" = 1'-0"

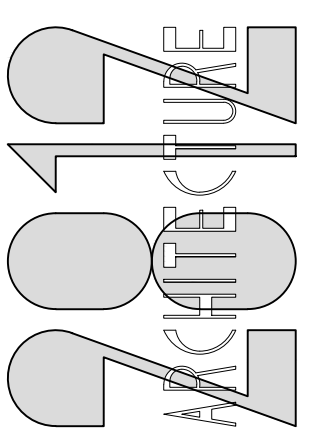
SECTION NOTES

1. FLOOR SLAB: CONCRETE SLAB AND REINFORCING PER STRUCTURAL ON 6" GRAVEL BASE ON 6 MIL. VAPOR BARRIER.
2. FRAMED FLOOR: DECK AND FRAMING PER STRUCTURAL. PROVIDE SOUND BATT INSULATION IN JOIST CAVITIES.
3. SIDEWALK: 4" CONCRETE SLAB ON 2" THICK COURSE SAND BED. BROOM FINISH. PROVIDE EXPANSION JOINTS AND CONTROL JOINTS AS REQUIRED.
4. EXTERIOR WALL: METAL SIDING PANELS ON CONTINUOUS R-19 RIGID INSULATION AND VAPOR BARRIER OVER FRAMING PER METAL BUILDING MANUFACTURER.
5. SUSPENDED CEILING: 2' X 4' SUSPENDED ACOUSTICAL CEILING. SEE FINISH SCHEDULE DWG. A5.1 AND DET. 1/DWG. A2.3.
6. STOREFRONT: STOREFRONT FRAMING WITH 1" INSULATED GLASS OR 1" INSULATED SAFETY GLASS. SEE EXTERIOR ELEVATIONS AND WINDOW LOUVER AND RELIGHT TYPES SEE DWG. A3.1, A3.2, A5.2.
7. VINYL WINDOW: VINYL WINDOW WITH 1" INSULATED GLASS. SEE EXTERIOR ELEVATIONS AND WINDOW LOUVER AND RELIGHT TYPES SEE DWG. A3.1, A3.2, A5.2.
8. CMU MAINSCOT:
9. METAL ROOF: METAL ROOFING AND FRAMING WITH R-25 + R-11 LINEAR INSULATION SYSTEM AND VAPOR BARRIER OVER FRAMING PER METAL BUILDING MANUFACTURER.
10. CANOPY: METAL ROOFING TO MATCH METAL BUILDING ON STEEL DECK AND FRAMING PER STRUCTURAL. PROVIDE 24 GA. METAL SOFFIT PANELS AT UNDERSIDE OF FRAMING.
11. INTERIOR PARTITION: FRAMING AND GWB PER FLOOR PLAN DRAWINGS.
12. STAIR: STAIR AND LANDINGS PER STRUCTURAL DRAWINGS. REFER TO DET. 8/DWG. A5.3.
13. GUARDWALL: 3'-6" HIGH GUARDRAIL PER DET. 6/DWG. A5.3.
14. HANDRAIL: 1 1/2" MAX. O.D. STEEL PIPE HANDRAIL PER DET. 5/ A5.3. HANDRAIL TO BE MOUNTED 3'-0" ABOVE ADJACENT GRADE OR STAIR NOSING. EXTEND HANDRAILS 12" BEYOND THE LAST RISER AT THE TOP AND BOTTOM OF EACH STAIR.
15. FOOTING DRAIN: 4" MINIMUM DIA. PERFORATED PVC PIPE SURROUNDED WITH FREE DRAINING GRAVEL BACKFILL WRAPPED IN FILTER FABRIC. ROUTE DRAINS TO NEAREST CATCH BASIN.
16. PERIMETER INSULATION: R-10 MIN. RIGID INSULATION BOARD. EXTEND 2'-0" MINIMUM INTO INTERIOR OF BUILDING.
17. OVERHEAD DOOR: PER DOOR SCHEDULE DWG. A5.1
18. FURRED WALL: PER FLOOR PLAN DWG. A2.1
19. CMU WALL: PER FLOOR PLAN DWG. A2.1
20. FRAMED CEILING.
21. SKYLIGHT.
22. TRENCH DRAIN: 3' WIDE X 3' DEEP BY 20' LONG TRENCH DRAIN WITH WEEPS AND MUD PIT. POURED IN PLACE CONCRETE REINFORCED W/ #5 REBAR AT 12 O.C. EACH WAY AND A CONTINUOUS WATER STOP GASKET AROUND PIT WALL WITH A CONTINUOUS GALVANIZED 3X3X1/4 STEEL ANGLE EDGE RETAINERS FOR PIT PLATE COVER SEATING, SET 5/8" BELOW THE ADJACENT CONCRETE EDGE. INTEGRATED PVC DRAIN LINE TO GREASE TRAP. REINFORCED PRCASST CONCRETE TRENCH AS AN ALTERNATE TO THE POURED IN PLACE CONCRETE TRENCH.
23. METAL DOOR: PER DOOR SCHEDULE DWG. A5.1

Date:	T. JUNE '2022 PRELIMINARY
	18 JULY '23 LANDUSE/ CUP SUBMITTAL
	02 APR '24 CUP RE-SUBMITTAL
For:	

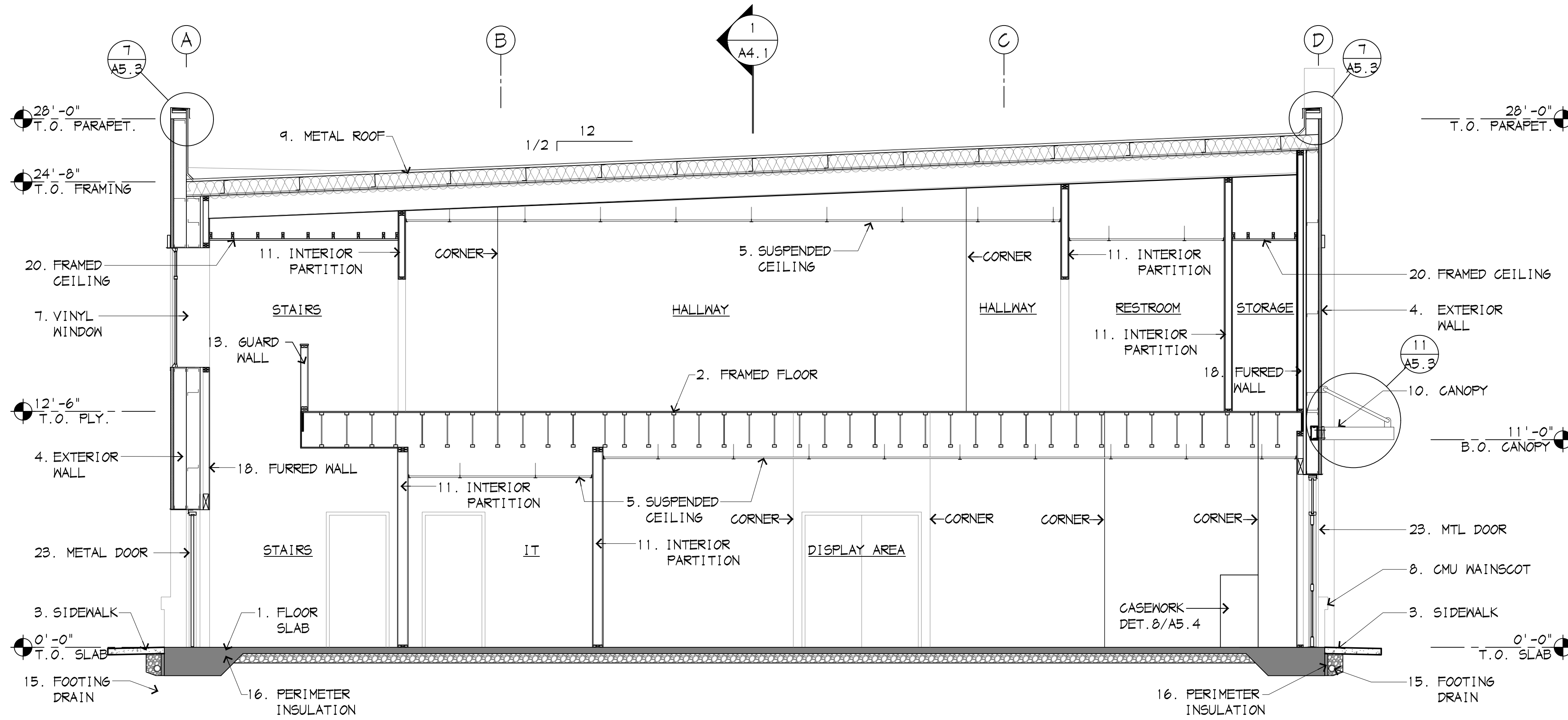


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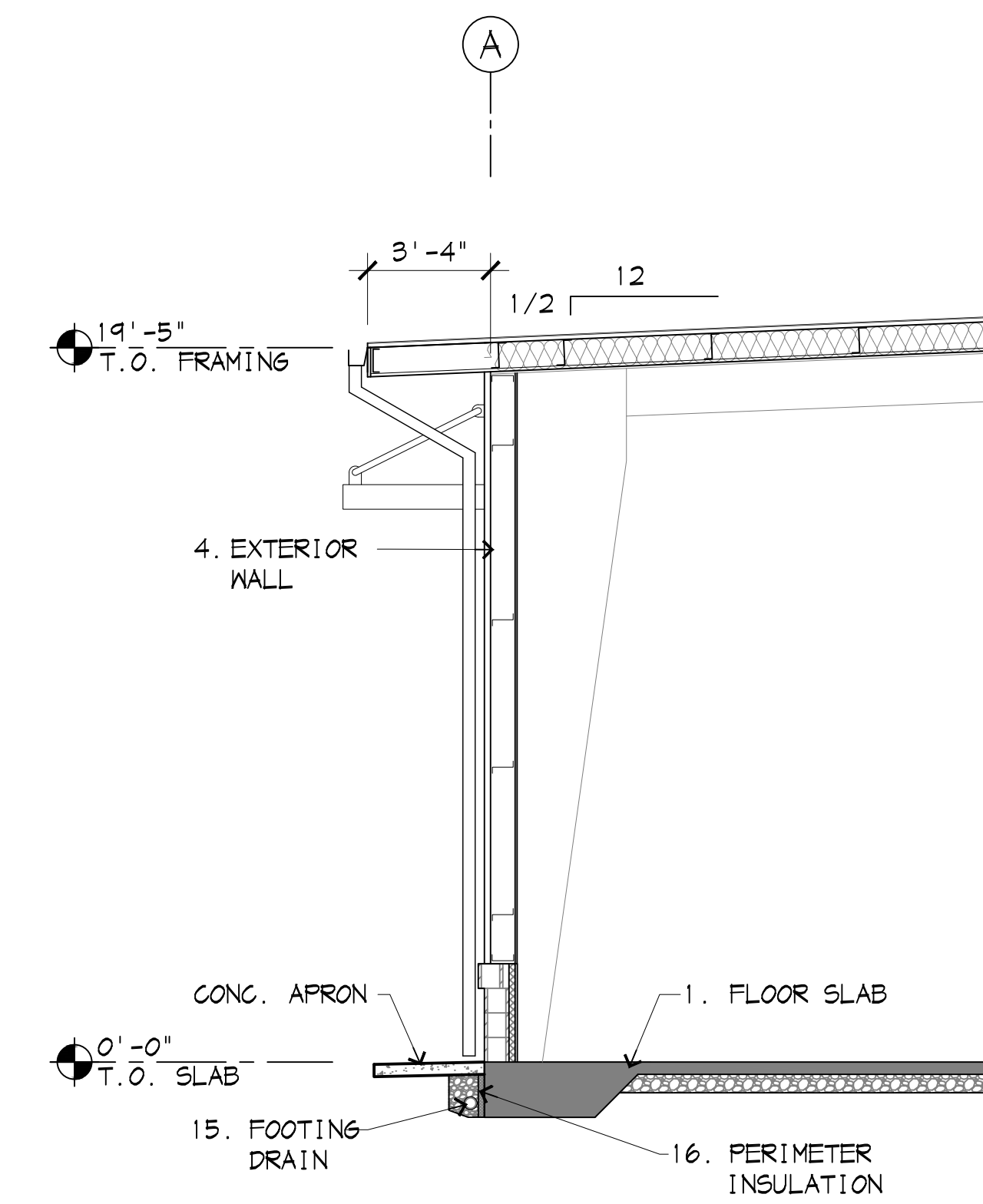


A New Equipment Rental Facility for:
PILCHUCK RENTALS - SMOKEY POINT
3304 156TH ST NE
MARYSVILLE, WASHINGTON 98271
PA23-018
BUILDING SECTIONS

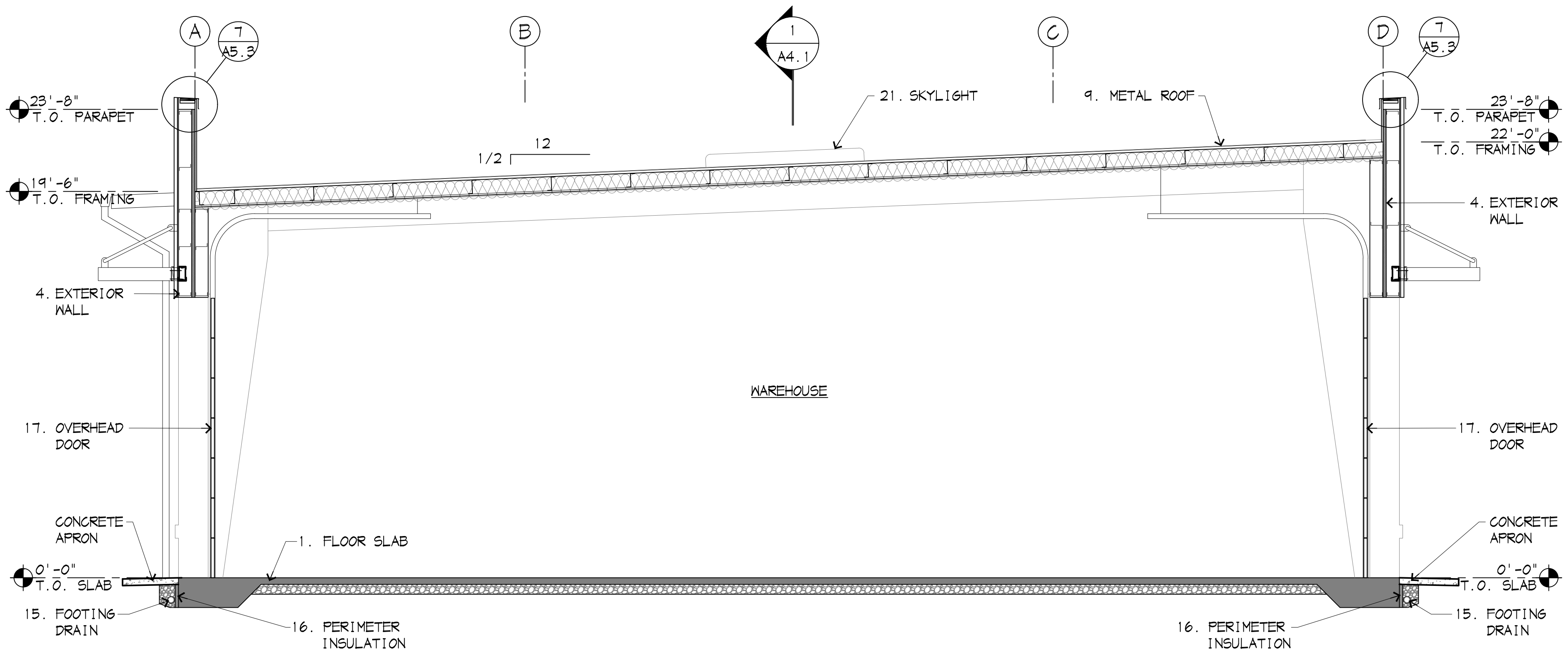
Drawing:	A4.1
Job Number:	21c-4287



1 BUILDING SECTION
SCALE: 1/4" = 1'-0"



2 WALL SECTION
SCALE: 1/4" = 1'-0"



3 BUILDING SECTION
SCALE: 1/4" = 1'-0"

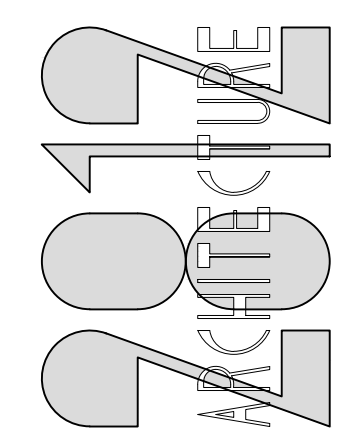
SECTION NOTES

1. FLOOR SLAB: CONCRETE SLAB AND REINFORCING PER STRUCTURAL ON 6" GRAVEL BASE ON 6 MIL. VAPOR BARRIER.
2. FRAMED FLOOR: DECK AND FRAMING PER STRUCTURAL. PROVIDE SOUND BATT INSULATION IN JOIST CAVITIES.
3. SIDEWALK: 4" CONCRETE SLAB ON 2" THICK COURSE SAND BED. BROOM FINISH. PROVIDE EXPANSION JOINTS AND CONTROL JOINTS AS REQUIRED.
4. EXTERIOR WALL: METAL SIDING PANELS ON CONTINUOUS R-19 RIGID INSULATION AND VAPOR BARRIER OVER FRAMING PER METAL BUILDING MANUFACTURER.
5. SUSPENDED CEILING: 2' X 4' SUSPENDED ACOUSTICAL CEILING. SEE FINISH SCHEDULE DWG. A5.1 AND DET. 1/DWG. A2.3.
6. STOREFRONT: STOREFRONT FRAMING WITH 1" INSULATED GLASS OR 1" INSULATED SAFETY GLASS. SEE EXTERIOR ELEVATIONS AND WINDOW LOUVER AND RELIGHT TYPES SEE DWG. A3.1, A3.2, A5.2.
7. VINYL WINDOW: VINYL WINDOW WITH 1" INSULATED GLASS. SEE EXTERIOR ELEVATIONS AND WINDOW LOUVER AND RELIGHT TYPES SEE DWG. A3.1, A3.2, A5.2.
8. CMU MAINSCOT:
9. METAL ROOF: METAL ROOFING AND FRAMING WITH R-25 + R-11 LINEAR INSULATION SYSTEM AND VAPOR BARRIER OVER FRAMING PER METAL BUILDING MANUFACTURER.
10. CANOPY: METAL ROOFING TO MATCH METAL BUILDING ON STEEL DECK AND FRAMING PER STRUCTURAL. PROVIDE 24 GA. METAL SOFFIT PANELS AT UNDERSIDE OF FRAMING.
11. INTERIOR PARTITION: FRAMING AND GWB PER FLOOR PLAN DRAWINGS.
12. STAIR: STAIR AND LANDINGS PER STRUCTURAL DRAWINGS. REFER TO DET. 8/DWG. A5.3.
13. GUARDWALL: 3'-6" HIGH GUARDRAIL PER DET. 6/DWG. A5.3.
14. HANDRAIL: 1 1/2" MAX. O.D. STEEL PIPE HANDRAIL PER DET. 5/ A5.3. HANDRAIL TO BE MOUNTED 3'-0" ABOVE ADJACENT GRADE OR STAIR NOSING. EXTEND HANDRAILS 12" BEYOND THE LAST RISER AT THE TOP AND BOTTOM OF EACH STAIR.
15. FOOTING DRAIN: 4" MINIMUM DIA. PERFERATED PVC PIPE SURROUNDED WITH FREE DRAINING GRAVEL BACKFILL WRAPPED IN FILTER FABRIC. ROUTE DRAINS TO NEAREST CATCH BASIN.
16. PERIMETER INSULATION: R-10 MIN. RIGID INSULATION BOARD. EXTEND 2'-0" MINIMUM INTO INTERIOR OF BUILDING.
17. OVERHEAD DOOR: PER DOOR SCHEDULE DWG. A5.1
18. FURRED WALL: PER FLOOR PLAN DWG. A2.1
19. CMU WALL: PER FLOOR PLAN DWG. A2.1
20. FRAMED CEILING.
21. SKYLIGHT.
22. TRENCH DRAIN: 3' WIDE X 3' DEEP BY 28' LONG TRENCH DRAIN WITH KEEPS AND MUD PIT. POURED IN PLACE CONCRETE REINFORCED W/ #5 REBAR AT 12 O.C. EACH WAY AND A CONTINUOUS WATER STOP GASKET AROUND PIT WALL WITH A CONTINUOUS GALVANIZED 3X3X1/4 STEEL ANGLE EDGE RETAINERS FOR PIT PLATE COVER SEATING, SET 5/8" BELOW THE ADJACENT CONCRETE EDGE. INTEGRATED PVC DRAIN LINE TO GREASE TRAP. REINFORCED PRECAST CONCRETE TRENCH AS AN ALTERNATE TO THE POURED IN PLACE CONCRETE TRENCH.
23. METAL DOOR: PER DOOR SCHEDULE DWG. A5.1

