



September 25, 2024

Kathryn Bird
Associate Planner
City of Marysville
(360) 363-8232
kbird@marysvillewa.gov

Re: Review letter for West Magnolia (FKA East Sunnyside) PRD/BSP (PA22-033)

Dear Kathryn,
Thank you for your review letter dated August 28, 2024. Attached is a copy of the letter and comments with responses to all of the departments comments. In addition to the responses, please see the new client comments on sheet 9.

Should you have any questions regarding my responses or require additional information, please don't hesitate to contact me on my cell at 425.941.1250 or by email at mpendergraft@atwell-group.com

Sincerely,
Mark Pendergraft, PLS

A handwritten signature in black ink, appearing to read "Mark Pendergraft", written in a cursive style.

Atwell LLC
Associate Director



City of Marysville Community Development – Planning Division

Kathryn Bird, Associate Planner

(360) 363-8232

kbird@marysvillewa.gov

1. Amend the final plat as follows

a. On Sheet 1, amend the 3rd paragraph to include a blank space to insert recording number for CC&Rs.

Revised

b. On Sheet 1, correct the overlapping text over “Acknowledgements”.

Revised

c. On Sheet 2, since item 2 under Restrictions of Record is not included in the referenced title report as it has yet to be recorded, it should be moved under the heading of Easement Provisions or Restrictions, Covenants.

Moved to Easement Provisions

d. On Sheet 2, include an easement provision as follows: “A private access and utilities easement is hereby granted over Tract 999 to benefit parcel #00590700017503, recorded under AFN_____.”

Added

e. On Sheet 2, amend item 1 under Restrictions, Covenants to read “...resubmitting for formal plat procedure.” See markup.

Revised

f. On Sheet 2, amend item 3 under Restrictions, Covenants to replace “West Magnolia Homeowners’ Association” with “developer”.

The language was left as-is because the Homeowners association will immediately take charge of the landscaping once the plat has recorded.

g. On Sheet 4:

i. Lot 13 is less than the minimum lot size of 3,500 square feet.

Revised to original configuration and lot closures updated

ii. Under Tracts 996 and 997, amend to read “private access and utilities”.

Amended

iii. Depict Snohomish PUD easement and reference AFN#202401100143

Shown on sheets 3 and 4

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iv. Label all assigned road names

Labeled

2. Amend the access easement agreement benefitting parcel #00590700017503 to include utilities as well as access.

Amended on sheet 2 and easement document amended by client.

3. Amend the Covenants, Conditions and Restrictions to include street signs under section 6.2.3.

Client added "street signs" per request in Section 6.2.3 of the CC&R's. Please see page 14 of the revised CC&R's.

Prior to approval of final plat

4. The applicant demonstrated that the purchase of 12 RDI bonus units is proposed; the payment of \$300,000 (12 x \$25,000) shall be required.

Client will pay the RDI fee immediately following final plat second plan check submittal.

5. All subdivisions or short subdivisions shall have all necessary power lines, telephone wires, television cables, fire alarm systems and other communication wires, cables or lines placed in underground location either by direct burial or by means of conduit or ducts and, with the exception of the city fire alarm system, providing service to each lot or potential building site in the plat.

Acknowledged. City and utility service provider inspectors have overseen such utility revisions.

6. For the required street trees and any supplemental landscaping, a landscaping maintenance security in the form of a bond, assignment of funds or irrevocable letter of credit, in an amount equal to the cost of landscape work (materials and labor) will be required to be submitted (See MMC Section 22G.040.040(2)). The security shall be required for a minimum duration of two growing seasons (March through October). Invoices/receipts shall be submitted when the landscaping work is complete so that a security amount can be determined. The security will be required to be on forms provided by the Community Development Department and will be required to be submitted prior to Final Inspection.

Acknowledged, upon landscape installation completion, receipts will be submitted to the city for review to calculate the bond amount.

7. The existing on-site sewage system(s) shall be abandoned by having the septic tank(s) pumped by a certified pumper, then having the top of the tank removed or destroyed and filling the void (WAC 246-272A-0300). Documentation demonstrating completion of this work shall be submitted prior to final PRD/BSP approval.

