

GENERAL NOTES - COTTAGE HOUSING DEVELOPMENT (File Number PA22-042)

NET PROJECT AREA

GROSS PROJECT AREA: 4.75 ACRES  
FLAT 20% DEDUCTION FOR RIGHT OF WAY, PRIVATE ROADS, AND ACCESS EASEMENTS  
= 0.95 ACRES. 4.75 ACRES-0.95 ACRES = 3.8 ACRES.

NET PROJECT AREA IS 3.8 ACRES

DENSITY

ALLOWED 2x THE BASE DENSITY OF UNDERLYING ZONE  
UNDERLYING ZONE: R4.5 (4.5 x 2 = 9 DWELLING UNITS PER ACRE)  
3.8 ACRES x 9 = 34 DWELLING UNITS ALLOWED

SETBACKS

FRONT YARD: 10' MINIMUM  
REAR YARD: 10' MINIMUM  
SIDE YARD: 5' MINIMUM  
SEPARATION BETWEEN BUILDING STRUCTURES: 10' MINIMUM

ROOFS AND BAY WINDOWS MAY OVERHANG SETBACKS PER DIMENSIONS IN MMC

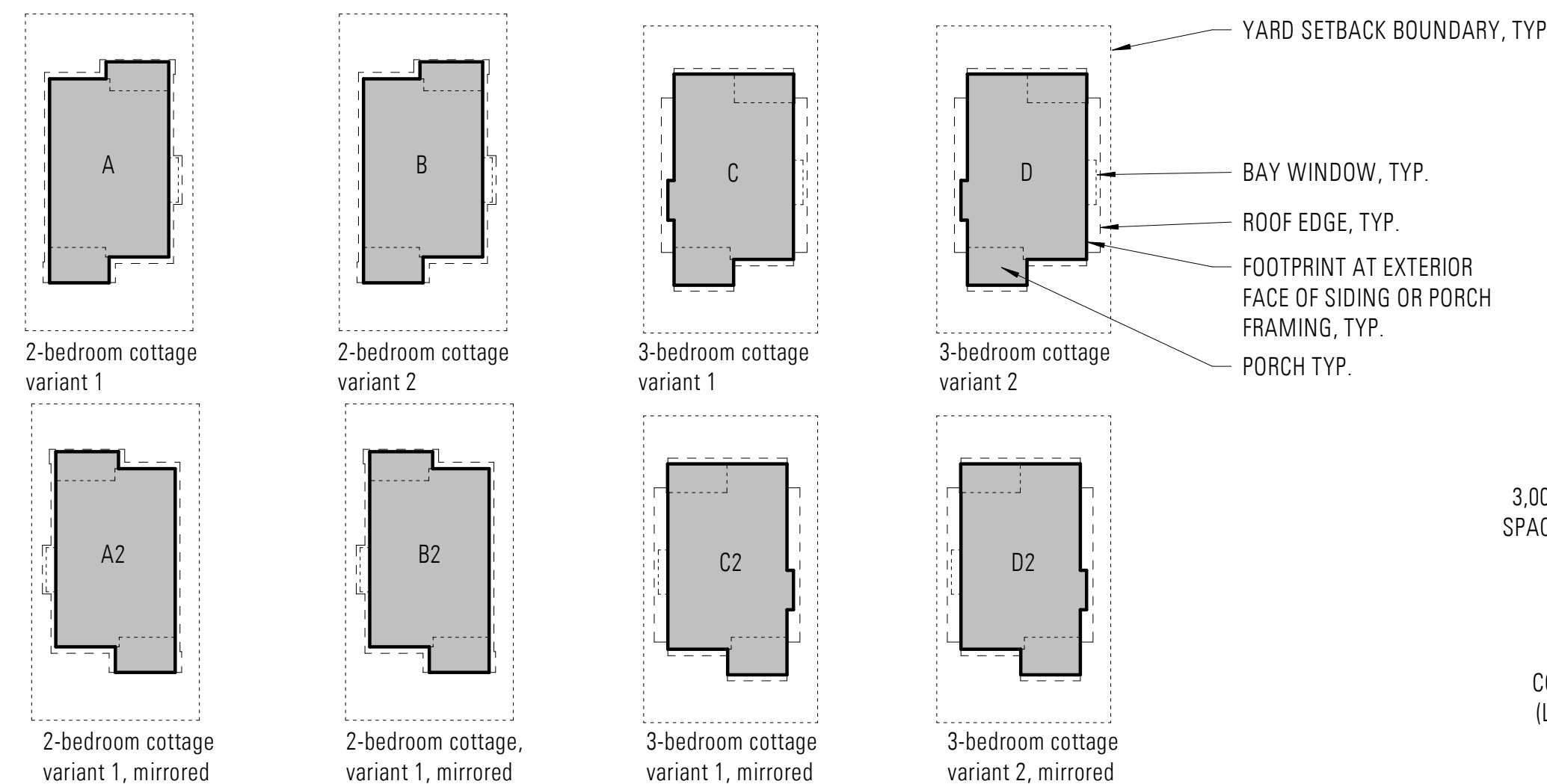
WOODED AREAS