Date:	T. JUNE 2023 PRELIMINARY
For:	18 JULY '23 LANDUSE/ CUP SUBMITTAL
	02 APR '24 CUP RE-SUBMITTAL

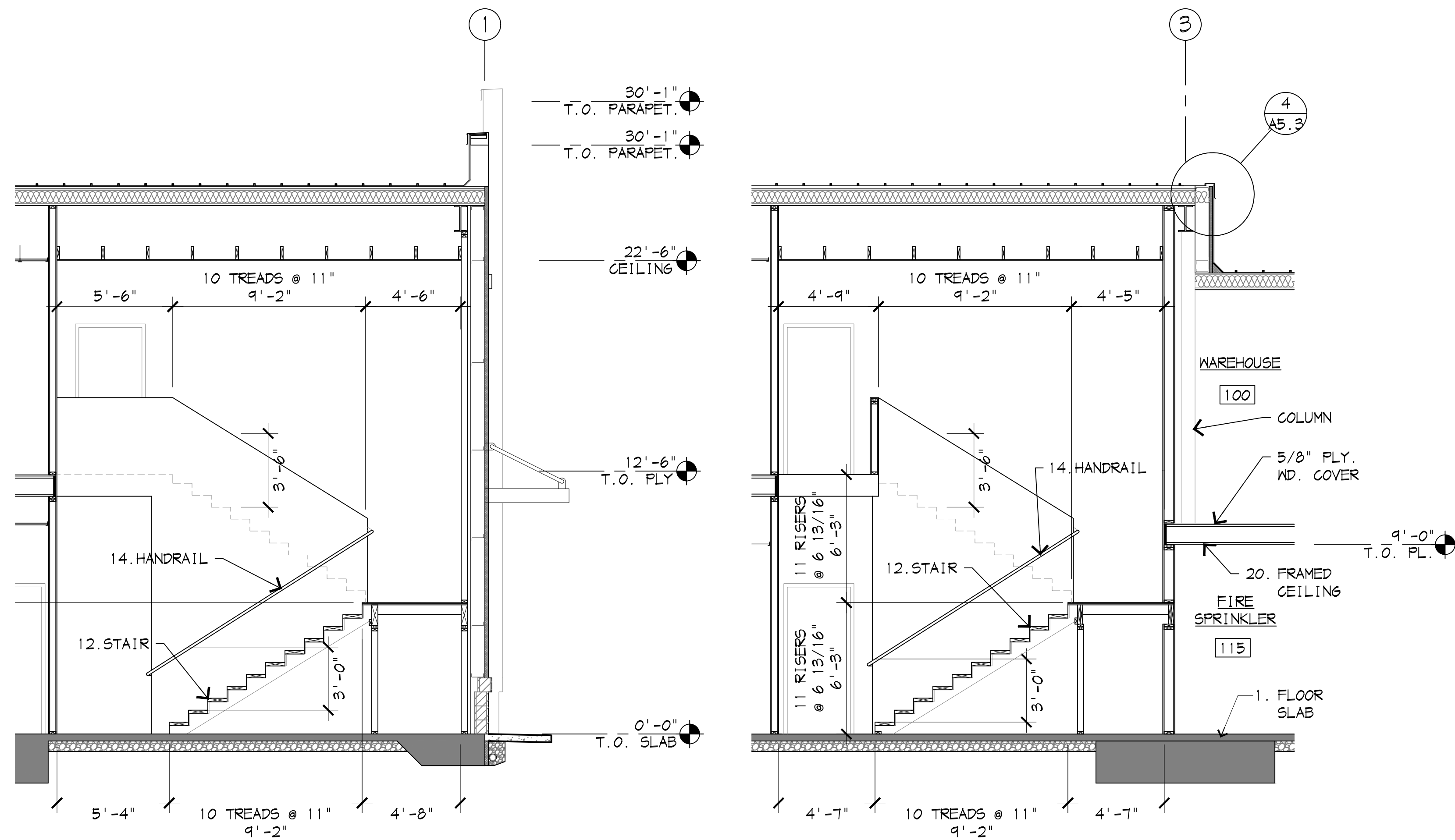


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A New Equipment Rental Facility for:
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MARYSVILLE, WASHINGTON 98271
PA23-018

Drawing:	A4.2
Job Number:	21c-4287



1 STAIR SECTION 101 201
SCALE: 1/4" = 1'-0"

2 STAIR SECTION 106 210
SCALE: 1/4" = 1'-0"

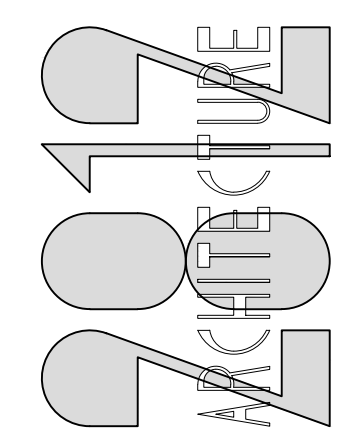
SECTION NOTES

1. FLOOR SLAB: CONCRETE SLAB AND REINFORCING PER STRUCTURAL ON 6" GRAVEL BASE ON 6 MIL. VAPOR BARRIER.
2. FRAMED FLOOR: DECK AND FRAMING PER STRUCTURAL. PROVIDE SOUND BATT INSULATION IN JOIST CAVITIES.
3. SIDEWALK: 4" CONCRETE SLAB ON 2" THICK COURSE SAND BED. BROOM FINISH. PROVIDE EXPANSION JOINTS AND CONTROL JOINTS AS REQUIRED.
4. EXTERIOR WALL: METAL SIDING PANELS ON CONTINUOUS R-19 RIGID INSULATION AND VAPOR BARRIER OVER FRAMING PER METAL BUILDING MANUFACTURER.
5. SUSPENDED CEILING: 2' X 4' SUSPENDED ACOUSTICAL CEILING. SEE FINISH SCHEDULE DWG. A5.1 AND DET. 1/DWG. A2.3.
6. STOREFRONT: STOREFRONT FRAMING WITH 1" INSULATED GLASS OR 1" INSULATED SAFETY GLASS. SEE EXTERIOR ELEVATIONS AND WINDOW LOUVER AND RELIGHT TYPES SEE DWG. A3.1, A3.2, A5.2.
7. VINYL WINDOW: VINYL WINDOW WITH 1" INSULATED GLASS. SEE EXTERIOR ELEVATIONS AND WINDOW LOUVER AND RELIGHT TYPES SEE DWG. A3.1, A3.2, A5.2.
8. GUM WAINSCOT:
9. METAL ROOF: METAL ROOFING AND FRAMING WITH R-25 + R-11 LINEAR INSULATION SYSTEM AND VAPOR BARRIER OVER FRAMING PER METAL BUILDING MANUFACTURER.
10. CANOPY: METAL ROOFING TO MATCH METAL BUILDING ON STEEL DECK AND FRAMING PER STRUCTURAL. PROVIDE 24 GA. METAL SOFFIT PANELS AT UNDERSIDE OF FRAMING.
11. INTERIOR PARTITION: FRAMING AND GWB PER FLOOR PLAN DRAWINGS.
12. STAIR: STAIR AND LANDINGS PER STRUCTURAL DRAWINGS. REFER TO DET. 8/DWG. A5.3
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16. PERIMETER INSULATION: R-10 MIN. RIGID INSULATION BOARD. EXTEND 2'-0" MINIMUM INTO INTERIOR OF BUILDING.
17. OVERHEAD DOOR: PER DOOR SCHEDULE DWG. A5.1
18. FURRED WALL: PER FLOOR PLAN DWG. A2.1
19. GUM WALL: PER FLOOR PLAN DWG. A2.1
20. FRAMED CEILING.
21. SKYLIGHT.
22. TRENCH DRAIN: 3' WIDE X 3' DEEP BY 28' LONG TRENCH DRAIN WITH WEEPS AND MUD PIT. POURED IN PLACE CONCRETE REINFORCED W/ #5 REBAR AT 12 O.C. EACH WAY AND A CONTINUOUS WATER STOP GASKET AROUND PIT WALL WITH A CONTINUOUS GALVANIZED 3X3X1/4 STEEL ANGLE EDGE RETAINERS FOR PIT PLATE COVER BEATING, SET 5/8" BELOW THE ADJACENT CONCRETE EDGE. INTEGRATED PVC DRAIN LINE TO GREASE TRAP. REINFORCED PREGCAST CONCRETE TRENCH AS AN ALTERNATE TO THE POURED IN PLACE CONCRETE TRENCH.
23. METAL DOOR: PER DOOR SCHEDULE DWG. A5.1

Date:	T. JUNE 2022	PRELIMINARY
For:	18 JULY '23	LANDUSE/ CUP SUBMITTAL
	02 APR '24	CUP RE-SUBMITTAL

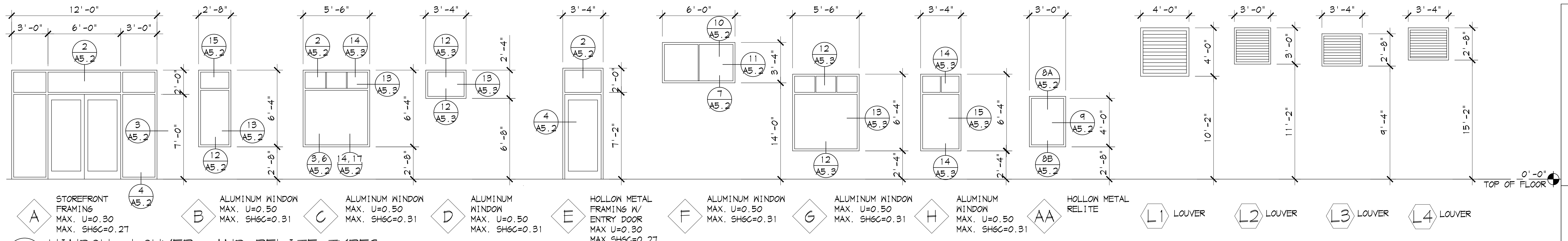


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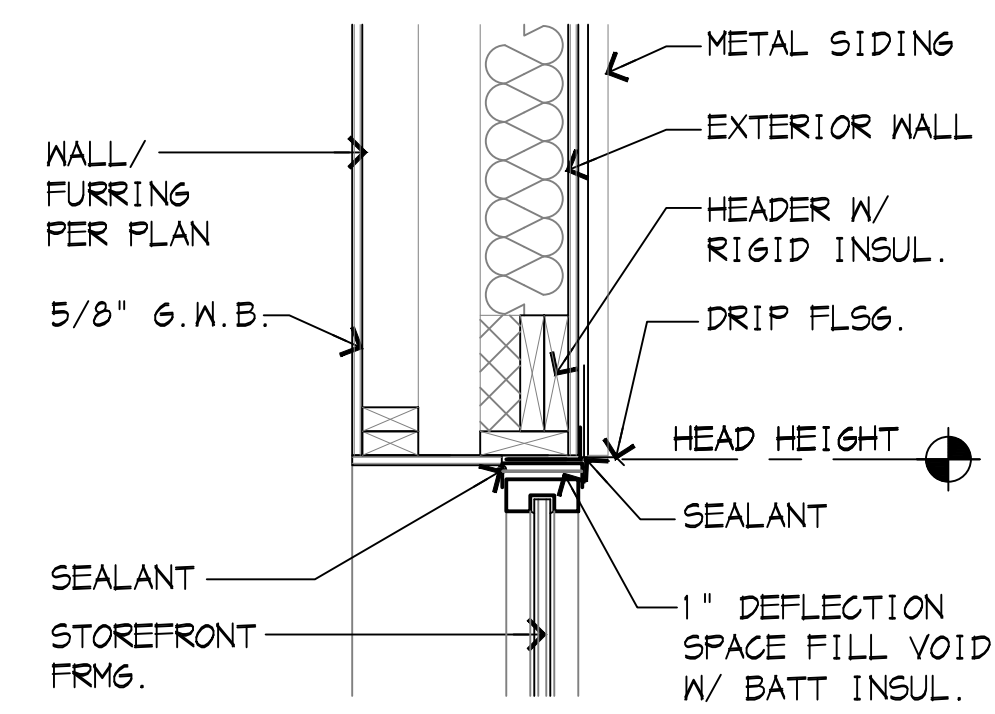


A New Equipment Rental Facility for:
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3304 156TH ST NE
MARYSVILLE, WASHINGTON 98271
CONTRACT: PA23-018
STAIR SECTIONS

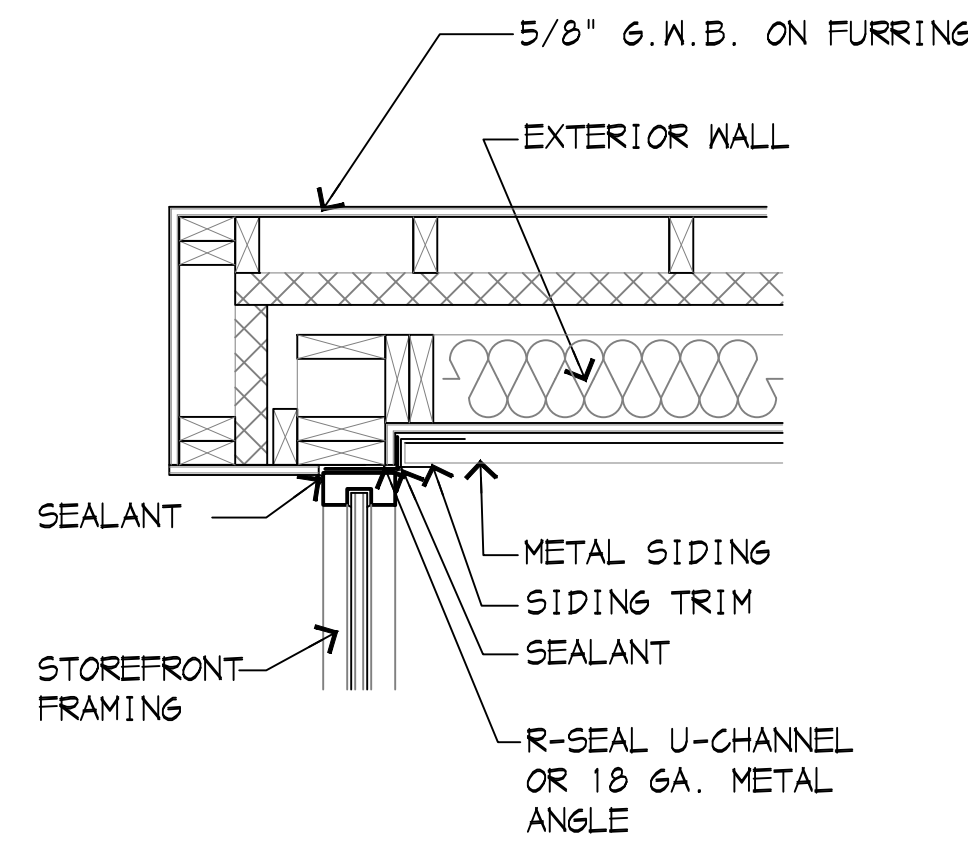
Drawing:	A4.3
Job Number:	21c-4287



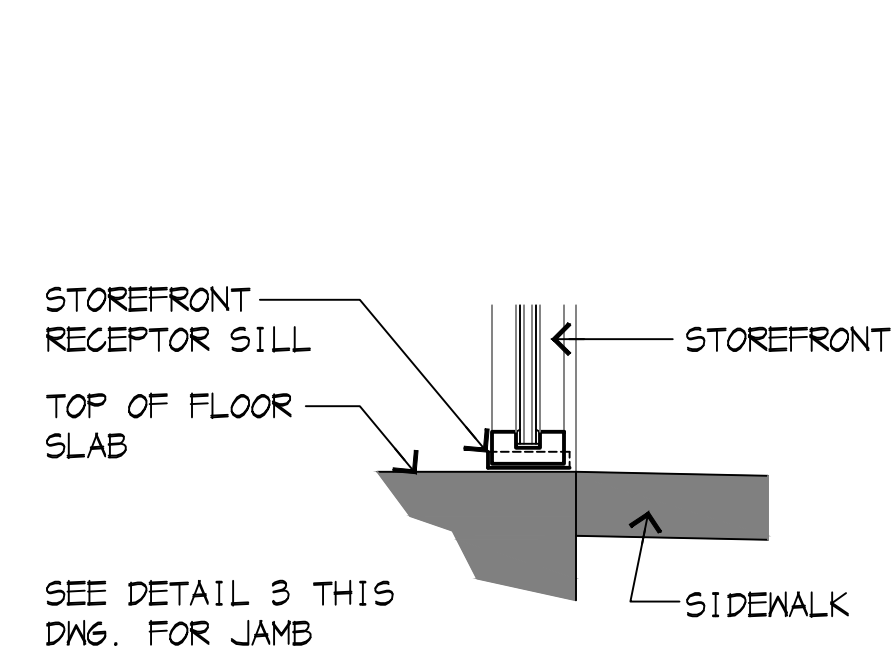
1 WINDOW, LOUVER, AND RELITE TYPES
1/4" = 1'-0"