Documentation enclosed (invoice #329940 from Cuz Concrete Products, Inc. to KB Home's GC, Taylor Excavators, Inc).



8. Any existing on-site well(s) shall be decommissioned in accordance with WAC 173-160-381. If applicable, a copy of the well contractor's decommissioning report(s) shall be submitted prior to final PRD/BSP approval.

No onsite water well was discovered onsite, therefore, no decommission report is available.

City of Marysville Public Works – Development Services

Kacey Simon, Civil Plan Reviewer

(360) 363-8280

ksimon@marysvillewa.gov

9. The project is still under construction. The project has not received civil construction final approval as of this date. No final plat approval is to be granted prior to civil construction final approval.

Asbuilts were submitted on 9/23.

10. The project has not submitted record drawings for review and acceptance. The record drawings could change the easements, boundaries, or road alignment shown on the site plans. No final plat approval is to be granted prior to final record drawings being submitted and accepted by the city.

Asbuilts were submitted on 9/23.

11. Bills of sale for the water and sanitary sewer have not been submitted to date.

Bills of Sale submitted by Tom Abbot on 9/23.

12. Maintenance/ warranty bonds have not been submitted.

Client will submit maintenance/warrant bonds upon approval of sewer, water and storm drain Bill of Sales and landscape installation receipts to determine landscape maintenance bond amount with a minimum of two growing seasons.

City of Marysville Community Development – Building Division

Michael Snook, Building Official

(360) 363-8210

msnook@marysvillewa.gov

13. Applicant shall comply with any and or all provisions the 2021 Edition of the International Building, Residential, Mechanical, 2021 Uniform Plumbing Codes, and current Washington State Amendments.

Acknowledged and reflected on submitted and future submitted building permit applications.

14. All plans and permit applications will be required to be submitted electronically as part of their submittal process. One (1) complete set of building plans, structural calculations, and 2021 Washington State Energy Code work sheets.

Acknowledged. Client is adhering to electronic submittal process.

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15. Contact our office if you have questions in regard to permit applications, checklists, or handouts that you or your design team will need to prepare plans for on your project.

Acknowledged. Thank you.

16. If any demolition of structures is proposed, and you are unsure if permit/s will be required for the removal of any existing structures. Please contact the Building Division at 360-363-8100, to ask any specific questions. An asbestos report will be required for each demo permit.

Acknowledged. D24-0005 was issued to demo a vacant house, carport chicken cook, and garden shed located at 4612 (AKA 4614) 87th Ave NE prior to land development construction.

17. Separate permits will be required for any proposed rockeries or underground storm vaults. One (1) complete set of building plans, structural calculations, site plan, and Geotech Report are to be submitted for review.

Acknowledged. Separate permits were obtained; B23-0765 for retaining walls, B23-0762 for the east stormwater vault and B23-0763 for the west stormwater vault.

18. A grading permit will be required. A Geotechnical report shall be submitted to the City for this project. This is to be an in-depth report to address the following:

- a. Soil Classification
- b. Required Drainage Systems
- c. Soil Compaction Requirements
- d. Type of Footings, Foundations, and Slabs Allowed
- e. Erosion Control Requirements
- f. Retaining Walls
- g. Fill and Grade
- h. Final Grade

Acknowledged. Client obtained a grading permit (G23-0009) and submitted a Geotechnical report.

19. The building structure will be required to be designed under the 2021 IBC, Chapter 16, and Structural Design Requirements. The seismic zone criteria is to be established under the guidelines of a Washington State Licensed Architect and/or Structural Engineer.

Acknowledged and reflected on submitted and future submitted building permit applications.

20. Please provide scaled floor plans with square footage.

Acknowledged and reflected on submitted and future submitted building permit applications.

21. Show on the plans the type of building materials proposed, and if required, what type of fire-resistant construction will be required.

Acknowledged and reflected on submitted and future submitted building permit applications.



22. Site plan is to show the distance from the proposed structure to the property lines, from all sides of the building.

Acknowledged. All site plans will show the distance from the proposed structure to the property line from all sides of the building.

