

SE 1/4 SEC 9, TWN 30 N, RGE 5E., W.M., MARYSVILLE, WASHINGTON  
**MACK TOWNHOMES**  
 PRELIMINARY PLANS

**LEGEND AND ABBREVIATIONS**

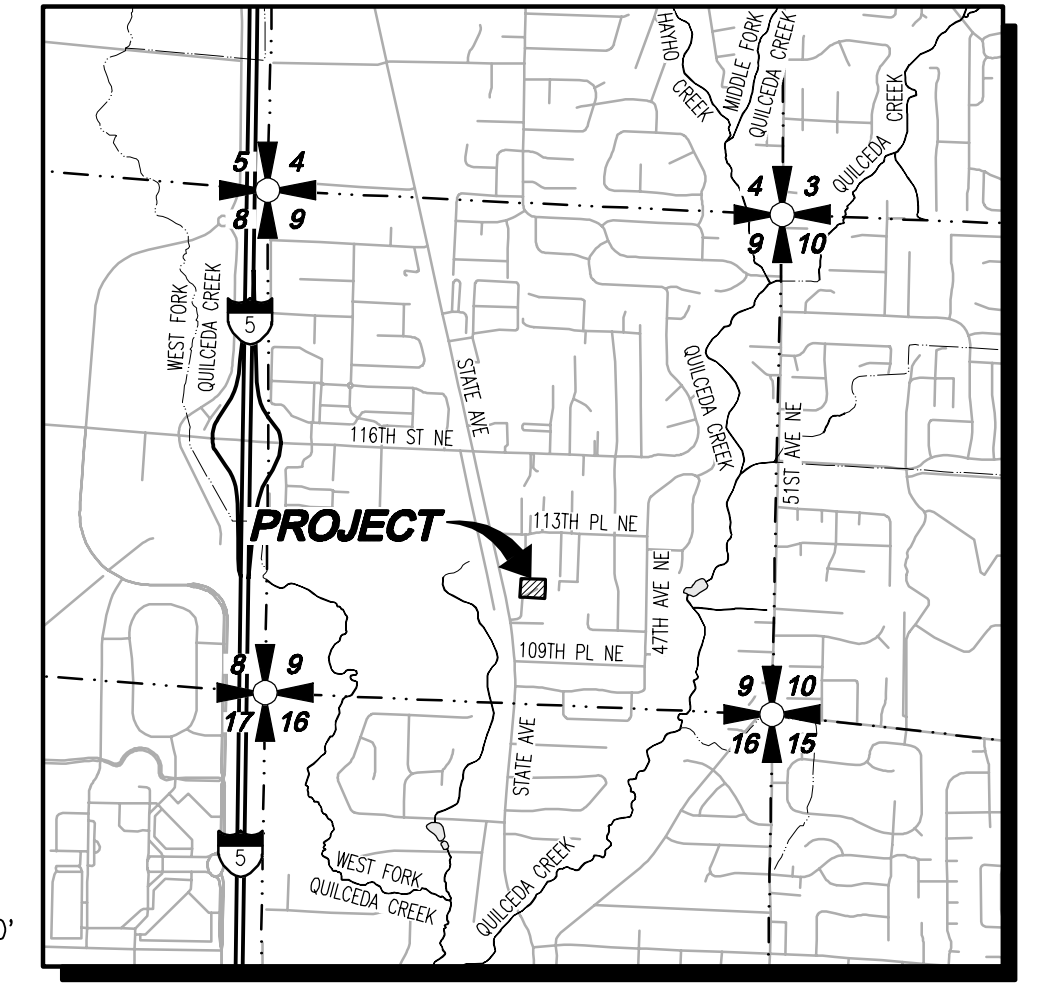
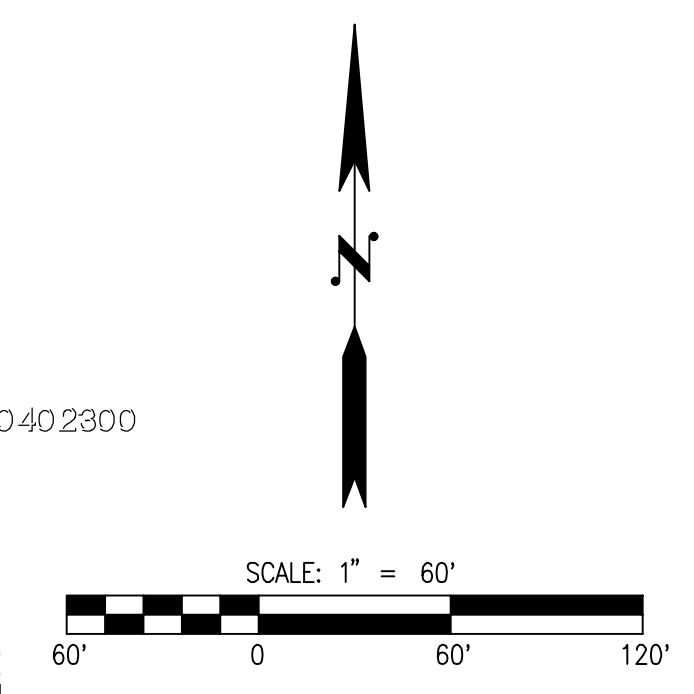
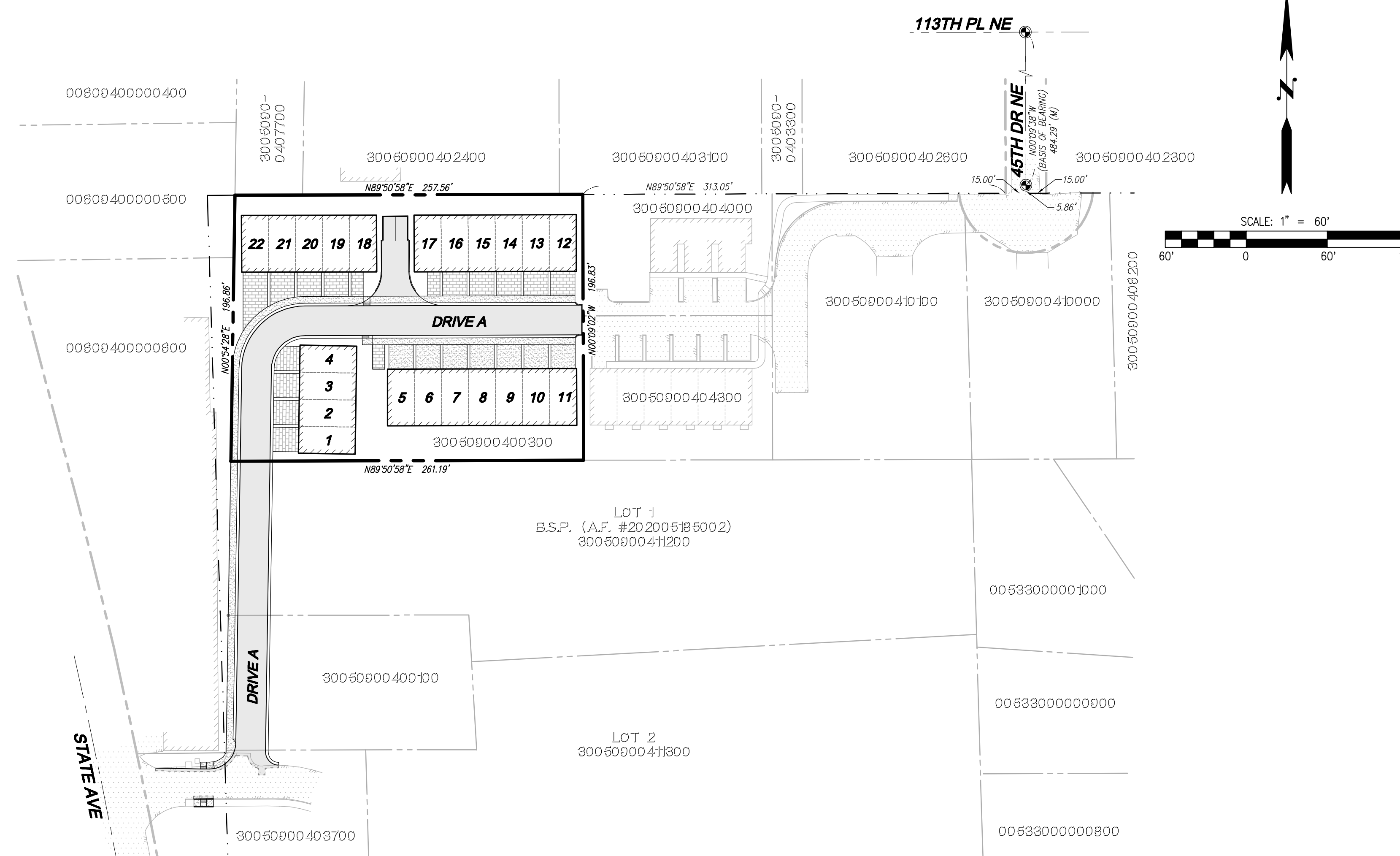
EXISTING SYMBOLS		ABBREVIATIONS	
●	MONUMENT	CB	CATCH BASIN
○	REBAR AND CAP	CL	CENTERLINE
□	LINE STAKE	CMP	CORRUGATED METAL PIPE
□ CB	TYPE 1 CATCH BASIN	CP	CONCRETE PIPE
○	YARD DRAIN	EL	ELEVATION
○	SANITARY SEWER MANHOLE	EXIST.	EXISTING
○	FIRE HYDRANT	E	FLOWLINE
○	WATER METER	IE	INVERT ELEVATION
○	WATER VALVE	LCPE	LINE CORRUGATED POLYETHYLENE
○	WATER BLOWOFF	PL	PROPERTY LINE
○	POWER POLE	PP	POWER POLE
○	GUY ANCHOR	PVC	POLYVINYL CHLORIDE PIPE
○	LIGHT POLE	R/W	RIGHT-OF-WAY
○	BOLLARD	STA	STATION
		SD	STORM DRAIN
		SS	SANITARY SEWER
		SSMH	SANITARY SEWER MANHOLE
		SWPE	SOLID WALL POLYETHYLENE PIPE
		TYP	TYPICAL
		TBR	TO BE REMOVED