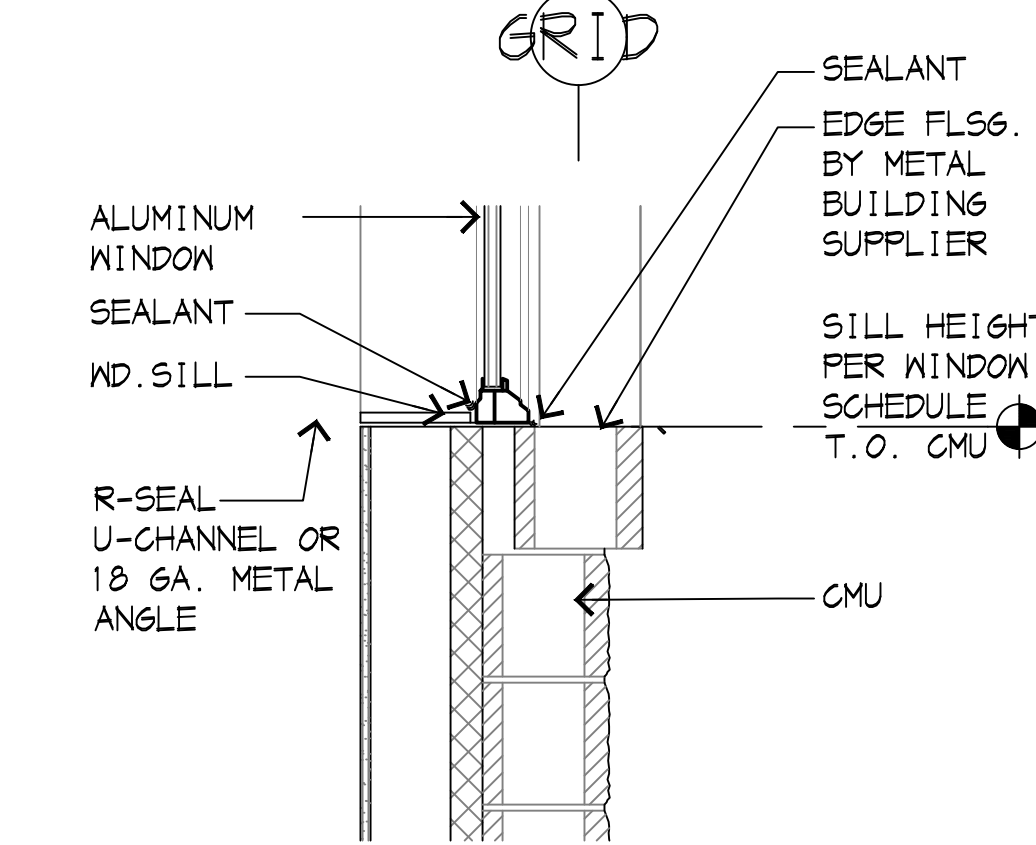
2 STOREFRONT HEAD
1" = 1'-0"



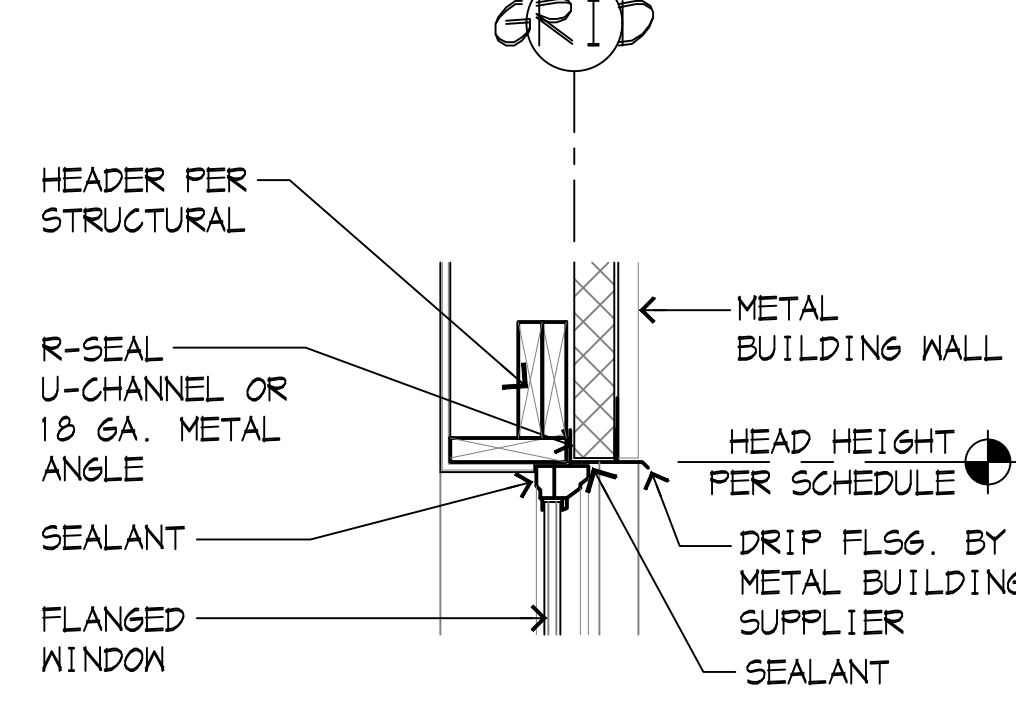
3 STOREFRONT JAMB
1" = 1'-0"



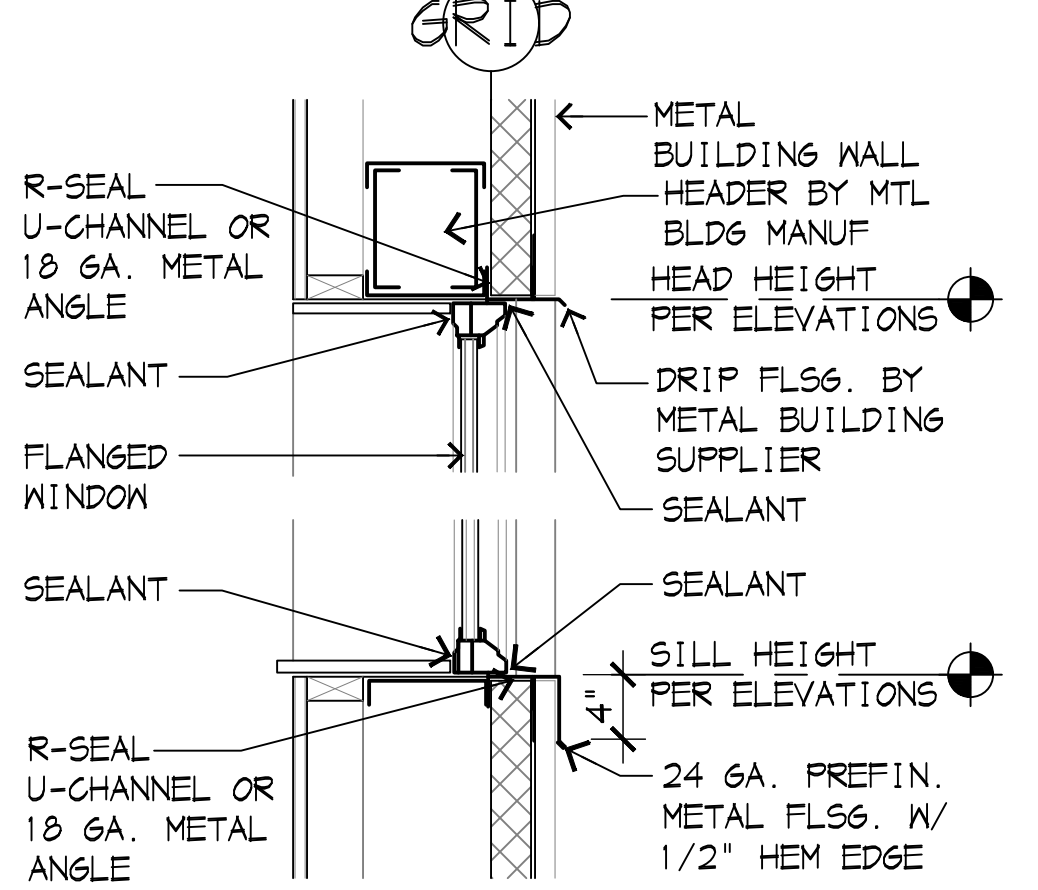
4 STOREFRONT SILL
1" = 1'-0"



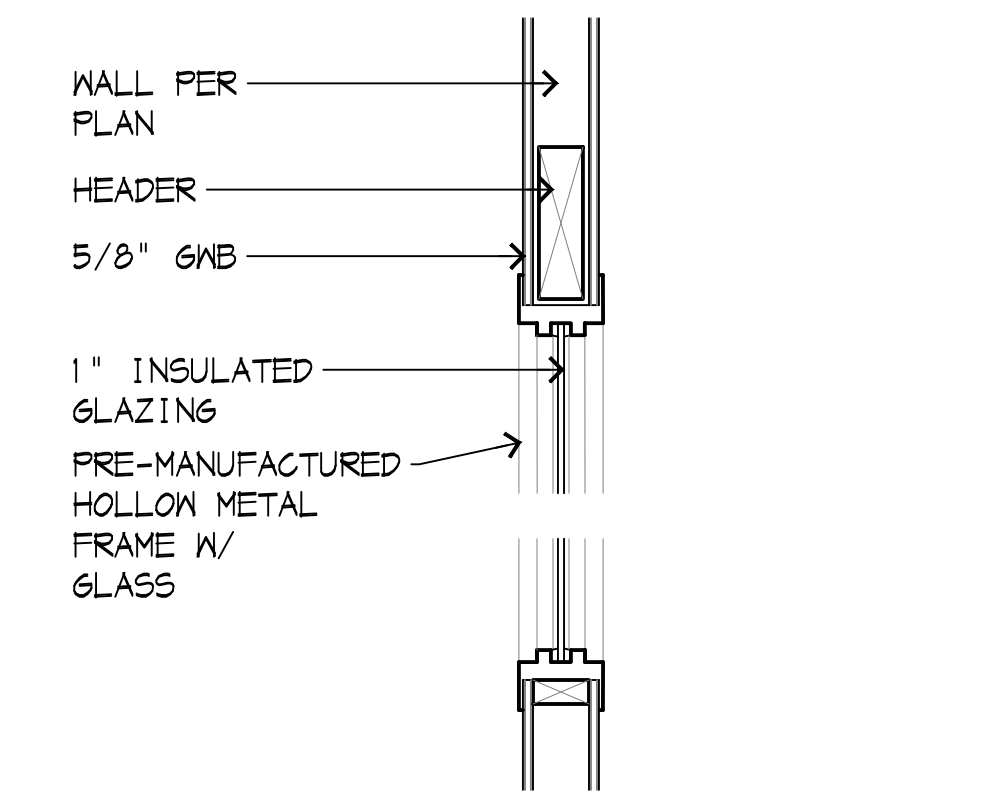
5 WINDOW SILL
1" = 1'-0"



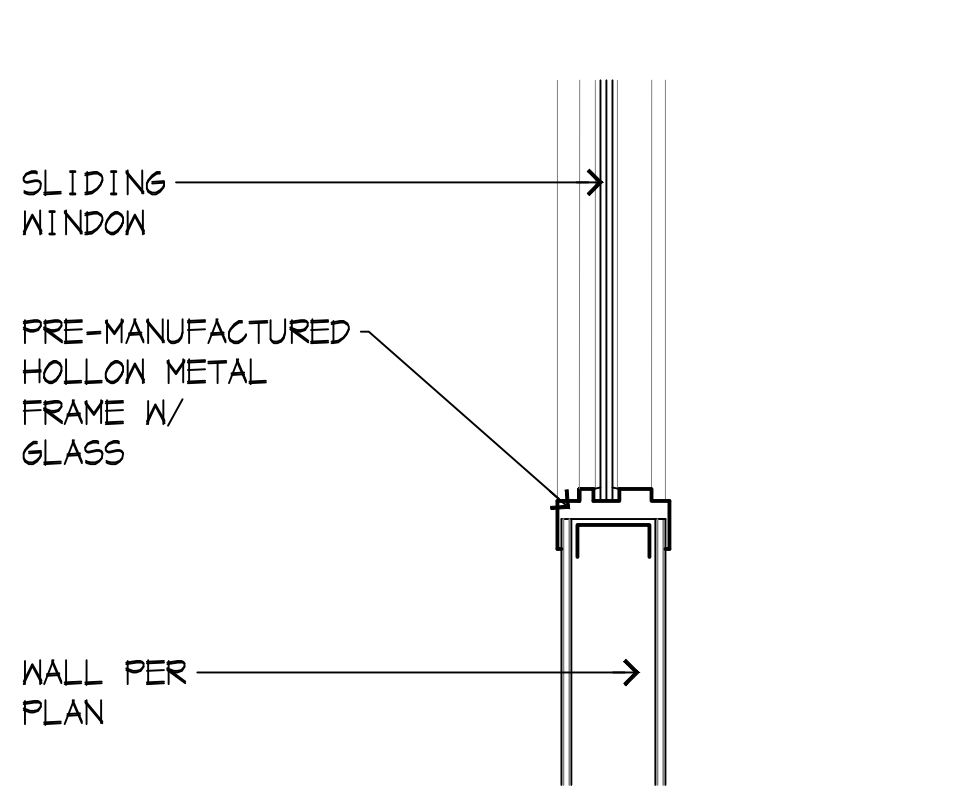
6 HEADER AT ALUM WINDOW
1" = 1'-0"



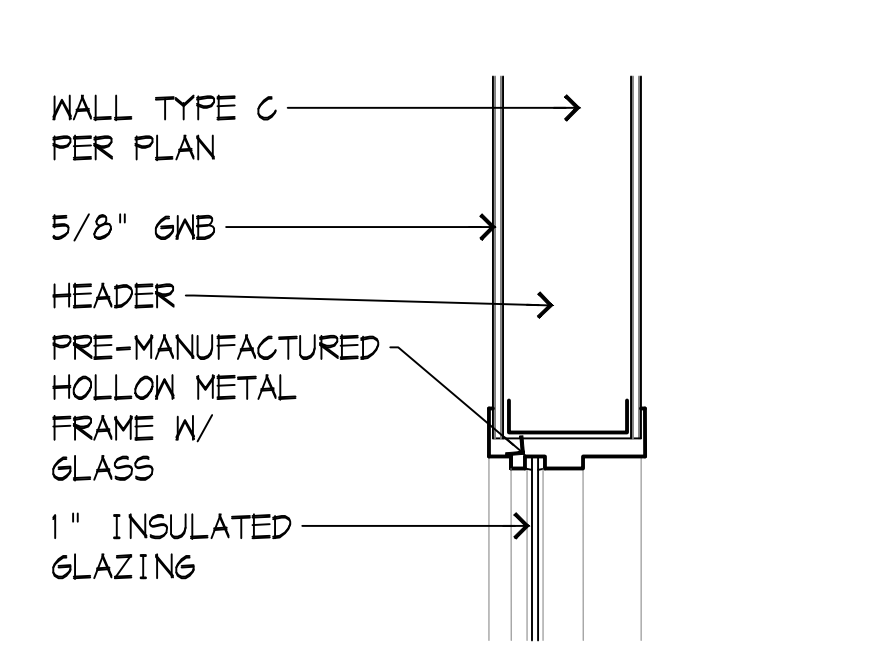
7 AL. WINDOW HEAD/ SILL
1" = 1'-0"



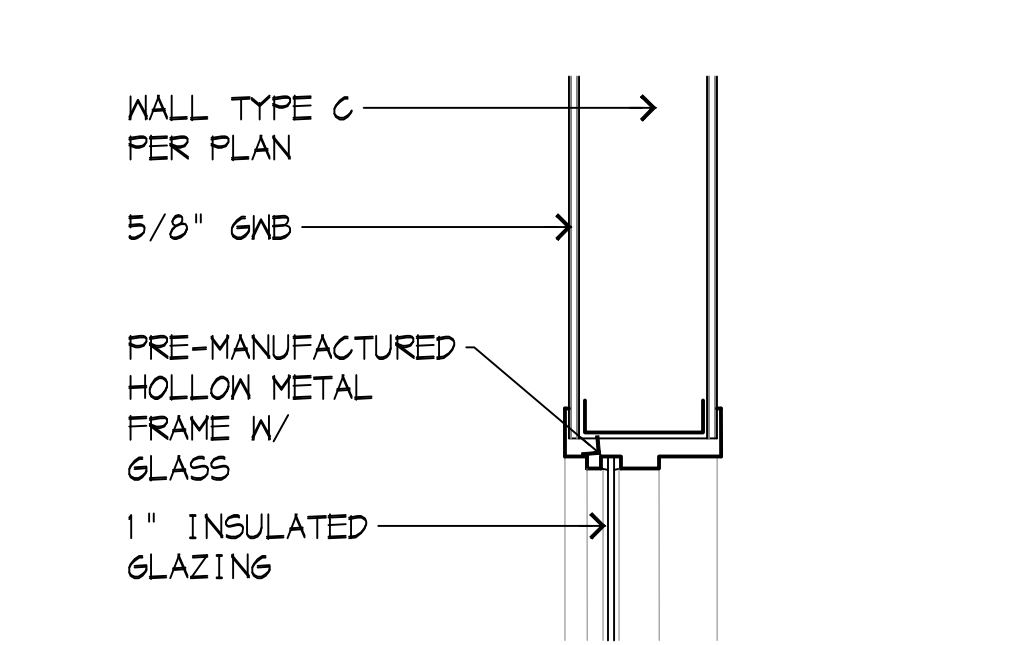
8 H.M. HEAD AND SILL R.
1" = 1'-0"