23. A Fire Sprinkler system may be required. The applicant is to verify this requirement with the Fire Marshal's Office.

Acknowledged. Client did confer with the Fire Marshal's Office. Per Tom Maloney, the homes on Lots 20 and 21 will require fire sprinkler systems to be installed.

24. All Electrical installations are to be permitted, inspected and approved through the City. The current code is the 2023 NEC. A separate application, plans, and plan review will be required.

Acknowledged. All applications will be submitted to comply with the current 2023 NEC code.

25. Special Inspection may be required. The list of the type of inspections shall be indicated on the plans by the Engineer of Record. The owner is to notify the City of the registered special inspection agency prior to permit issuance.

Acknowledged and reflected on all pertaining approved plans.

26. Building application for plan review will be approximately 4-6 weeks for first-time plan review comments.

Acknowledged.

Marysville Fire District

Brian Merkley, Assistant Fire Marshall

(360) 363-8500

bmerkley@mfdrrfa.org

27. General information

a. The project shall comply with current fire code requirements (2021 IFC) including WA State and local City of Marysville amendments to the fire code, city design standards, and all applicable NFPA standards, including IFC Chapter 33 and NFPA 241 construction codes.

Acknowledged, clients' plans will comply with current fire code requirements (2021 IFC) including WA State and local City of Marysville amendments to the fire code, city design standards, and all applicable NFPA standards, including IFC Chapter 33 and NFPA 241 construction codes.

b. Fire Marshal approval of fire access and fire hydrant/water supply systems is required as part of the civil construction plan review and approval process.

Acknowledged.

28. Water related

a. Sprinkler Requirements: Based on the previous plan review letter dated



September 7, 2023, the following items need to be addressed:

“In addition to previous reviews, the following items require attention:

Due to distance from the public right of way, lots 20, 21, 26, and 27 will require fire sprinklers.

Note 19 has been added to the final plat under ‘Restrictions, Covenants’ on sheet 2 of 4 regarding lots 20 and 21 requiring sprinklers, see enclosed email correspondence between Tom Maloney and Jamie Aubrey dated 9/24 regarding the remaining lots.

Auto courts require signage stating “NO PARKING – FIRE LANE” added to both sides. Please add detail to civil plans to be used in the field.”

Acknowledged. This detail is on the approved civil plans and the signs have been installed onsite per plan.

b. Where residential fire sprinklers may be required the developer should install a water service per Standard Plan 2-090-001 Full $\frac{3}{4}$ ” x 1” Meter Service. Under this plan a 1” tap is made at the water main and 1” piping is run to the 1” meter setter. If in the end a $\frac{3}{4}$ ” water meter will suffice then all that is required is to install two reducer bushings with the $\frac{3}{4}$ ” water meter. A single service tap should be used where sprinklers are required, not a double service installation.

Acknowledged.

c. Fire Flow: It is the developer’s responsibility to see that adequate water for fire protection is attainable. The minimum required fire flow is determined using IFC Appendix B, and depends upon building sizes, construction types, and sprinkler systems. Proof of fire flow will be required. Documentation/certification of available water supplies for providing the required fire flows is required for final approval of the water system for this project and prior to building construction. Check with the city Public Works Dept. for water system information.

Acknowledged.

d. Fire Hydrants: Provide water main extensions with hydrants along the new roadways and at all road intersections in approved locations, with maximum spacing of 300 feet apart for multi-family / commercial / industrial zones.

Acknowledged per approved plans and field improvements.

e. Fire hydrants shall comply with city Water Design Standard 2-060 Hydrants, including 5” Storz fittings, with blue reflective hydrant markers to be provided in the roadways, located four inches off the centerline on the hydrant side of the road.

Acknowledged per approved plans and field improvements.



f. Fire hydrants with approved water supply must be in service prior to building construction. (2021 IFC 3313)

Acknowledged.

29. Access Related

a. Dead Ends: Turnaround provision is required for dead-end access in excess of 150 feet long. Turnarounds shall comply with city standard plans. (MMC 9.04.503.2.5).