EXISTING TREES WITHIN WETLAND BUFFER ARE ANTICIPATED TO REMAIN. EXISTING TREES OUTSIDE OF WETLAND BUFFER ARE ANTICIPATED TO BE REMOVED. REFERENCE ARBORIST REPORT AND SITE SURVEY FOR LOCATIONS OF EXISTING TREES.

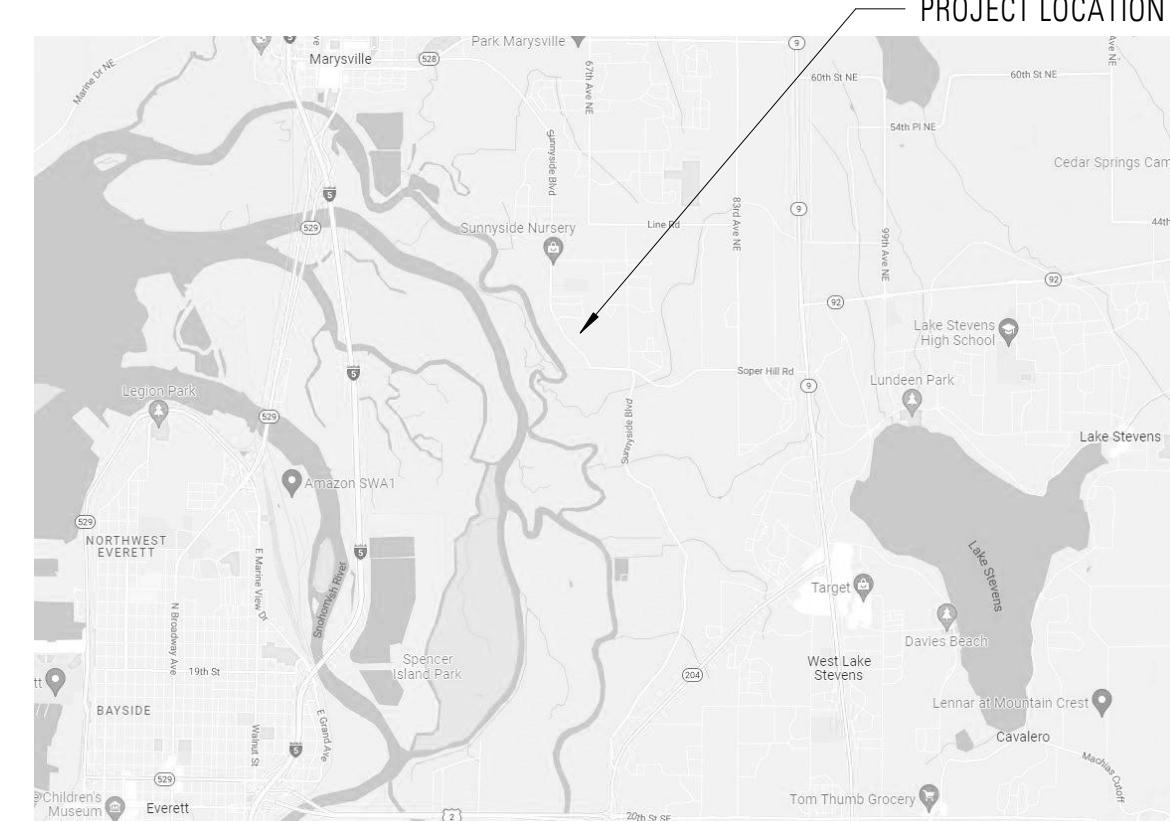
SITE ELEMENTS LEGEND

- CONCRETE PAVING
- ASPHALT ROADWAY / PARKING AREA
- FIRE ACCESS TURNAROUND
- LANDSCAPE AREA (SEE LANDSCAPE PLANS)
- PATIO PAVERS
- BUILDING
- (W) (E) WELL - INTENDED TO BE UTILIZED FOR IRRIGATION OF NEW LANDSCAPING.
- BUILDING SETBACK
- PROPERTY, ROAD, EASEMENT OR WETLAND BUFFER SETBACK
- PROPERTY BOUNDARY (PROPERTY BOUNDARIES AROUND INDIVIDUAL COTTAGE LOTS ARE PROPOSED)
- WETLANDS BUFFER
- 1 COTTAGE PARCEL NO. FOR PROPOSED SUBDIVISION