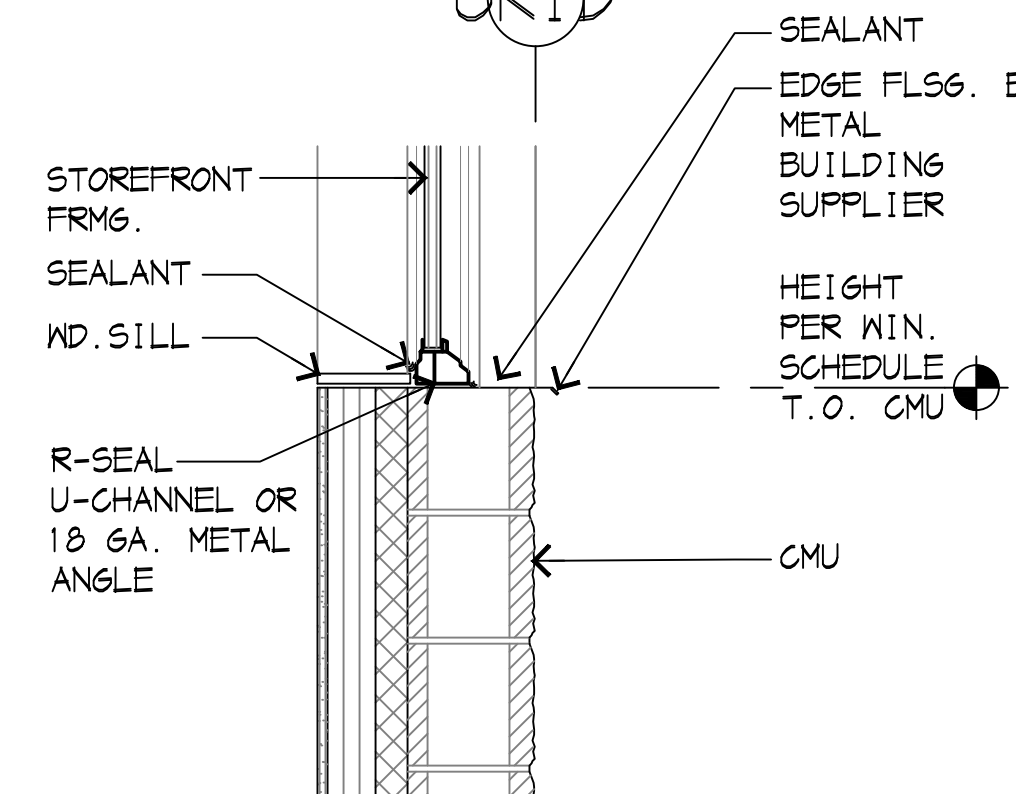
9 H.M. JAMB RELITE
1" = 1'-0"



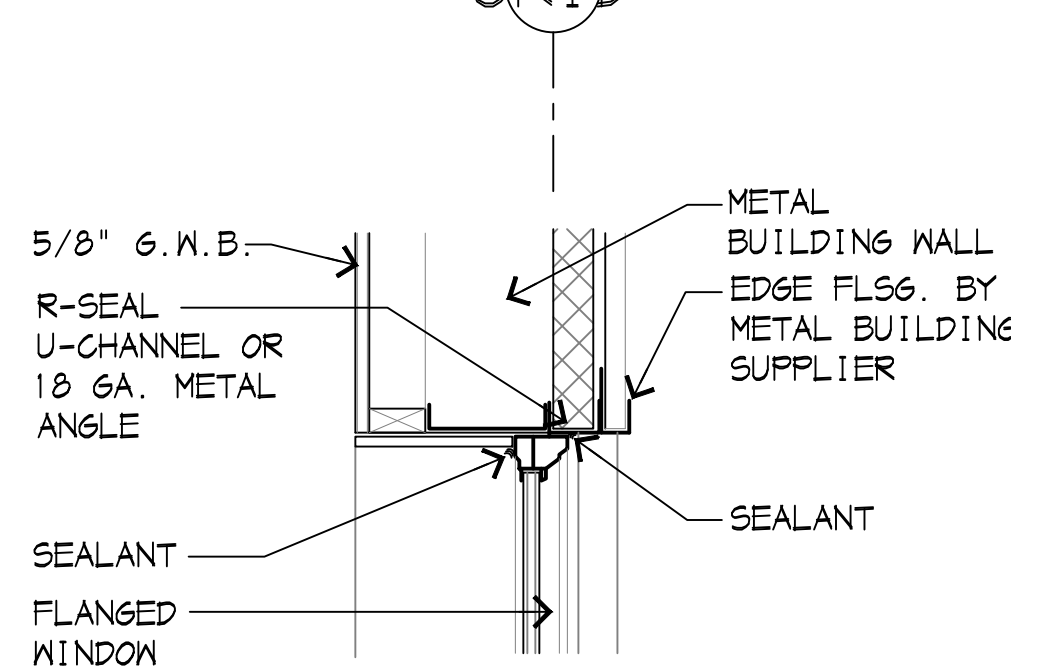
10 HOLLOW METAL HEAD
1" = 1'-0"



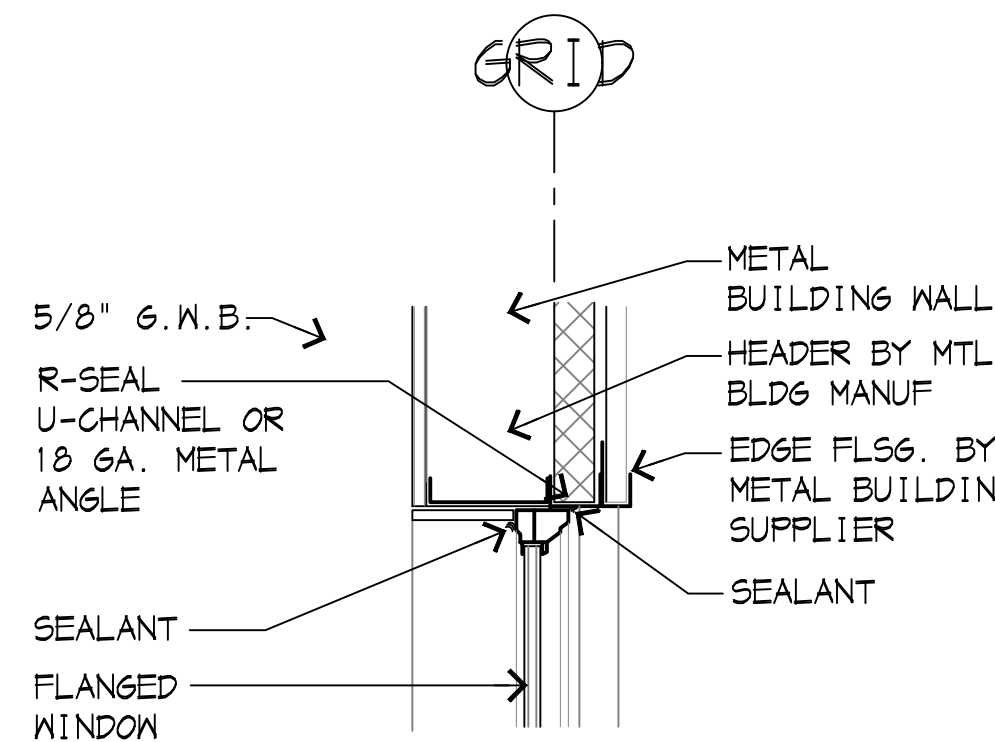
11 HOLLOW METAL JAMB
1" = 1'-0"



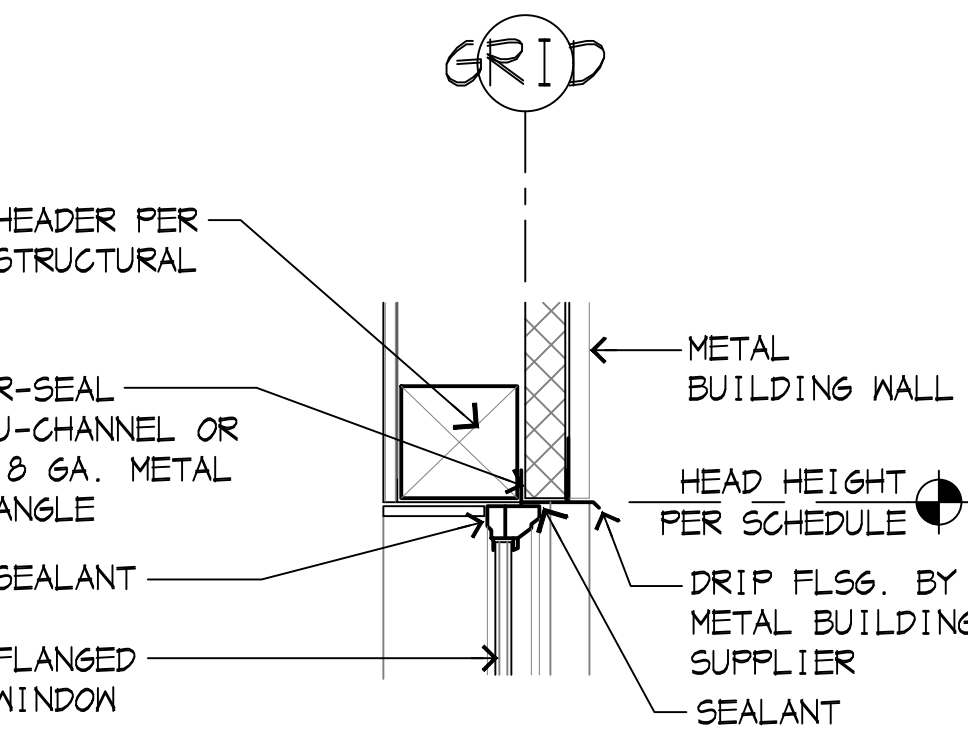
12 AL. SILL AT CMU WALL
1" = 1'-0"



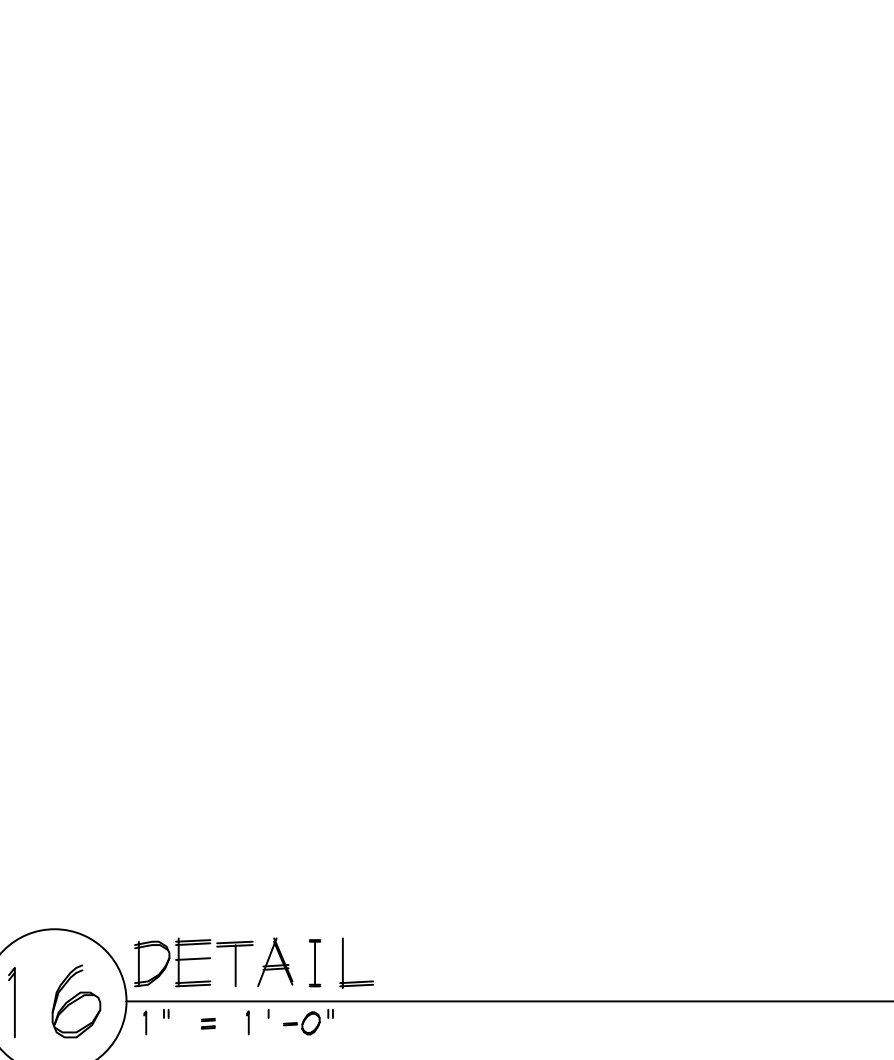
13 ALUMINUM WINDOW JAMB
1" = 1'-0"



14 JAMB AT ALUM. WINDOW
1" = 1'-0"



15 HEAD AT ALUM. WINDOW
1" = 1'-0"



16 DETAIL
1" = 1'-0"



17 DETAIL
1" = 1'-0"



18 DETAIL
1" = 1'-0"



19 DETAIL
1" = 1'-0"

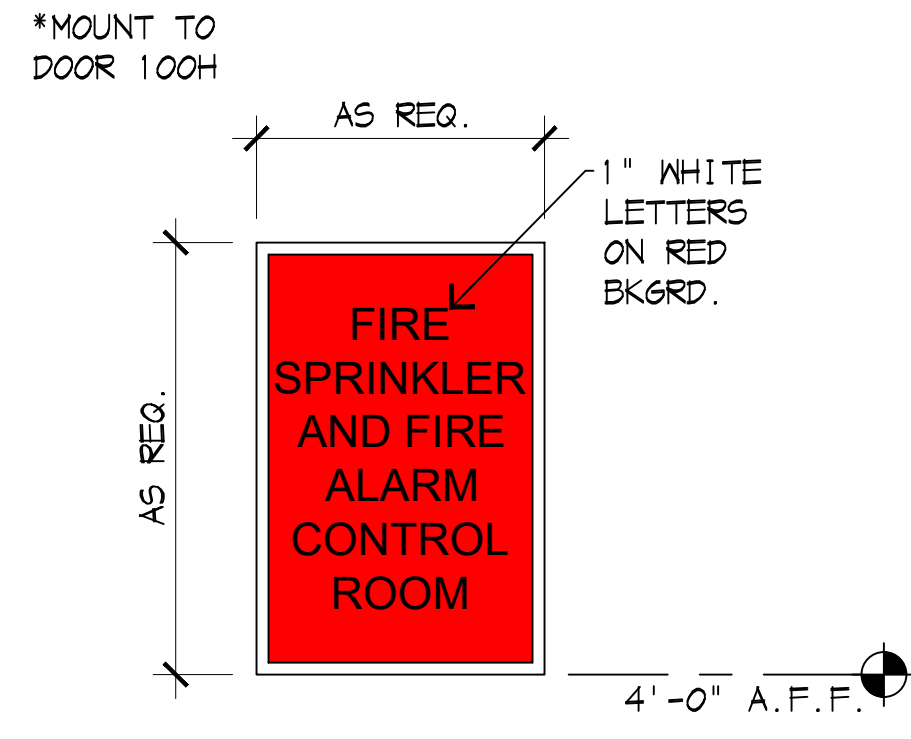
Date:	T. JUNE 2023
For:	PRELIMINARY
	LANDUSE/ CUP SUBMITTAL
	CUP RE-SUBMITTAL

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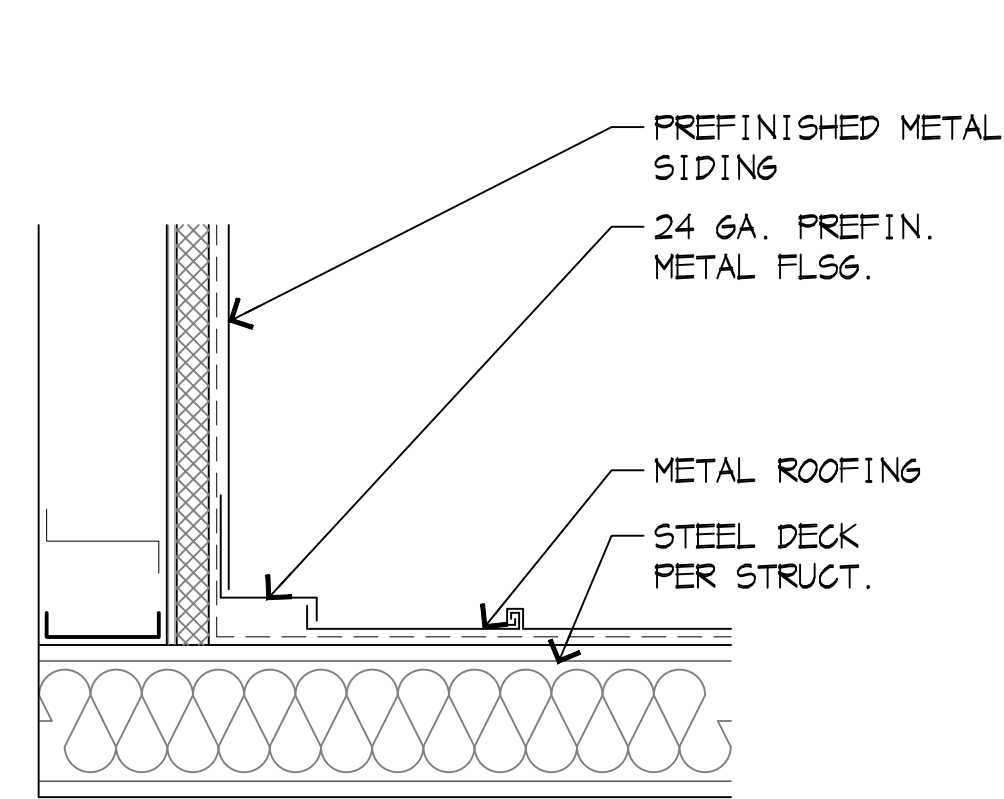
2017 ARCHITECTURE

A New Equipment Rental Facility for:
PILCHUCK RENTALS - SMOKEY POINT
3304 156TH ST NE
MARYSVILLE, WASHINGTON 98271
PA23-018