PROPOSED STORM SYMBOLS		PROPOSED WATER SYMBOLS	
□	TYPE 1 CATCH BASIN, GRATED LID	□	WATER CAP
■	TYPE 1 CATCH BASIN, SOLID LID	□	CONCRETE BLOCKING
□	TYPE 2 CATCH BASIN, GRATED LID	○	BUTTERFLY VALVE
□	TYPE 2 CATCH BASIN, SOLID LID	○	11" BEND
○	BEEHIVE MANHOLE COVER	○	45" BEND
○	SQUARE YARD DRAIN	○	90° BEND
○	ROUND YARD DRAIN	○	22" BEND
○	STORM CLEAN OUT	○	VALVE
○	STORM PIPE	○	HYDRANT ASSEMBLY
		○	BLOW-OFF VALVE
		○	REDUCER
		○	AIR-VAC ASSEMBLY
		○	WATER METER
		○	WATER PIPE

PROPOSED SEWER SYMBOLS	
○	SEWER CAP
○	SEWER CLEANOUT
○	SEWER MANHOLE
○	SEWER PIPE



**SURVEY INFORMATION**  
**LEGAL DESCRIPTION**  
 FOR APN/PARCEL ID(S): 300509-004-003-00  
 THAT PORTION OF THE NORTH 3/8 OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 9, TOWNSHIP 30 NORTH RANGE 5 EAST, W.M., DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTH QUARTER CORNER OF SAID SECTION 9; THENCE NORTH 0°50'30" WEST ALONG THE NORTH AND SOUTH CENTER LINE OF SAID SECTION 9 FOR 1305.27 FEET TO THE NORTHWEST CORNER OF SAID SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER; THENCE SOUTH 89°13'14" EAST ALONG THE NORTH LINE OF SAID SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER FOR 19.23 FEET TO THE WESTERLY MARGIN OF THE OLD MARYSVILLE - ARLINGTON RAILWAY RIGHT OF WAY, THE TRUE POINT OF BEGINNING; THENCE CONTINUE SOUTH 89°13'14" EAST ALONG THE NORTH LINE OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER FOR 257.52 FEET; THENCE SOUTH 0°46'46" WEST FOR 201.25 FEET MORE OR LESS, TO THE SOUTH LINE OF THE NORTH 4 ACRES OF THAT PORTION OF SAID NORTH 3/8 LYING WEST OF THE EAST 5 ACRES OF SAID NORTH 3/8; THENCE NORTH 89°13'14" WEST ALONG SAID SOUTH LINE FOR 261.06 FEET, TO AN INTERSECTION WITH THE WESTERLY MARGIN OF THE OLD MARYSVILLE - ARLINGTON RAILWAY RIGHT OF WAY; THENCE NORTH 147°07" EAST ALONG THE WESTERLY MARGIN OF SAID RIGHT OF WAY FOR 201.27 FEET TO THE TRUE POINT OF BEGINNING;