COTTAGE TYPE LEGEND



VICINITY MAP



PARKING  
DWELLINGS OF 1,000 SF OR MORE REQ 2 PARKING SPACES EACH

TOTAL DWELLINGS: 32 PROVIDED  
TOTAL PARKING: 64 SPACES PROVIDED

REQ BICYCLE PARKING IS 5% OF TOTAL OFF-STREET PARKING PROVIDED; 4 BICYCLE PARKING SPOTS REQ AND 12 PROVIDED.

OPEN SPACE

200 SF COMMON OPEN SPACE REQ PER DWELLING UNIT - 50% MUST BE LOCATED CENTRALLY TO THE COTTAGE GROUPING; NOTED ON PLAN.  
200 SF PRIVATE OPEN SPACE REQ PER DWELLING UNIT; 360 SF TO 432 SF PROVIDED.

LOT COVERAGE - COTTAGE PARCELS (COMBINED AREA = 76,366 SF / 1.75 ACRES)  
BUILDING COVERAGE = 44.8% (AT PARCEL WITH HIGHEST COVERAGE PERCENTAGE)  
IMPERVIOUS SURFACE COVERAGE = 56.4% (AT PARCEL WITH HIGHEST COVERAGE PERCENTAGE / EXCLUDES WALKS 5' WIDE OR LESS PER MMC 22C.010.100)

LOT COVERAGE - TRACT (TOTAL TRACT AREA = 130,589 SF / 3.0 ACRES)  
BUILDING COVERAGE = 2.2%  
IMPERVIOUS SURFACE COVERAGE = 29.9% (EXCLUDES WALKS 5' WIDE OR LESS PER MMC 22C.010.100)

EXISTING EASEMENT RECORDING NUMBER REFERENCES

201805300151; 201805300153; 200311180470; 201504020233; 8312070172  
201805300152; 201809130096

CLUSTER MAILBOX UNITS AND PARCEL LOCKER PER CITY OF MARYSVILLE STANDARD PLAN 3-505-001

EXISTING 20' EASEMENT - AFN 201805300151

5' SETBACK FROM ACCESS EASEMENT PER MMC 22C.010.180

3,704 SF COMMON OPEN SPACE; 1800 SF REQUIRED (9 UNITS x 200 SF)

EXISTING 20' EASEMENT - AFN 201805300153

WASTE ENCLOSURE: CMU BLOCK WALLS, OPEN ON TOP WITH A FULL-WIDTH METAL GATE FACING ROAD. CONCRETE PAD MUST ENDURE 20,000 LBS OF DIRECT FORCE AND A TRUCK WEIGHT OF 65,000 LBS.

FUTURE SINGLE STORY WORKSHOP LOCATION  
10' SETBACKS FOR SINGLE STORY ACCESSORY STRUCTURES  
10' SETBACKS ALONG 66TH AVE EXTENSION ROW EXTENDS 6' PAST SIDEWALK EDGES

POST "NO PARKING - FIRE LANE" SIGNAGE ALONG LENGTH OF PRIVATE DRIVE  
5' STRUCTURE SETBACKS FROM ROW ALONG PRIVATE ROAD PER MMC 22C.010.180