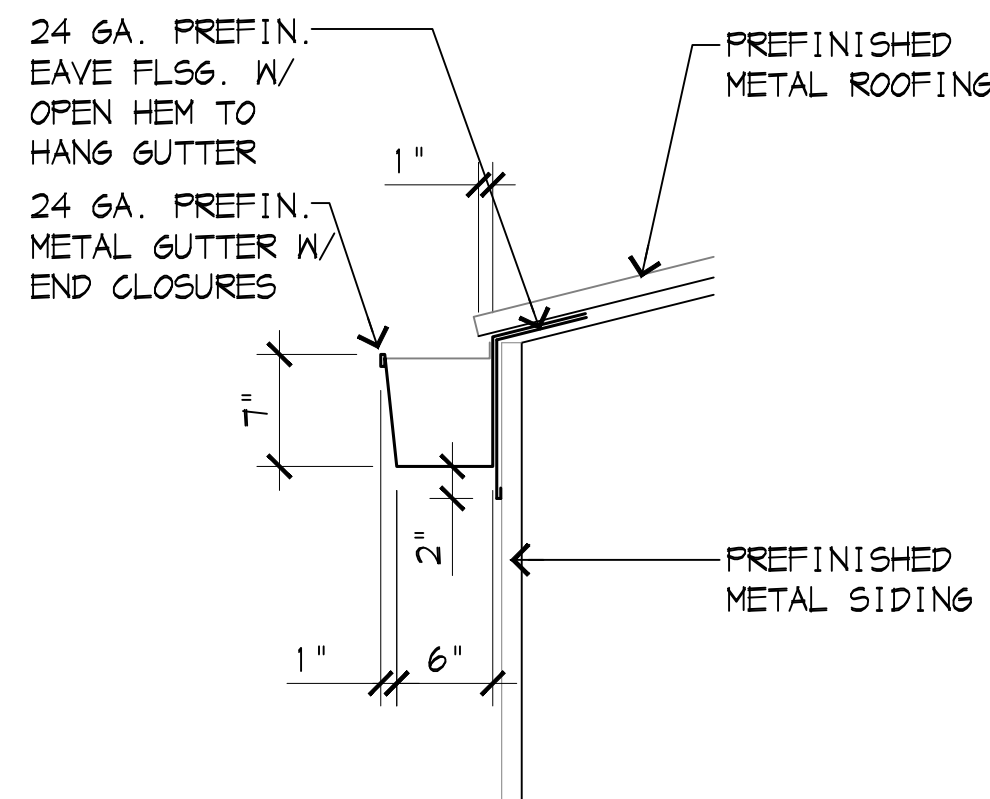
Drawing:
A5.2
Job Number:
21c-4287



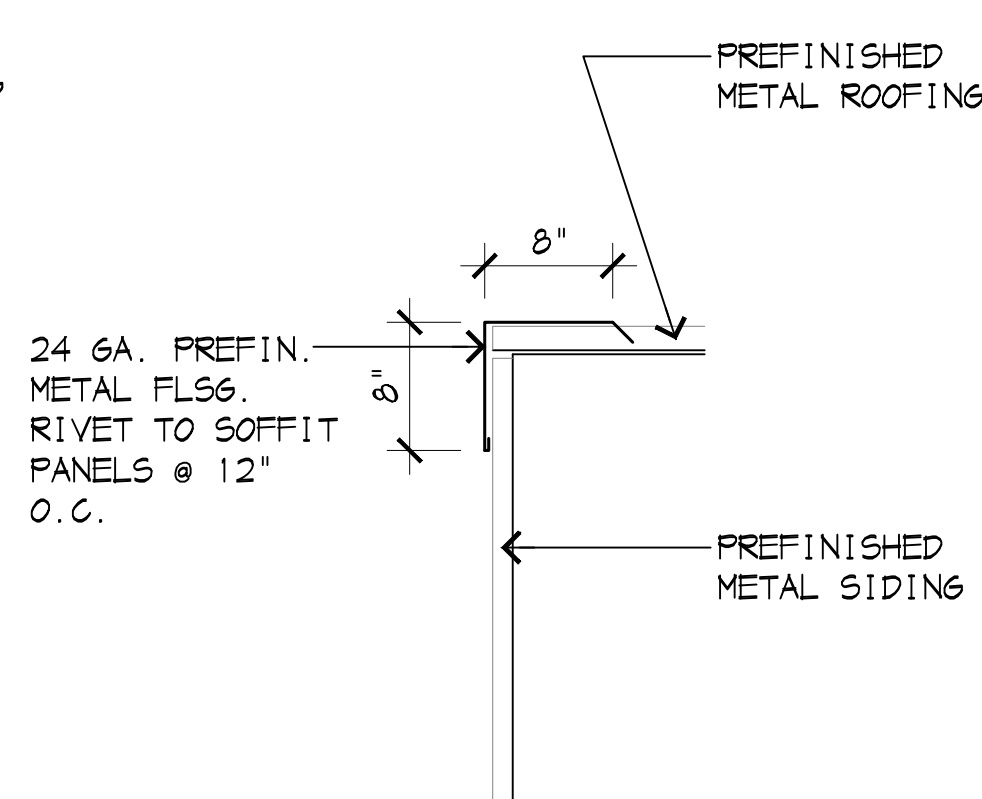
1 FIRE SPRINKLER SIGN
1" = 1'-0"



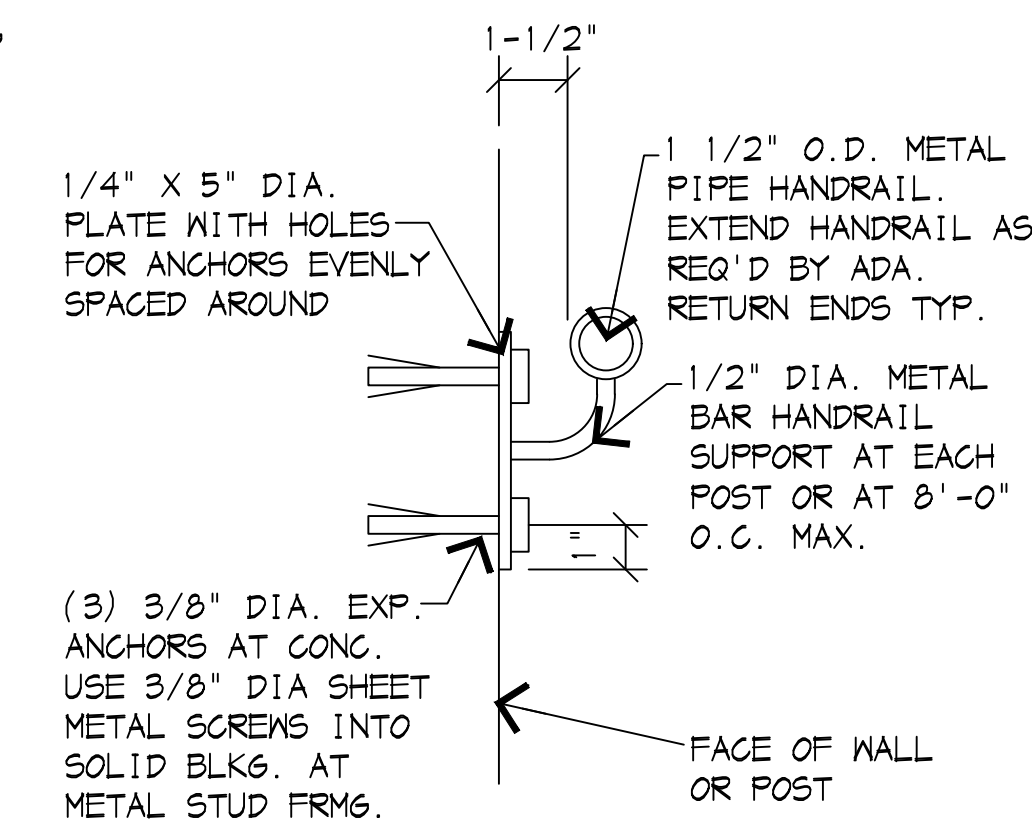
2 FLASHING AT WALL
1" = 1'-0"



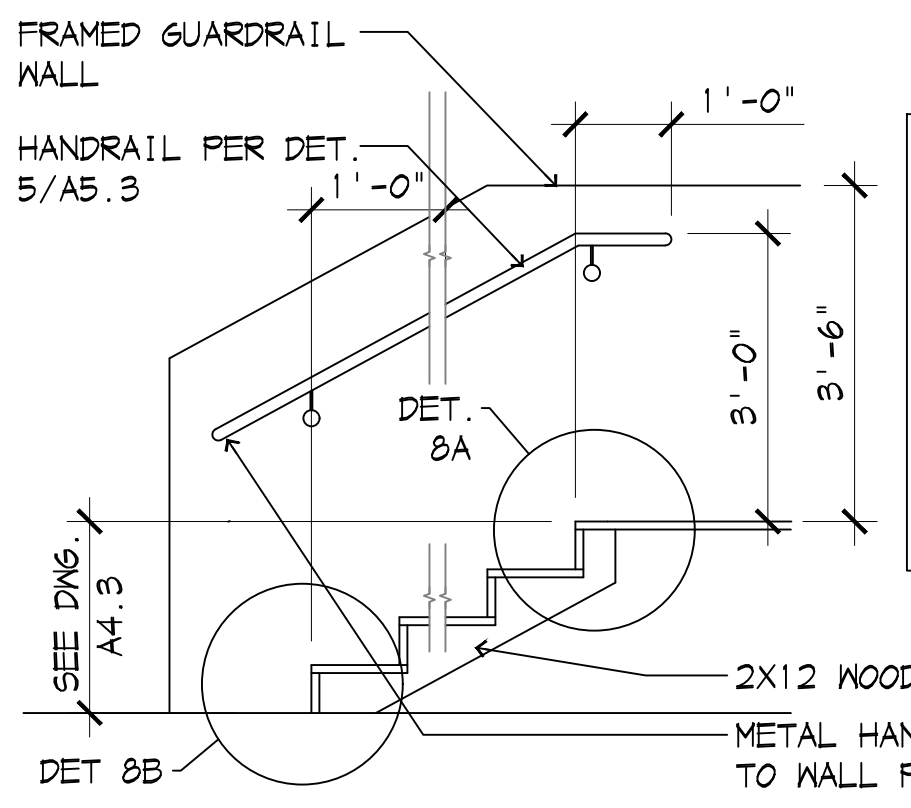
3 METAL BLDG. GUTTER
1" = 1'-0"



4 ROOF EDGE TRANSITION
1" = 1'-0"

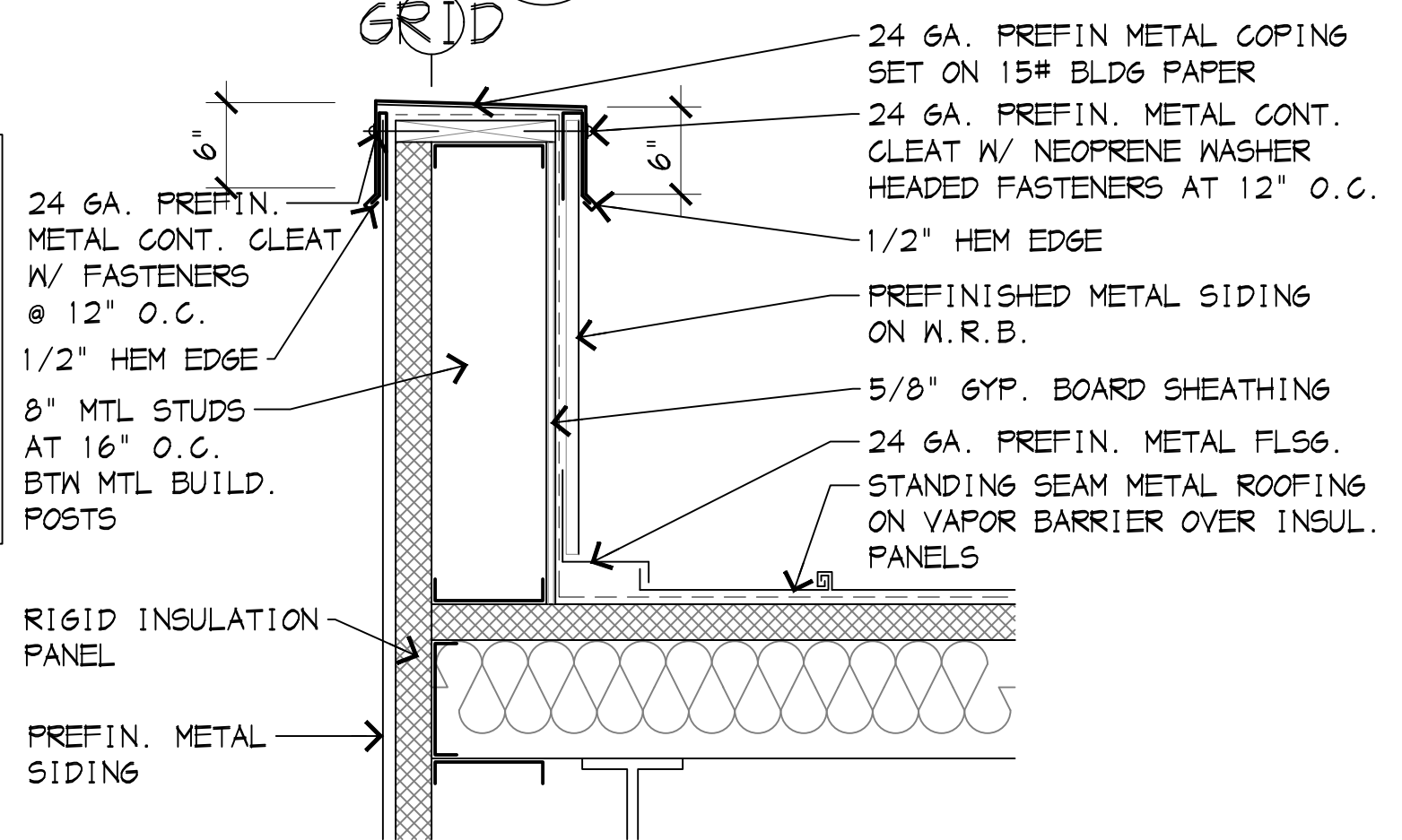


5 HANDRAIL AT WALL
3" = 1'-0"

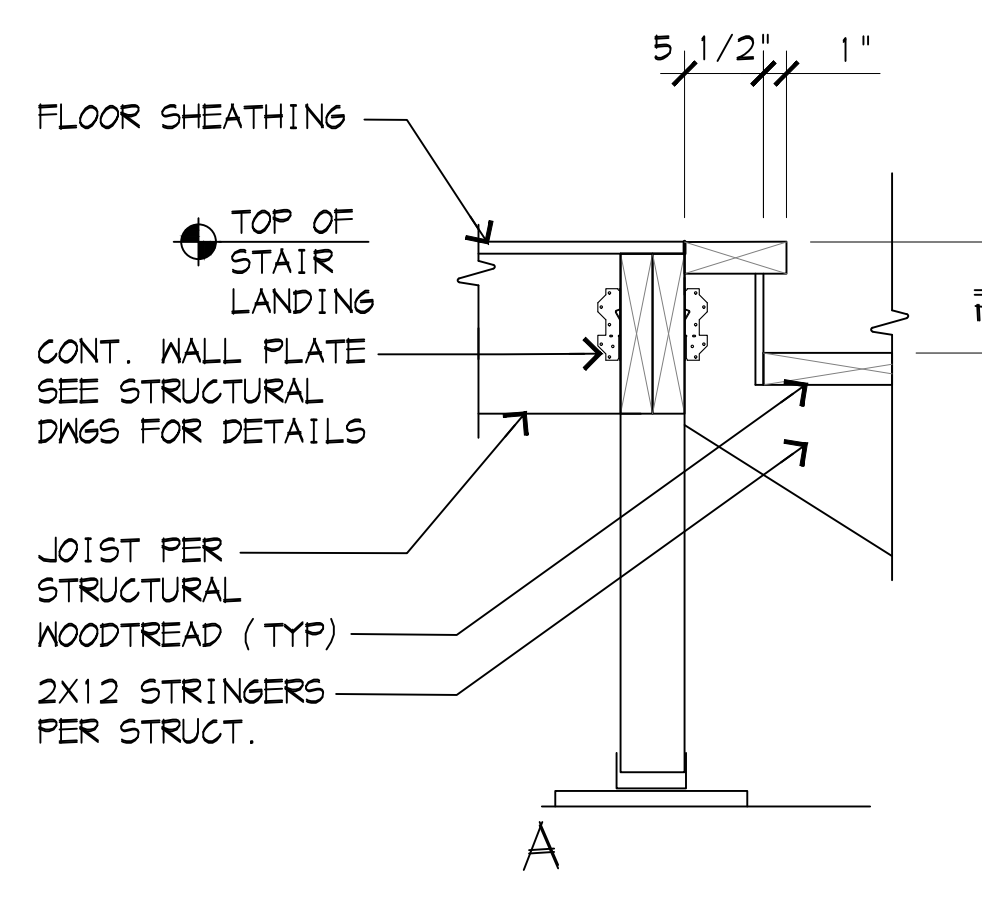


6 INT. STAIR RAILING
1/2" = 1'-0"

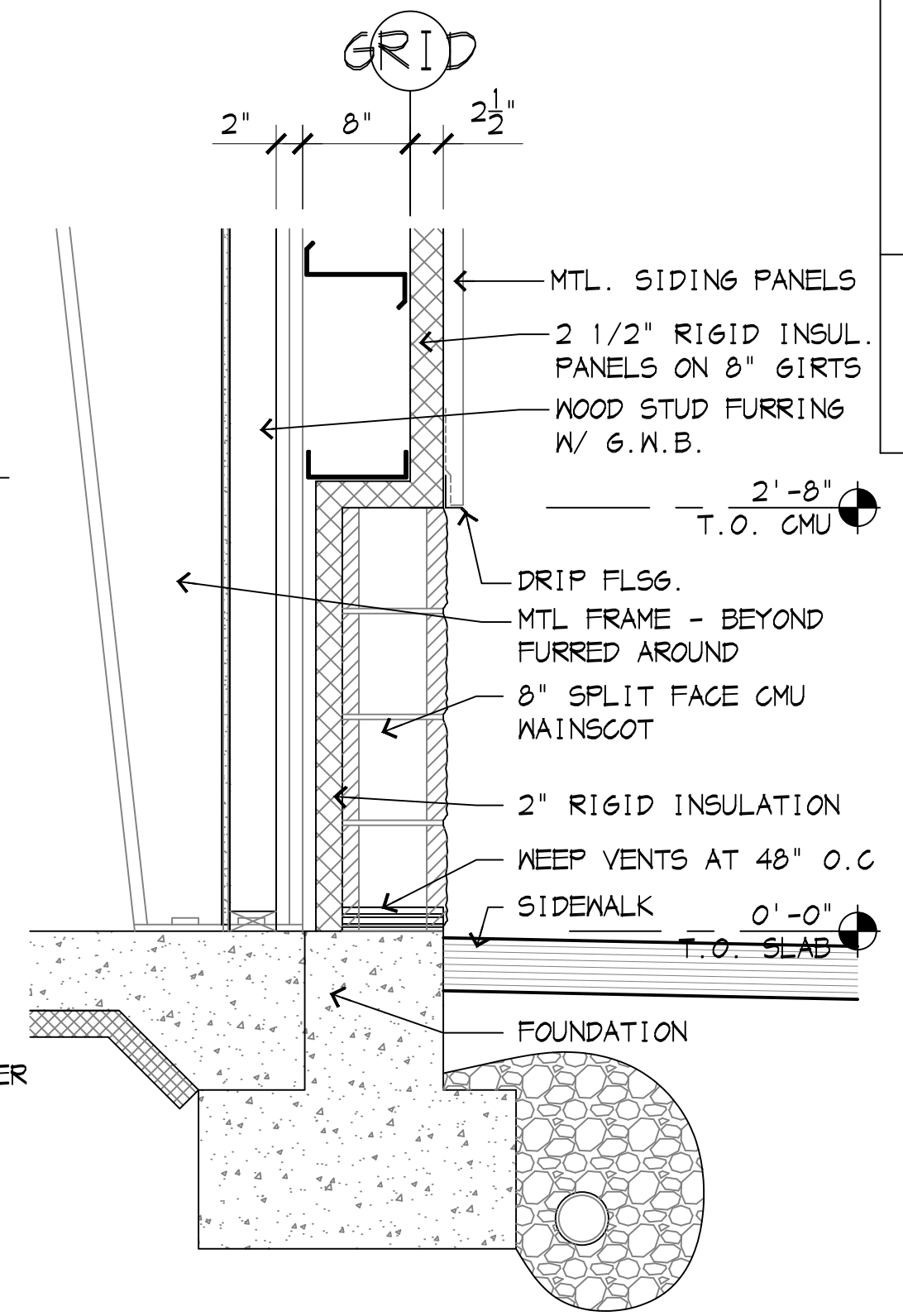
PER IBC 1607.8.1. HAND RAILS & GUARD RAILS SHALL RESIST A LINIER LOAD OF 50 PLF APPLIED IN ANY DIRECTION TO THE TOP OF THE ASSEMBLY.
PER IBC 1607.1.1. HAND RAILS & GUARD RAILS SHALL BE DESIGNED TO RESIST A CONCENTRATED LOAD OF 200 LBS IN ACCORDANCE W/ SECT 4.5.1 & ASCET.