SITUATE IN THE COUNTY OF SNOHOMISH, STATE OF WASHINGTON.  
**BENCHMARK**  
 RIM OF EXISTING CATCH BASIN  
 ELEVATION = 69.00' (FROM AS-BUILTS)

**BASIS OF BEARING**  
 RECORD OF SURVEY  
 (A.F. #200708155007)

**EQUIPMENT & PROCEDURES**  
 METHOD OF SURVEY:  
 SURVEY PERFORMED BY FIELD TRAVERSE  
 INSTRUMENTATION:  
 LEICA TS 12, 3 SECOND TOTAL STATION  
 PRECISION:  
 MEETS OR EXCEEDS STATE STANDARDS WAC 332-130-090

**SURVEY NOTES**  
 1. BOUNDARY LINES SHOWN AND CORNERS SET REPRESENT DEED LOCATIONS; OWNERSHIP LINES MAY VARY. NO GUARANTEE OF OWNERSHIP IS EXPRESSED OR IMPLIED. THIS SURVEY PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT AND DOES NOT PURPORT TO SHOW ALL EASEMENTS, RESTRICTIONS, RESERVATIONS AND OCCUPATION WHICH MAY ENCUMBER TITLE TO OR USE OF THIS PROPERTY.  
 2. UNDERGROUND UTILITY LOCATIONS WERE DETERMINED FROM EXISTING SURFACE FEATURES AND AVAILABLE RECORDS. WEST ALLIANCE, LLC CANNOT GUARANTEE THE ACCURACY OF THESE RECORDS. CALL BEFORE YOU DIG! FOR UTILITY LOCATIONS IN SNOHOMISH COUNTY, CALL 1-800-424-5555.

**CONTACT LIST**

**OWNER/APPLICANT:**  
 TEC HOLDINGS 123, LLC.  
 502 STATE AVE  
 MARYSVILLE, WASHINGTON 98270  
 CONTACT: ROCHELLE HANSEN  
 PHONE: (425) 422-5588

**CIVIL ENGINEER:**  
 LDC, INC.  
 20210 142ND AVE NE  
 WOODINVILLE, WASHINGTON 98072  
 CONTACT: TOM ABBOTT, PE  
 PHONE: (425) 806-1869  
 FAX: (425) 482-2893  
 EMAIL: tabbot@ldccorp.com

**SURVEYOR:**  
 WEST ALLIANCE  
 13614 ASH WAY  
 EVERETT, WASHINGTON 98204  
 CONTACT: DAVID WEST JR., PLS  
 PHONE: (509) 630-0783  
 EMAIL: matrixsurveyor@live.com

**LANDSCAPE ARCHITECT:**  
 ROOT OF DESIGN, LLC.  
 2020 MALTBY RD, STE 7, PMB 370  
 BOTHELL, WASHINGTON 98021  
 CONTACT: DEVIN PETERSON  
 PHONE: (206) 491-9545  
 EMAIL: devin@rootofdesign.com

**GEOTECHNICAL ENGINEER:**  
 EARTH SOLUTIONS NW, LLC.  
 15365 NE 90TH ST, #100  
 REDMOND, WASHINGTON 98052  
 CONTACT: RAY COGLAS, PE  
 PHONE: (425) 449-4704  
 FAX: (425) 449-4711  
 EMAIL: rayc@esnw.com