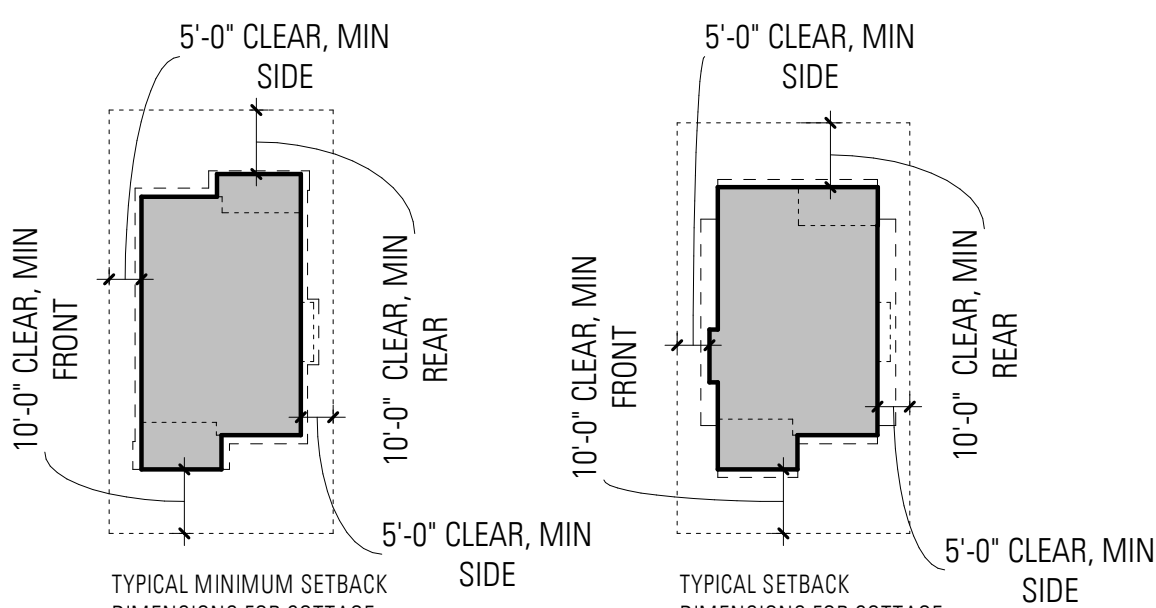
YARD SETBACK BOUNDARY, TYP.

BAY WINDOW, TYP.  
ROOF EDGE, TYP.  
FOOTPRINT AT EXTERIOR FACE OF SIDING OR PORCH FRAMING, TYP.  
PORCH, TYP.

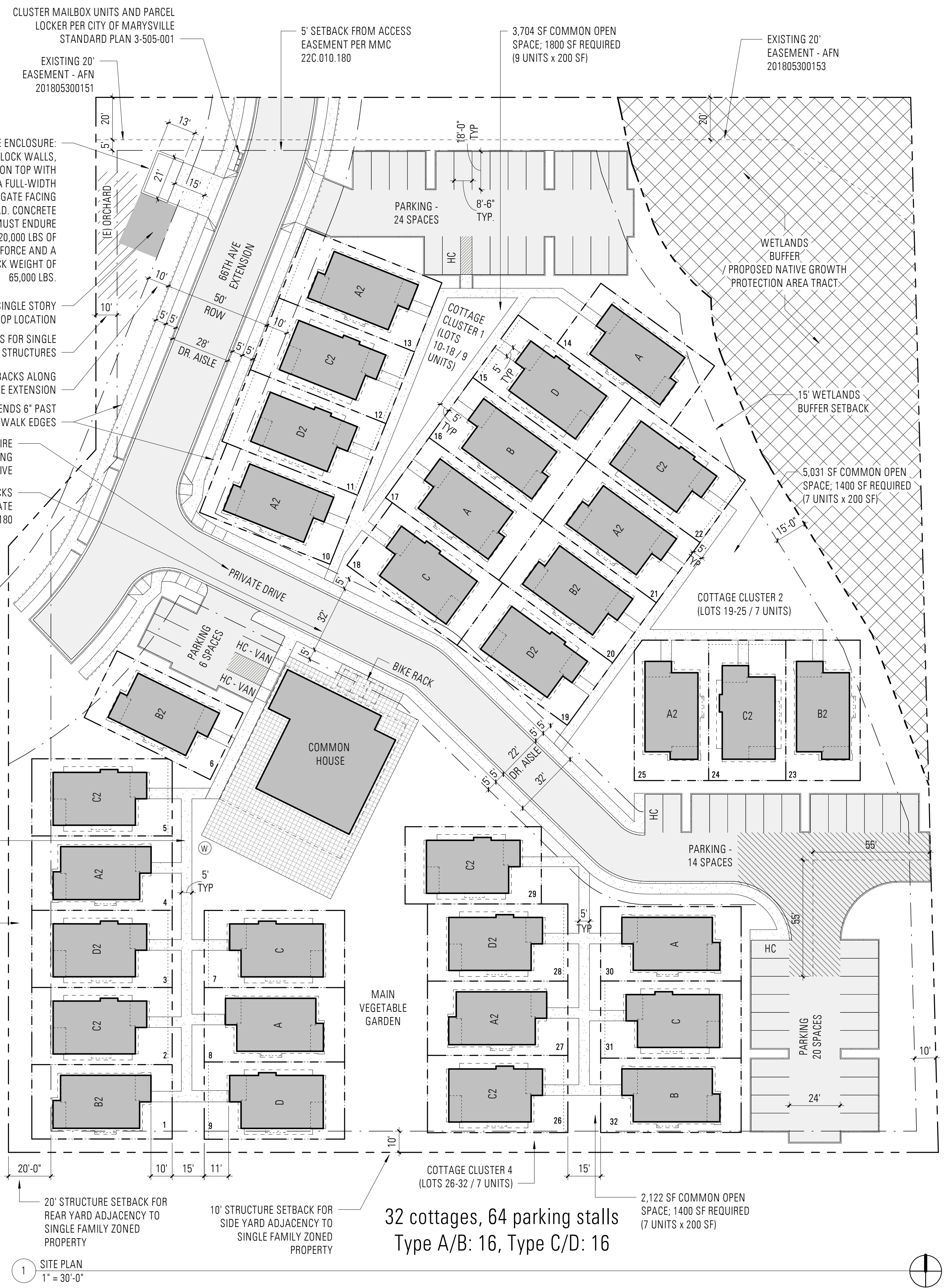
3,003 SF COMMON OPEN SPACE; 1800 SF REQUIRED (9 UNITS x 200 SF)