Acknowledged per approved plans and field improvements.

b. Access for firefighting operations along all sides of all buildings is required. A minimum 5' wide access is required for MF dwellings. All parts of building exteriors should be accessible for firefighting by an approved route around the building, and be within 150 feet of a minimum 20' wide fire apparatus access. (2021 IFC 503.1.1)

Acknowledged per approved plans and field improvements.

c. Access Road width with a hydrant: Where a fire hydrant is located on a fire apparatus access road, the minimum road width shall be 26 feet, exclusive of shoulders. (2021 IFC D103.1)

Acknowledged.

d. Grade: Fire apparatus access roads shall not exceed 10% grade. (2021 IFC 103.2)

Acknowledged.

e. Turning Radius: The minimum inside turn radius shall be 25 feet. Outside turn radius shall be 45 feet. (2021 IFC D103.3)

Acknowledged.

f. An adequate access route for fire apparatus must be in service prior to any building construction. (2021 IFC 3311)

Acknowledged.

g. Address Identification: New construction shall have address posted in a clearly visible location for emergency response. (2021 IFC 505)

Acknowledged, noting addresses for Lots 24 – 27 will be posted facing 87th Ave NE as the homes will front 87th Ave NE (see also 'Restrictions, Covenants', Note 5 on sheet 2 of 4 of the final plat.

h. "NO PARKING - FIRE LANE" signs are required on both sides of all roads that are 26 feet wide or less. The signage shall be identified on the approved Civil Plans. (MMC 9.04.101, 2021 IFC Appendix D103.6.1) Roads more than 26 feet and less than 32 feet in width shall have signs placed on one side. (D103.6.2)



Acknowledged per approved plans and field improvements.

i. The city address committee will determine road names and address numbers for the lots.

Received.

City of Marysville – Engineering

Kimberly Bournes, PLS, Engineering Technician

(360) 363-8106

kbournes@marysvillewa.gov

30. Several lots in the Lot Closures do not match the plat map

The lot closures have been updated and checked to the plat.

31. Sheet 1, lower left corner has overlapping text.

Fixed overlapping text.

32. Sheet 4, distances along Road A right of way are missing.

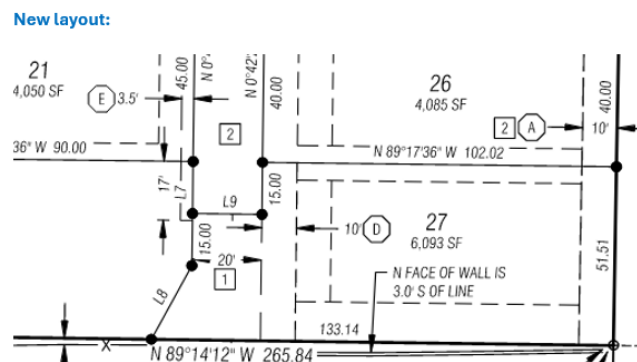
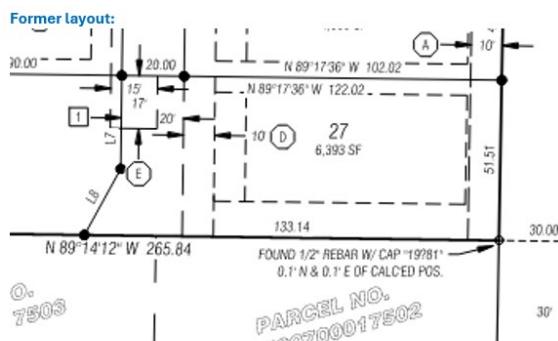
Added.

33. See attached “Site Plan Markups 2”.

Revised.

New Client Comments:

1. The submittal includes updated Subdivision Guarantee, Certificate No. 500148587c, Amendment 2, dated September 25, 2024, and is reflected on sheets 2 and 3 of the revised final plat map.
2. The client would like to propose a realignment of Lot 27 and Tract 997 to prevent pedestrians from having to cross Lot 27 (with an access easement) in order to enter Tract 999 from the east and to more align the western property line of Lot 27 with Lots 24 – 26. The client would like to submit an engineered plan change to conduct the revision onsite and amend the final plat prior to recording. This realignment is reflected on sheet 4 of the final plat and the Lot Closure Calculations.



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