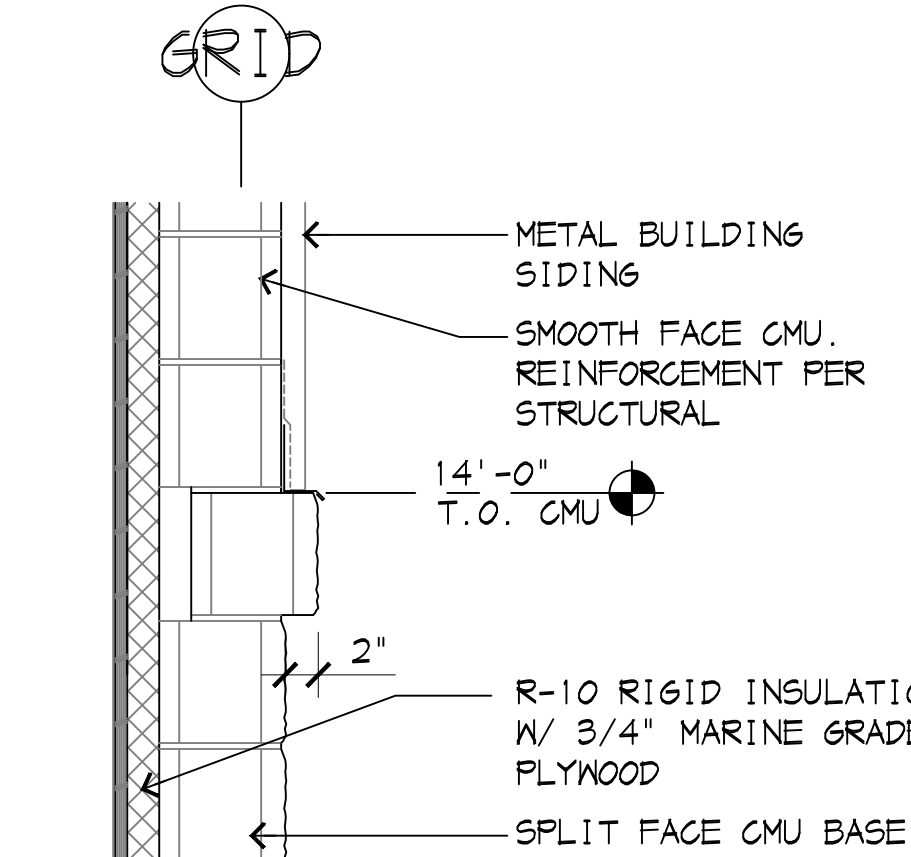
7 COPING CAP AT PARAPET
SCALE: 1" = 1'-0"



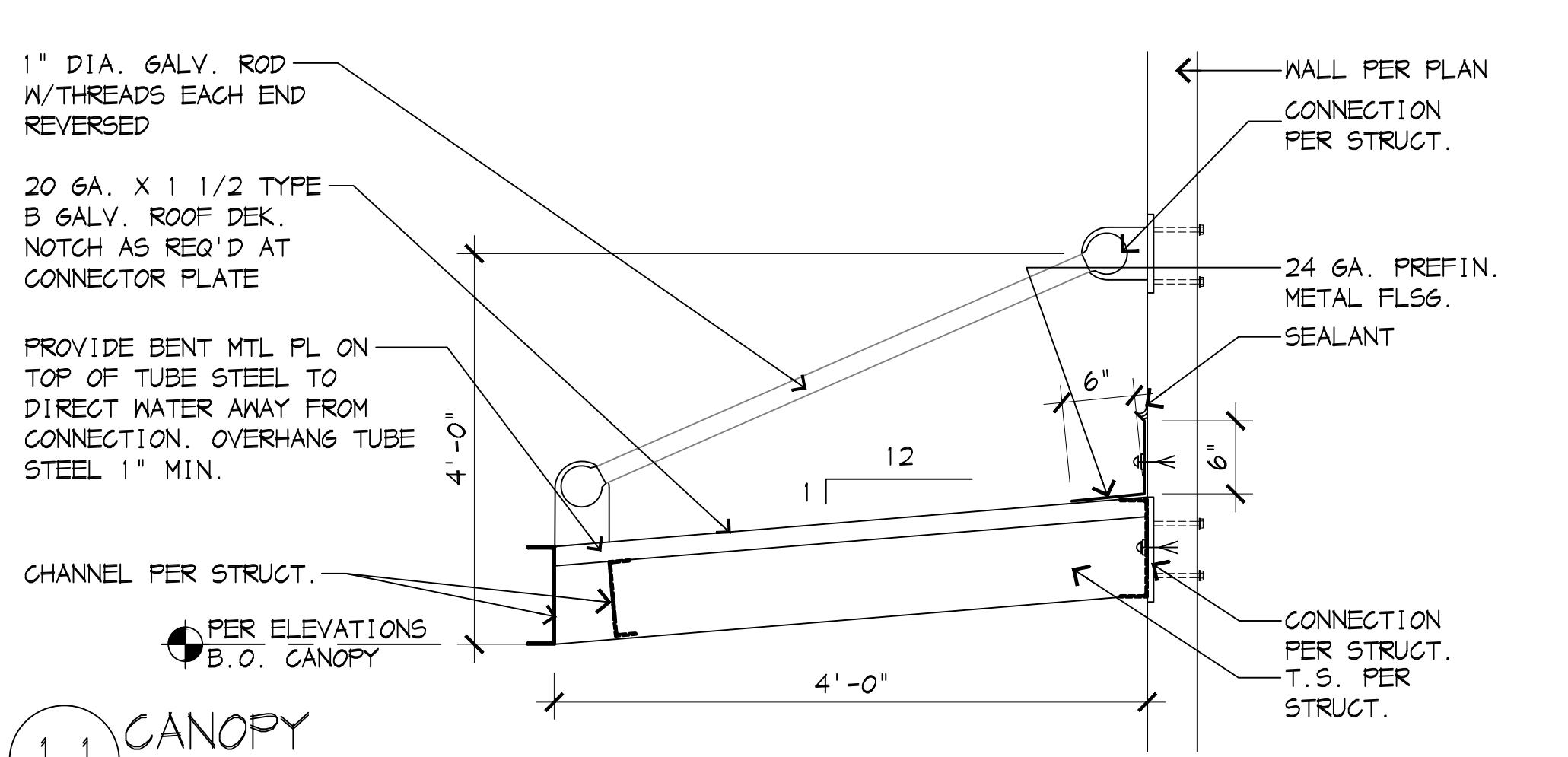
8 STAIR DETAIL
1" = 1'-0"



9 CMU WAINSCOT
1" = 1'-0"



10 CMU TRANSITION
1" = 1'-0"

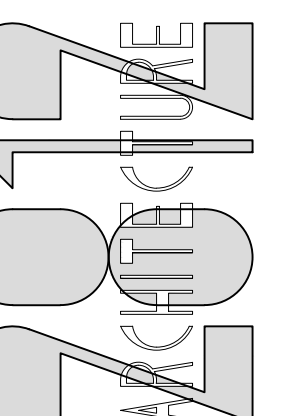


11 CANOPY
1" = 1'-0"

Date:	T. JUNE 2023	PRELIMINARY
For:	18 JULY '23	LANDUSE/ CUP SUBMITTAL
	02 APR '24	CUP RE-SUBMITTAL

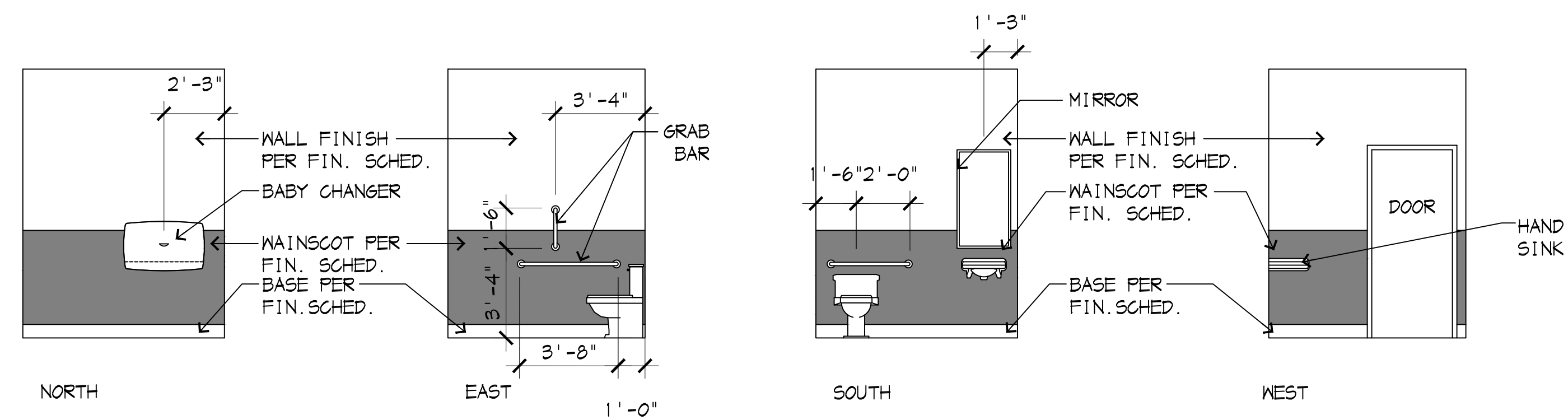


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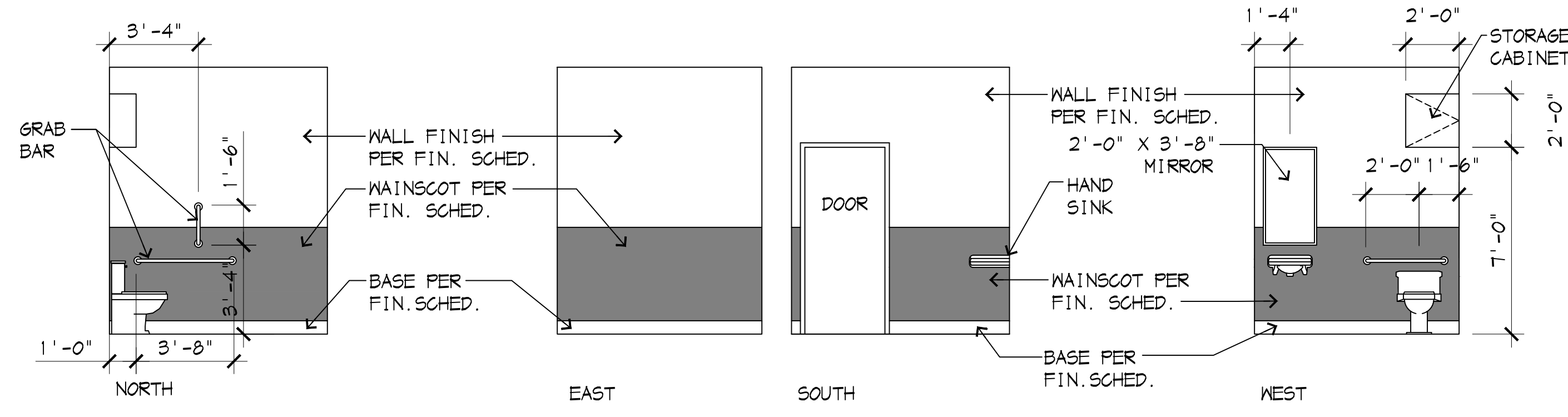
A New Equipment Rental Facility for:
PILCHUCK RENTALS - SMOKEY POINT
3304 156TH ST NE
MARYSVILLE, WASHINGTON 98271
PA23-018

Job Number: 21c-4287



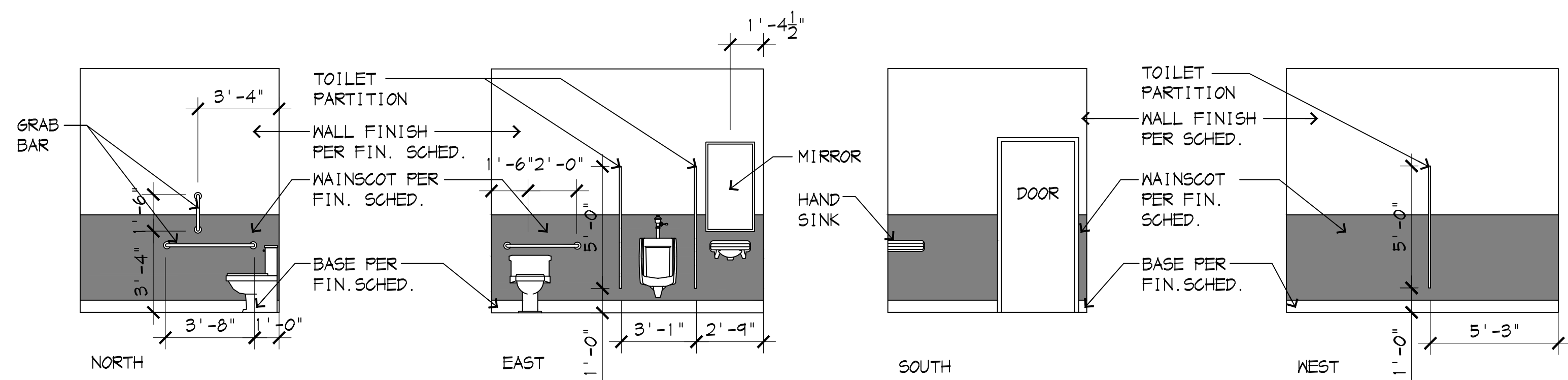
1 RESTROOM 108 ELEVATIONS

1/4" = 1'-0"



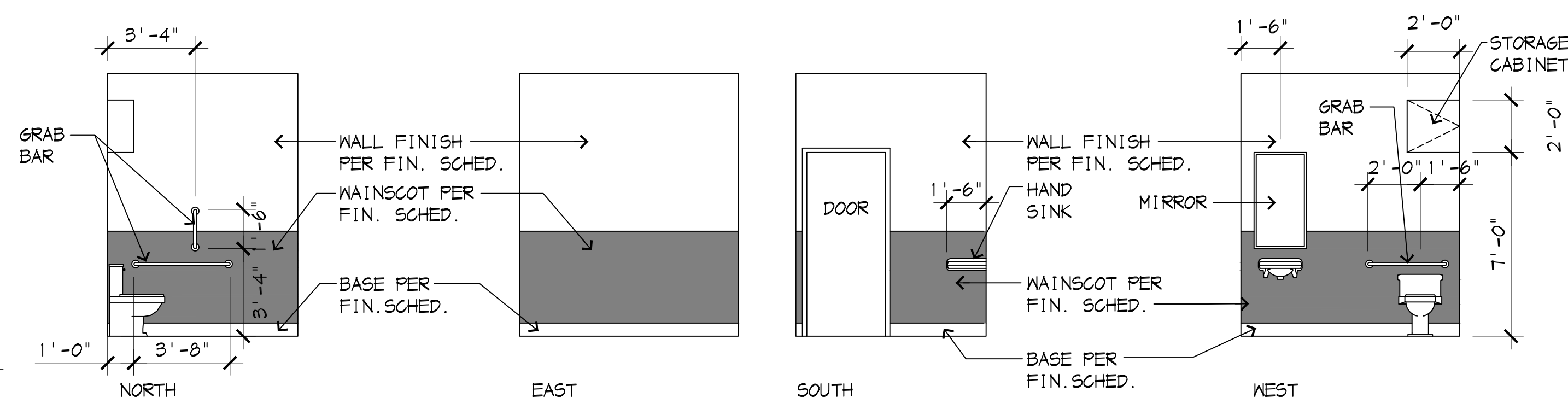
2 WOMENS 111 ELEVATIONS

1/4" = 1'-0"