**PROJECT INFORMATION**

TAX PARCEL: 30050900400300  
 SITE ADDRESS: 11115 SMOKEY POINT BLVD NE MARYSVILLE, WA 98271  
 SITE AREA: 51,053 SF (1.17 AC)  
 ZONING: MU  
 PROPOSED UNITS: 22  
 DIMENSIONAL STANDARDS:  
 BASE DENSITY: 28 DU/AC  
 MAX DENSITY: 28 DU/AC  
 BASE HEIGHT: 45'  
 MAX IMPERVIOUS SURFACE: 75%  
 OPEN SPACE: 200 SF OF PRIVATE OPEN SPACE PER UNIT  
 WATER: CITY OF MARYSVILLE  
 SEWER: CITY OF MARYSVILLE  
 POWER: SNOHOMISH COUNTY PUD NO. 1  
 GAS: PUGET SOUND ENERGY  
 TELEPHONE: COMCAST  
 CABLE: COMCAST  
 SCHOOL DISTRICT: MARYSVILLE SCHOOL DISTRICT NO. 25  
 FIRE DISTRICT: MARYSVILLE FIRE DISTRICT RFA

SETBACKS:  
 STREET: 20'  
 REAR BOUNDARY: 15'  
 SIDE: 5'

REQUIRED PARKING:  
 2 PARKING SPOTS PER UNIT  
 PLUS 1 GUEST PARKING SPOT PER UNIT  
 69 PARKING SPOTS (2 DRIVEWAY, 1 GARAGE STALL)  
 PLUS 1 ADDITIONAL GUEST

PROPOSED PARKING:

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8	PRELIMINARY ROAD PROFILES
9	PRELIMINARY ROAD PROFILES AND SECTIONS
10	PRELIMINARY COMPOSITE UTILITY PLAN
L1-L3	LANDSCAPE PLANS

**EARTHWORK QUANTITIES**

CUT: 500 CY  
 FILL: 2,500 CY  
 STRIPPINGS: 1,000 CY  
 DISTURBED AREA: 64,746 SF (1.49 AC)  
 CUT/FILL ESTIMATES ARE FOR PERMITTING PURPOSES ONLY. CONTRACTOR TO RUN EARTH CALCULATIONS FOR SPECIFIC DATA.

**UTILITY NOTE**

THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. AGENCIES INVOLVED SHALL BE NOTIFIED WITHIN A REASONABLE TIME PRIOR TO THE START OF CONSTRUCTION.

**DISCLAIMER**

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Call 2 Business Days Before You Dig  
**811 or 1-800-424-5555**  
 Utilities Underground Location Center