COTTAGE CLUSTER 3 (LOTS 1-9 / 9 UNITS)

TYPICAL MINIMUM COTTAGE SETBACK DIMENSIONS



1 SITE PLAN  
1" = 30'-0"



32 cottages, 64 parking stalls  
Type A/B: 16, Type C/D: 16

2,122 SF COMMON OPEN SPACE; 1400 SF REQUIRED (7 UNITS x 200 SF)



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SUNNYSIDE VILLAGE

3121 66th Ave NE  
Marysville, WA 98270

1/4/2023 CD COORDINATION SET

NO. DATE DESCRIPTION

Architect Project No: 1819  
Author:  
Checker:

ARCHITECTURAL SITE PLAN

A000

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NOT FOR CONSTRUCTION

## PRIVATE OPEN SPACE TABLE

COTTAGE LOT #	PRIVATE OPEN SPACE PROVIDED (200 SQ.FT. MIN. REQUIRED)
1	444 SQ.FT.
2	530 SQ.FT.
3	530 SQ.FT.
4	444 SQ.FT.
5	528 SQ.FT.
6	444 SQ.FT.
7	530 SQ.FT.
8	444 SQ.FT.
9	530 SQ.FT.
10	444 SQ.FT.
11	530 SQ.FT.
12	530 SQ.FT.
13	444 SQ.FT.
14	444 SQ.FT.
15	530 SQ.FT.
16	444 SQ.FT.
17	444 SQ.FT.
18	457 SQ.FT.
19	457 SQ.FT.
20	444 SQ.FT.
21	444 SQ.FT.
22	530 SQ.FT.
23	444 SQ.FT.
24	530 SQ.FT.
25	444 SQ.FT.
26	530 SQ.FT.
27	444 SQ.FT.
28	530 SQ.FT.
29	434 SQ.FT.
30	444 SQ.FT.
31	530 SQ.FT.
32	444 SQ.FT.

NOTE: PRIVATE OPEN SPACE LISTED ABOVE AND DEPICTED AT RIGHT DOES NOT INCLUDE SQUARE FOOTAGE OF REAR YARDS, SINCE FRONT YARDS ARE SUFFICIENT TO MEET MINIMUM PRIVATE OPEN SPACE REQUIREMENTS PER MMC 22C.010.280 (8)

### SITE OPEN SPACE DIAGRAM LEGEND

-  PRIVATE OPEN SPACE
-  COMMON OPEN SPACE ASSOCIATED WITH COTTAGE CLUSTER
-  COMMON OPEN SPACE NOT ASSOCIATED WITH COTTAGE CLUSTER



1 SITE PLAN - OPEN SPACE DIAGRAM  
1" = 30'-0"



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## SUNNYSIDE VILLAGE

3121 66th Ave NE  
Marysville, WA 98270

1/4/2023 CD COORDINATION SET

NO.	DATE	DESCRIPTION

Architect Project No: 1819  
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### SITE OPEN SPACE DIAGRAM

**A001**

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