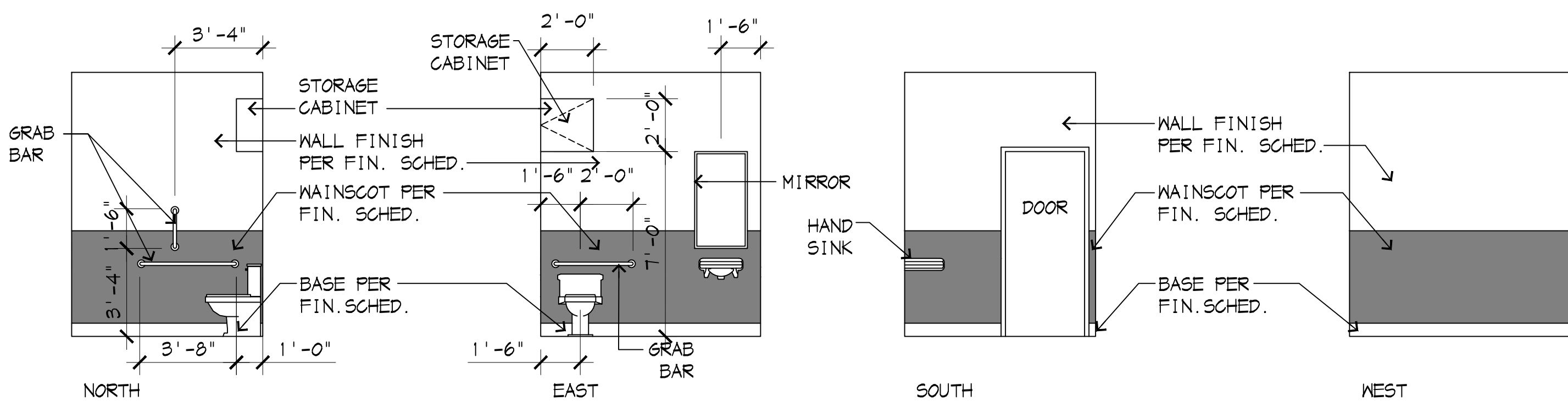
3 MENS 110 ELEVATIONS

1/4" = 1'-0"



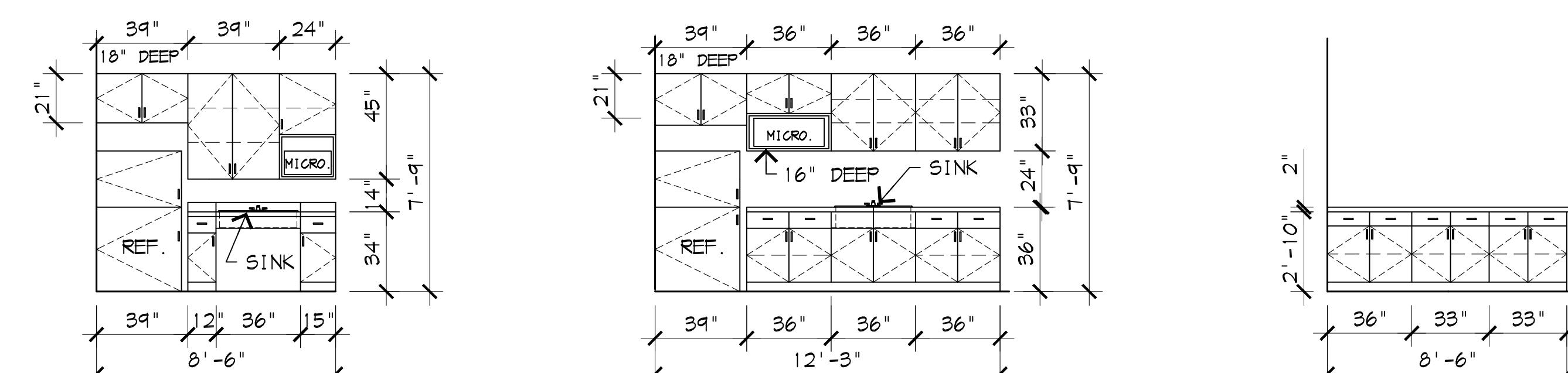
4 MENS 208 ELEVATIONS

1/4" = 1'-0"



5 WOMENS 209 ELEVATIONS

1/4" = 1'-0"



6 BREAK ROOM 102

1/4" = 1'-0"

7 2ND FL. BREAK 207

1/4" = 1'-0"

8 COFFEE BAR 107

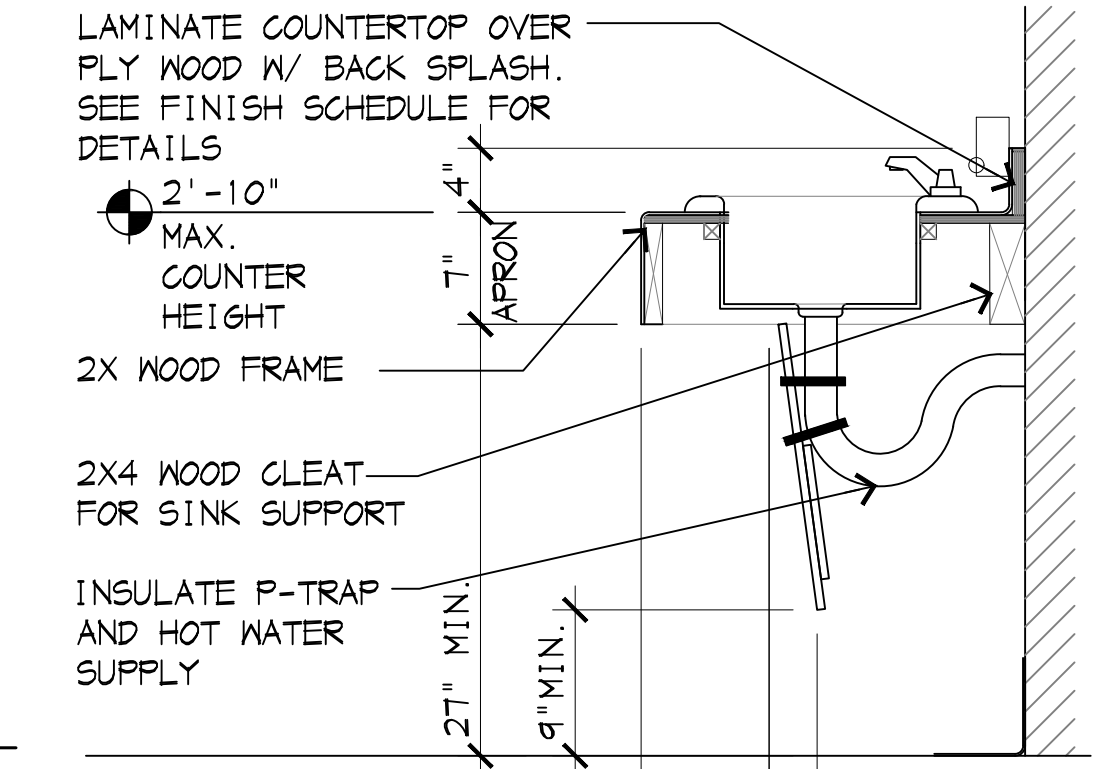
1/4" = 1'-0"

CABINETRY FINISH SCHEDULE			
DET.	TITLE	WALL BASE	CABINET
6	BREAK ROOM 102	1	2
7	BREAK ROOM 207	1	2
8	COFFEE BAR 107	1	2
9	RENTAL KIOSK 107	-	1
10	ADA RENTAL KIOSK 102	-	1

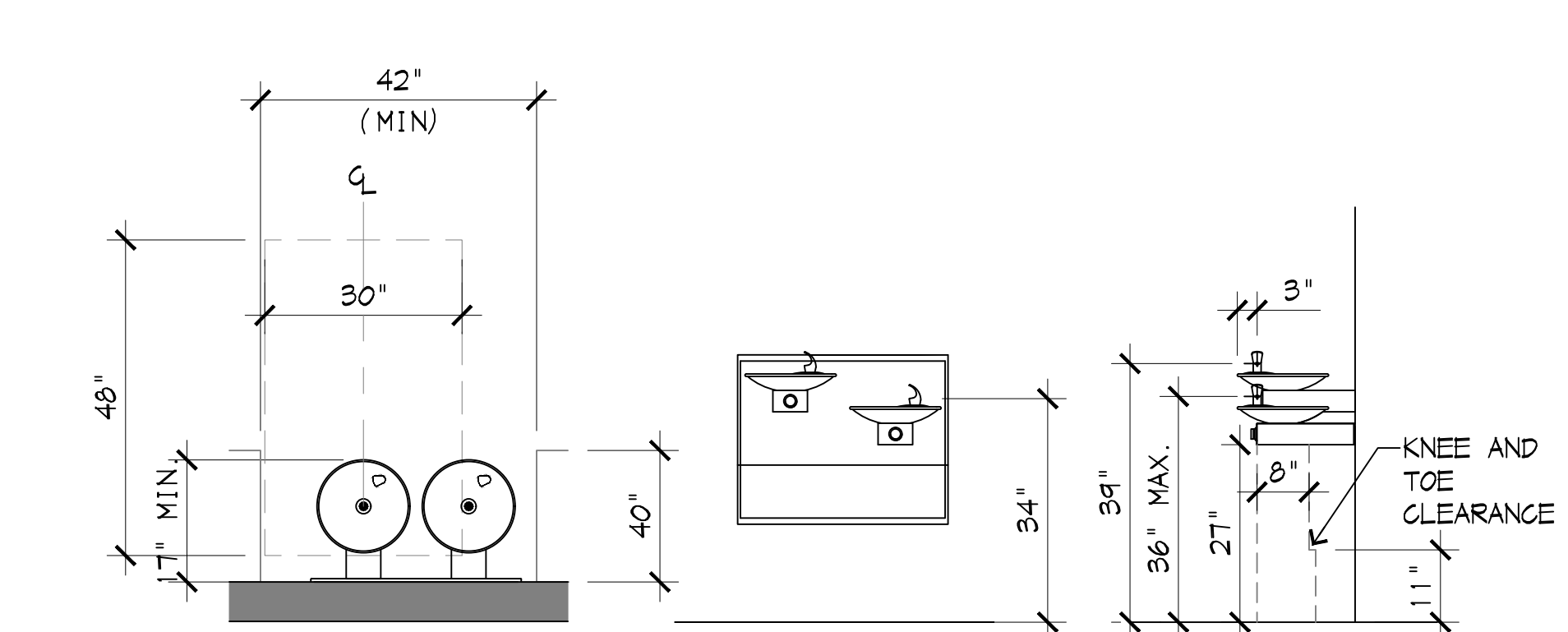
FLOOR:
1 GRAY (RUBBER BASE COLOR - VPI 86 "TUDOR GRAY")

CABINET:
1 GREEN (REF. PIONITE SV709 "SPRINGTIME")
2 GRAY (REF. PANOLAM S6012 "NATURAL")

COUNTERTOPS:
1 GRAY (REF. FORMICA 912 58 "STORM" MATTE FINISH)

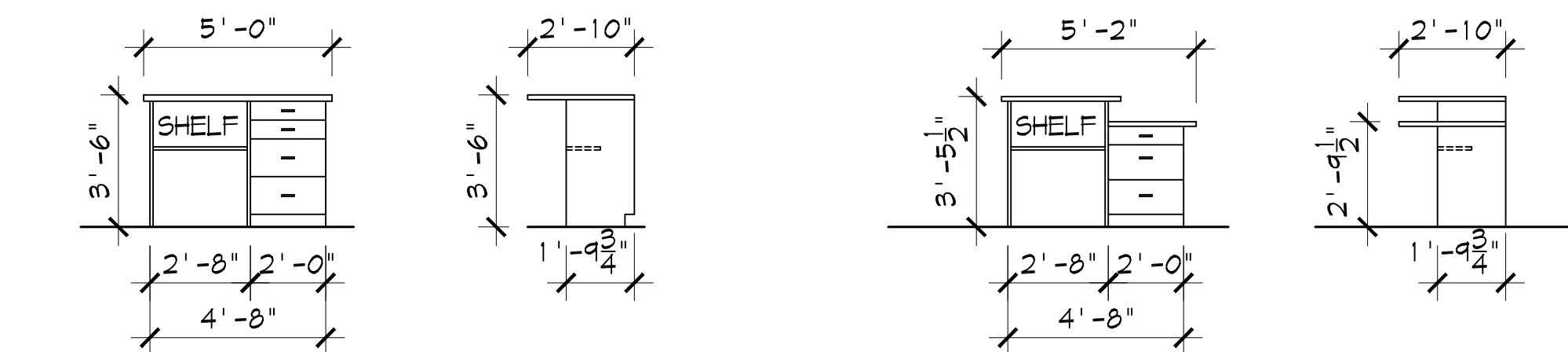


SINK & COUNTERTOP DETAIL



12 ADA DRINKING FOUNTAIN DETAIL

1/2" = 1'-0"



9 RENTAL KIOSK 107

1/4" = 1'-0"

10 ADA RENTAL KIOSK 107

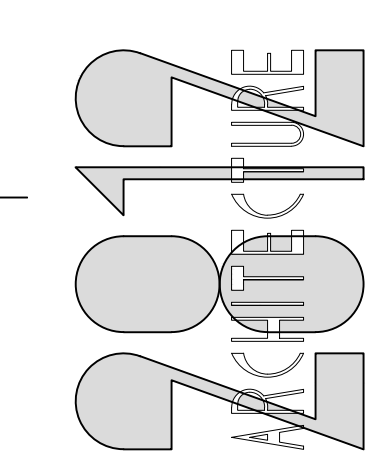
1/4" = 1'-0"

11

1" = 1'-0"

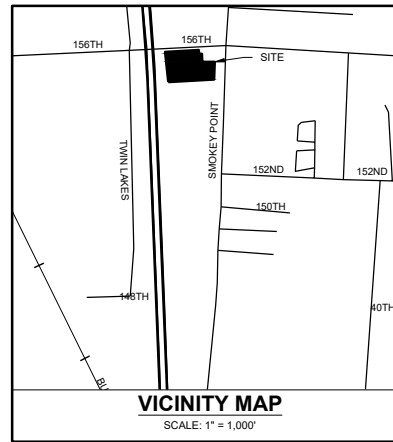
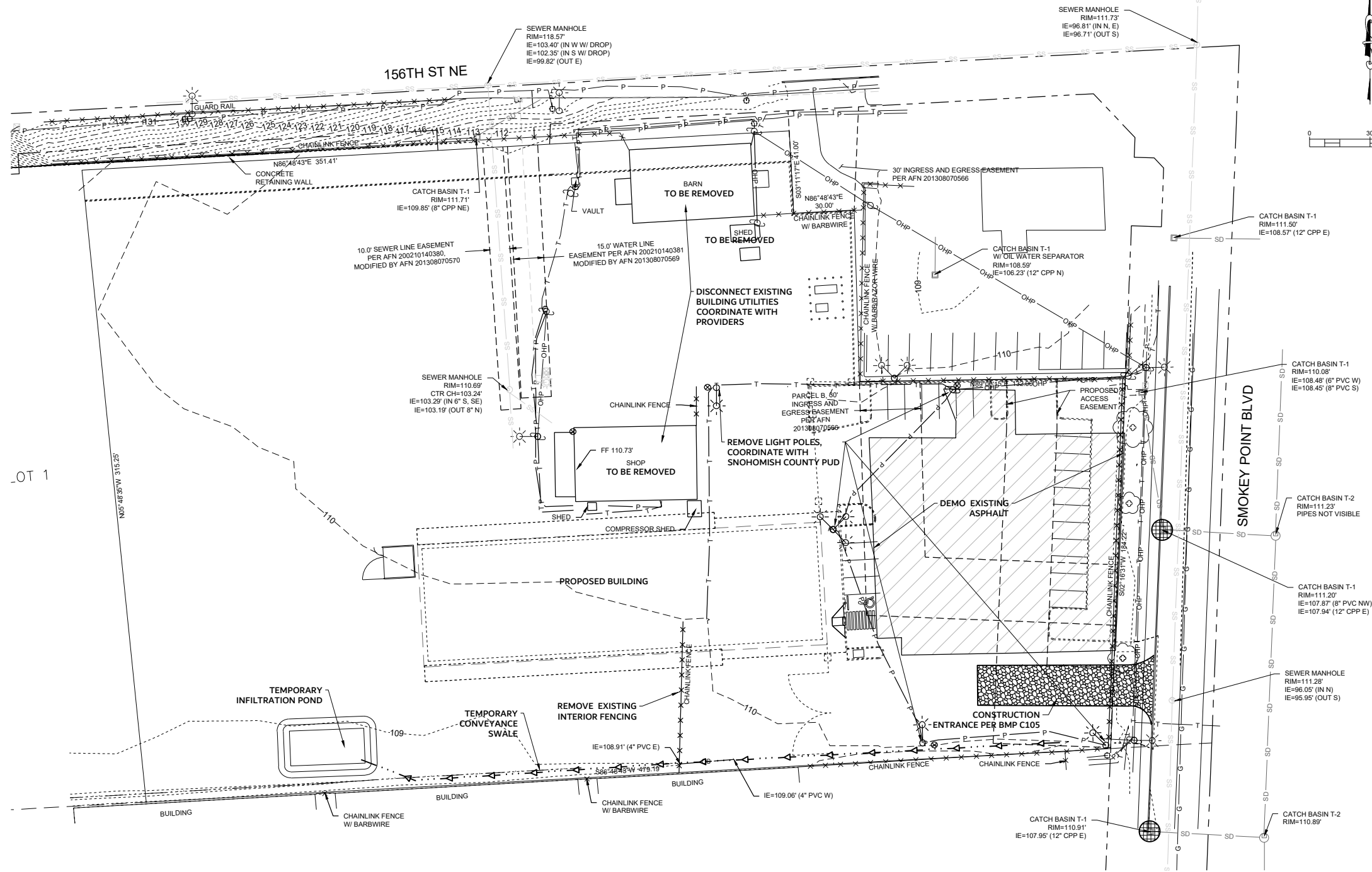
Date:	T. JUNE 2023 PRELIMINARY
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MARYSVILLE, WASHINGTON 98271

SECTION 32, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.



SITE DATA
 SITE ADDRESS: 3304 156TH ST NE MARYSVILLE, WA 98271
 TAX PARCEL NUMBER: 31053200102800
 GROSS SITE AREA: 139,028 SF (3.19 ACRES)

DATUM NAVD 88
BENCHMARK
 SITE BENCHMARK: NORTHEAST SECTION CORNER AT INTERSECTION OF SMOKEY POINT BLVD AND 156TH ST NE. ELEV=111.73'
 PER WGS SURVEY DATA WAREHOUSE DATA SHEET DESIGNATION 3105V09

LEGAL DESCRIPTION
 PER COMMITMENT FOR TITLE INSURANCE BY CHICAGO TITLE OF WASHINGTON COMMITMENT NO. 500118931 DATED MARCH 22ND, 2021:

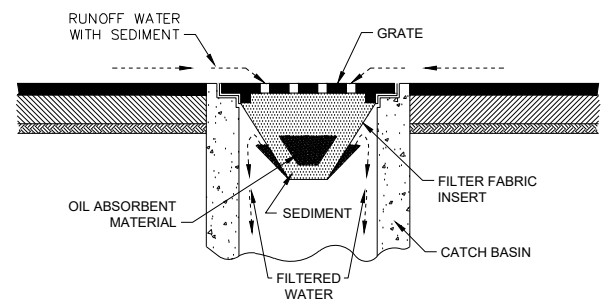
PARCEL A:
 LOT 3, CIT OF MARYSVILLE BOUNDARY LINE ADJUSTMENT NUMBER 13-004, RECORDED UNDER AUDITOR'S FILE NO. 201308075002, SNOHOMISH COUNTY, WASHINGTON, BEING A PORTION OF THE NORTHEAST QUARTER OF SECTION 32, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.

PARCEL B:
 A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS AS CREATED BY AND PURSUANT TO THE "PERMANENT RECIPROCAL EASEMENT" RECORDED UNDER AUDITOR'S FILE NO. 201308070566.

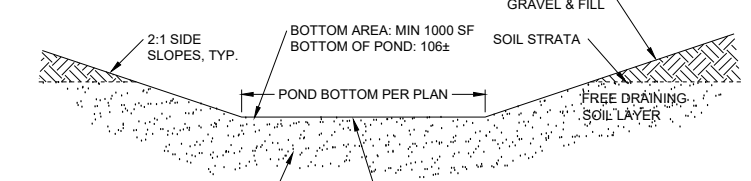
SITUATE IN THE COUNTY OF SNOHOMISH, STATE OF WASHINGTON.

- LEGEND**
- FOUND REBAR & CAP (RBC) AS NOTED
 - ⊗ WATER METER
 - ⊕ WATER VALVE
 - ⊕ FIRE HYDRANT
 - ⊕ HOSE BIB
 - SEWER MANHOLE
 - ⊕ CATCH BASIN TYPE 1
 - ⊕ CATCH BASIN TYPE 2
 - ⊕ SIGN
 - GATE POST
 - ⊕ CONCRETE BOLLARD
 - UTILITY POLE
 - ⊕ POWER METER
 - ⊕ POWER JUNCTION BOX
 - ⊕ LIGHT POLE
 - ⊕ TELEPHONE RISER
 - x — FENCE LINE
 - T — TELEPHONE LINE
 - OHP — OVERHEAD UTILITIES LINE
 - P — POWER LINE
 - G — GAS LINE
 - W — WATER LINE
 - SS — SEWER LINE
 - SD — STORM DRAIN LINE

- SWPPP LEGEND**
- ~~~~~ CLEARING LIMITS PER BMP C103
 - x — x — SILT FENCE PER BMP C233 AND WSDOT DETAIL I-30.10-02
 - T — CONVEYANCE SWALE PER BMP C201 CONTRACTOR TO INSTALL AS NEEDED
 - x — x — TEMP SECURITY FENCING SEE 3/C1.2
 - ⊕ TEMP INLET PROTECTION (BMP C220)
 - ■ ■ ■ CONTRACTOR STAGING



"GULLYWASHER", "SILT SACK" OR OTHER APPROVED CATCH BASIN INSERT MAY BE USED FOR INLET PROTECTION. CONTACT: PRICE-MOON ENTERPRISES PH: 360.563.6709, OR "SILTSACK" BY ACF ENVIRONMENTAL AT PH: 1.800.644.9223 (OR APPROVED EQUAL)



TEMPORARY INFILTRATION POND SHALL EXTEND INTO FREE DRAINING SOIL LAYER AS EVALUATED BY THE GEOTECHNICAL ENGINEER

DO NOT COMPACT SURFACE NOR OPERATE EQUIPMENT WITHIN THIS AREA. IF ACCUMULATION OF SEDIMENT PREVENTS INFILTRATION, REMOVE SEDIMENT AND SURFACE ROUGHEN THE BASE OF THE POND TO RESTORE INFILTRATION RATE.

1 TEMPORARY INLET PROTECTION DETAIL
 SCALE: NONE

2 TYPICAL TEMPORARY INFILTRATION POND
 SCALE: NONE

REVISIONS

HARMSEN ENGINEERS SURVEYORS
 (425) 252-1884
 (206) 343-5903

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PILCHUCK RENTALS
 3034 156TH ST NE
 MARYSVILLE, WA

LAND USE SET
 CONCEPTUAL DEMO-SWPPP

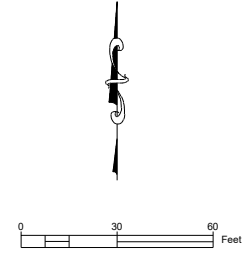
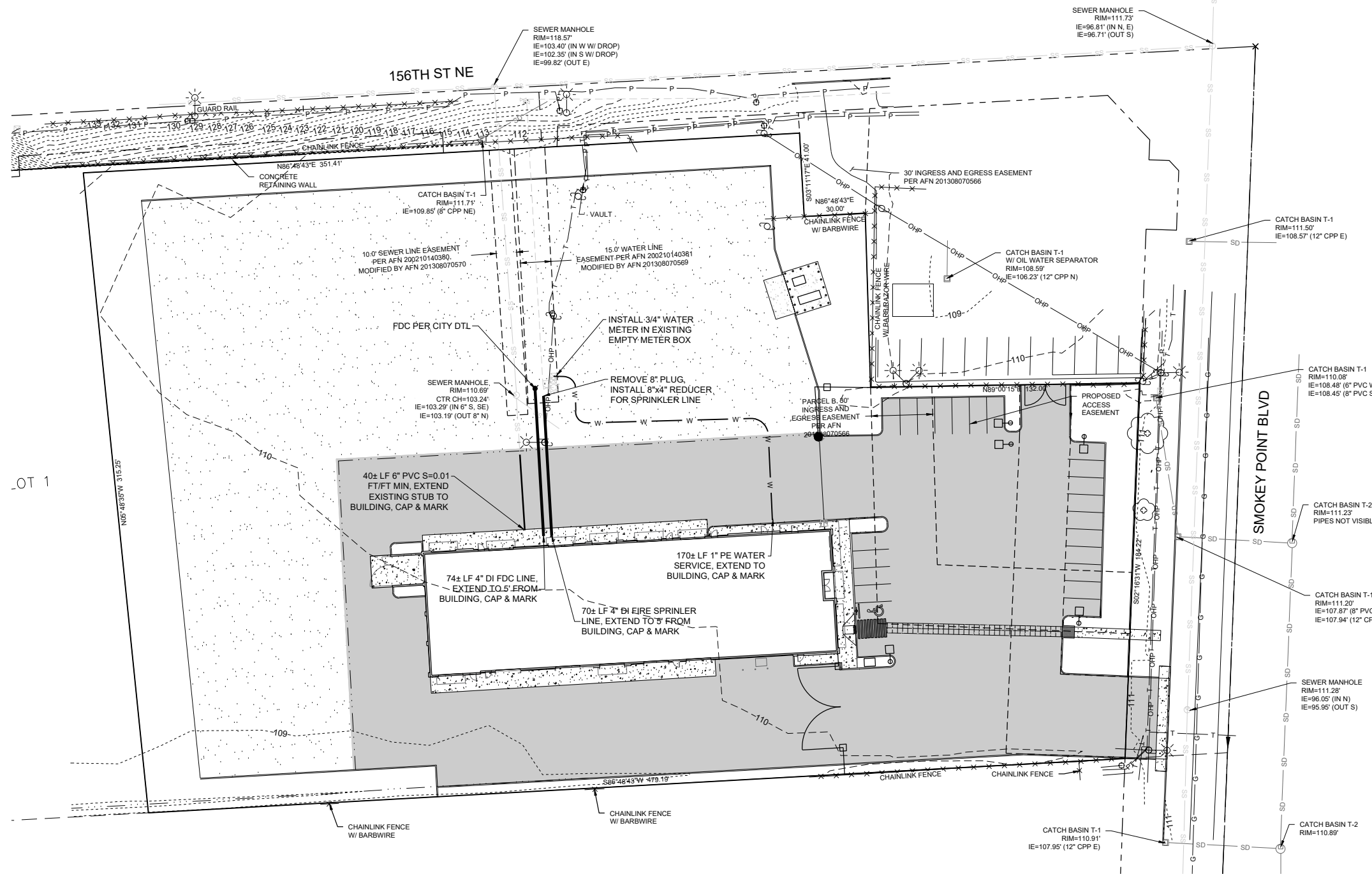
DATE: 8/25/23

JOB #: 23-051



C1

SECTION 32, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.



LOT 1

REVISIONS

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PILCHUCK RENTALS
3034 156TH ST NE
MARYSVILLE, WA

LAND USE SET
PRELIMINARY SEWER-WATER PLAN

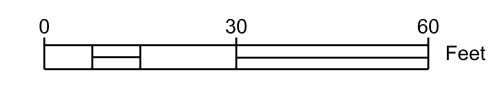
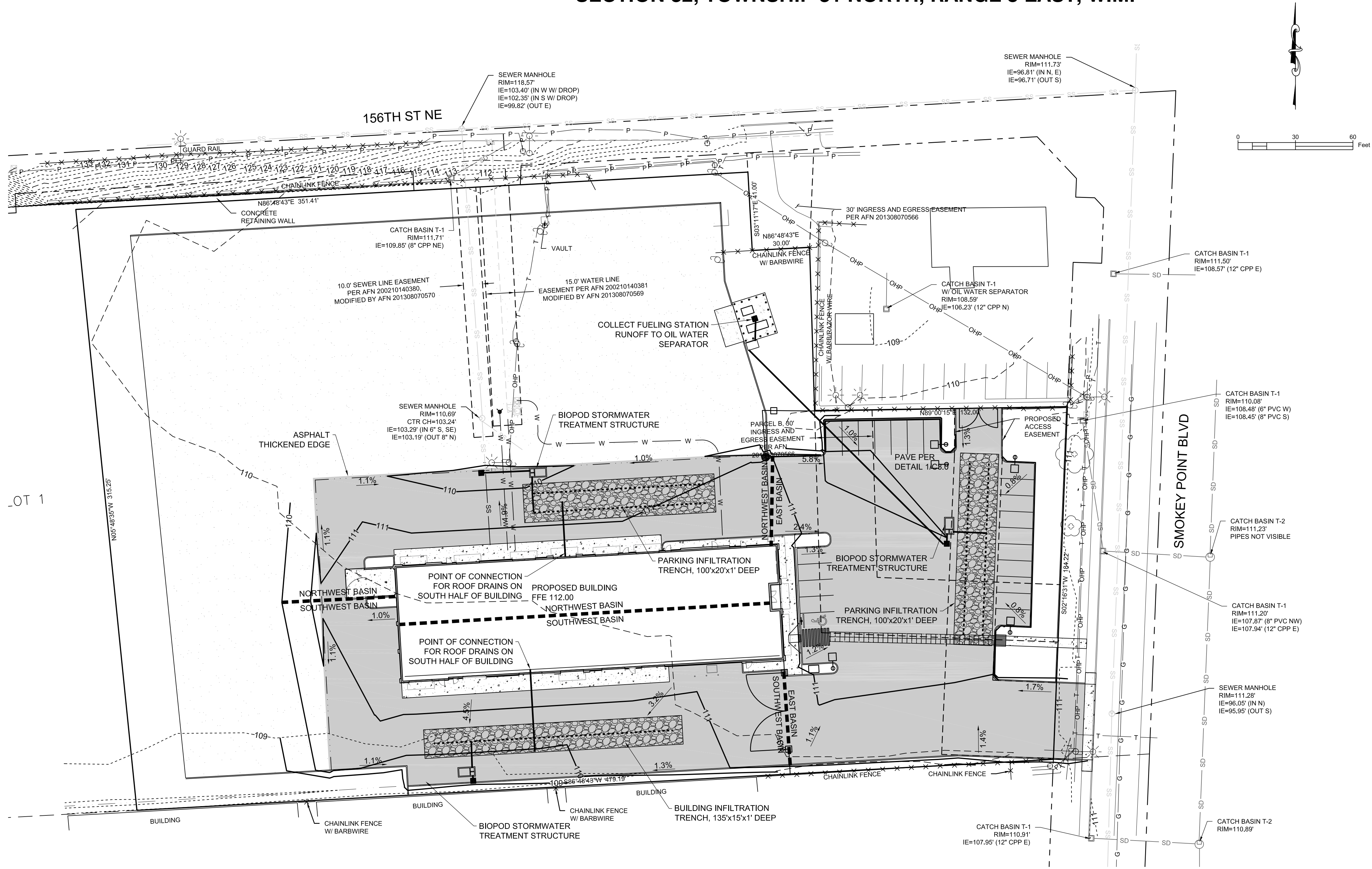
DATE: 8/25/23

JOB #: 23-051

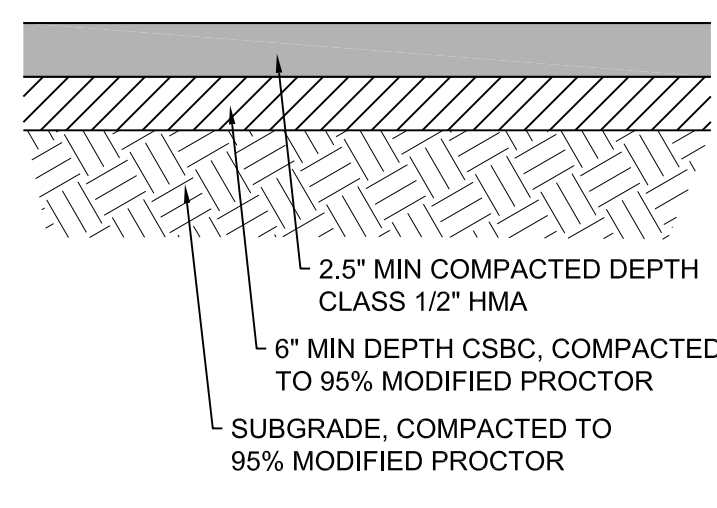


C2

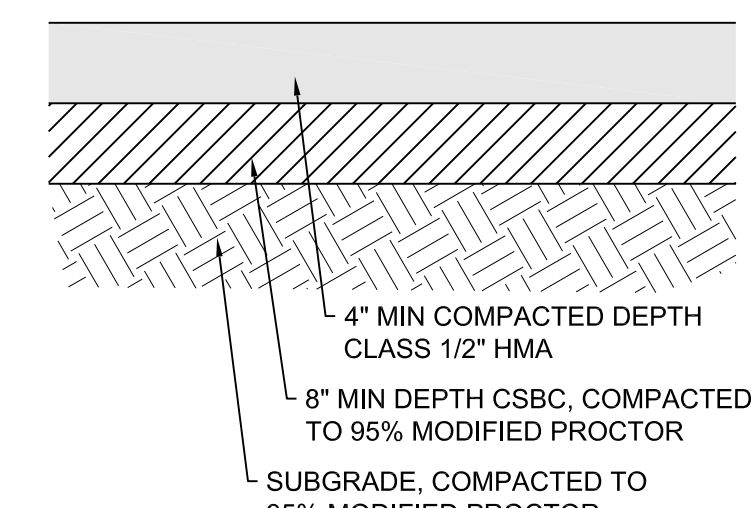
SECTION 32, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.



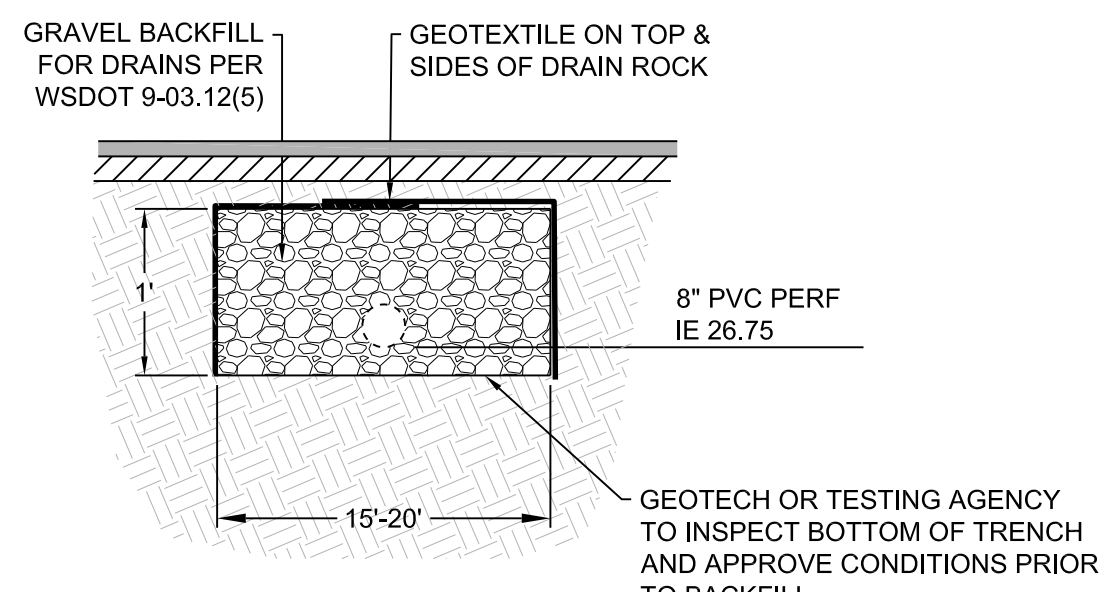
LOT 1



1 LIGHT PAVING SECTION
SCALE: NONE



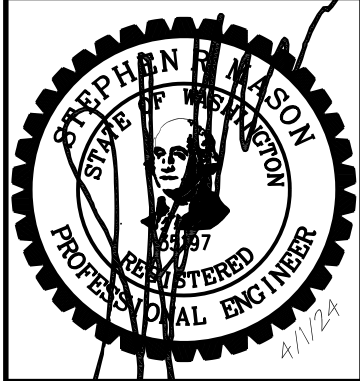
2 HEAVY PAVING SECTION
SCALE: NONE



3 TYPICAL INFILTRATION TRENCH
SCALE: NONE

REVISIONS

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(206) 343-5903



PILCHUCK RENTALS
3034 156TH ST NE
MARYSVILLE, WA
LAND USE SET
PRELIMINARY STORM-PAVING PLAN

DATE: 8/25/23

JOB #: 23-051



C3