NO.	DATE	DESCRIPTION

BY: \_\_\_\_\_

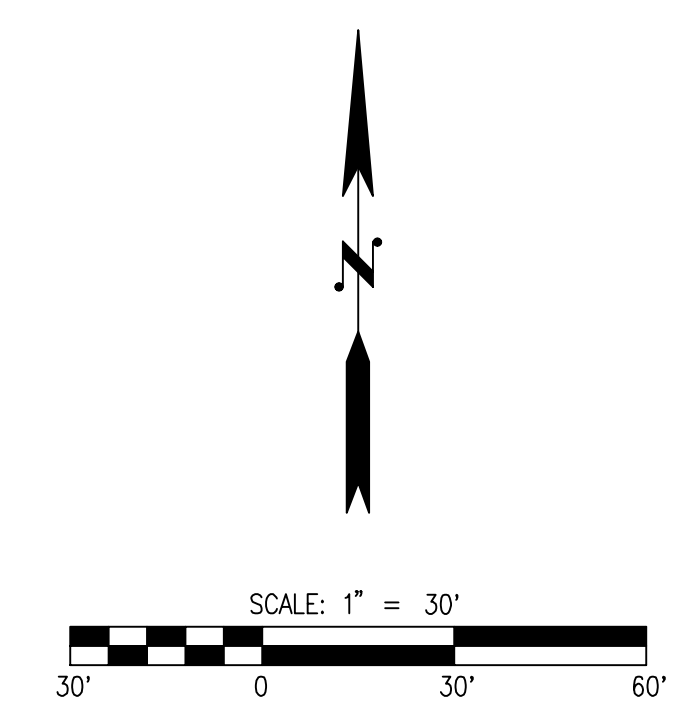
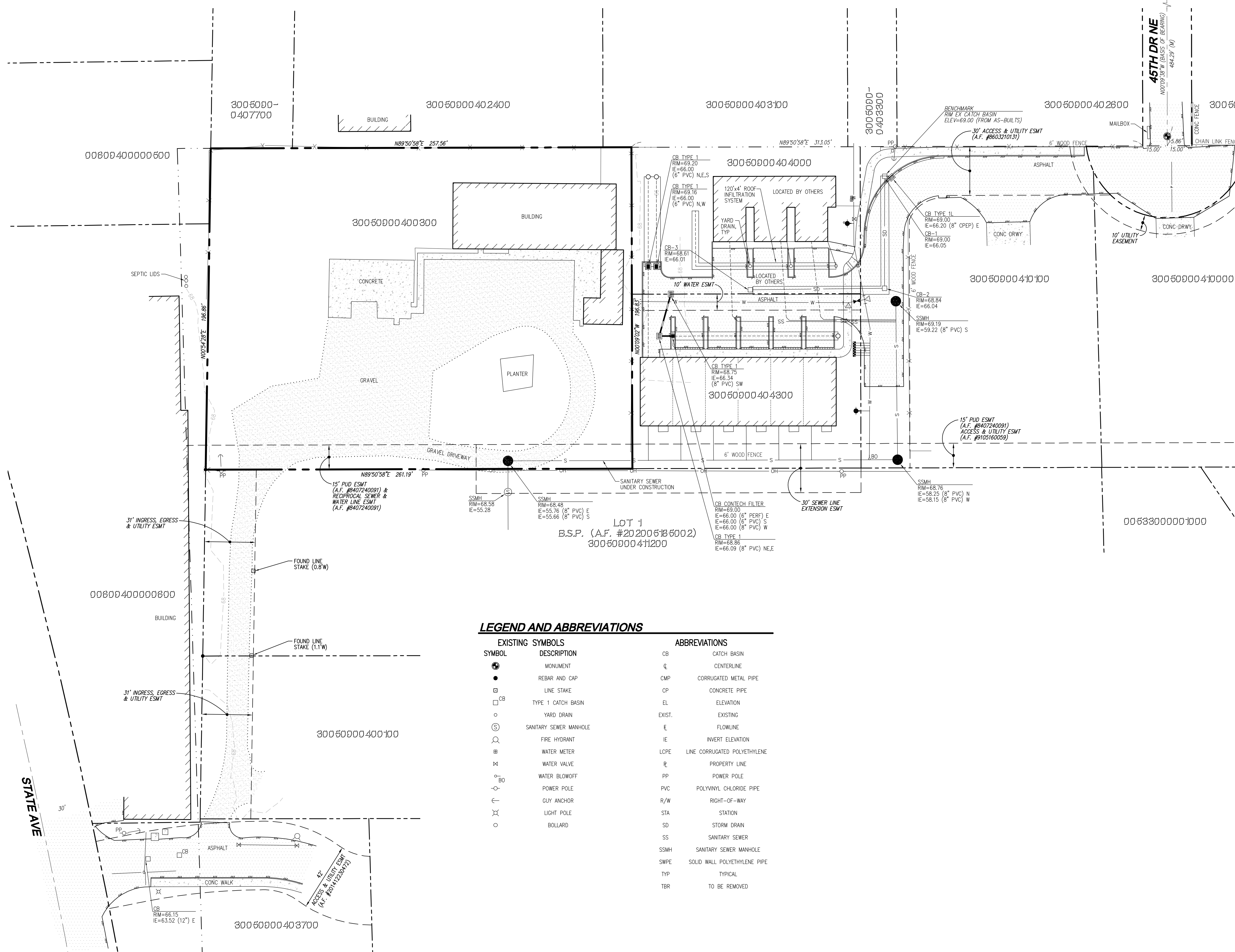
**LDC** | Surveying Engineering Planning  
 Kent Woodinville Olympia  
 20210 142nd Avenue NE Woodinville, WA 98072  
 T 425.806.1869 www.LDCcorp.com F 425.482.2893

TEC HOLDINGS 123, LLC  
**MACK TOWNHOMES**  
 COVER SHEET

**THOMAS P. ABBOTT**  
 58921  
 PROFESSIONAL ENGINEER

JOB NUMBER: C22-172  
 DRAWING NAME: C22172P-CS-PL  
 DESIGNER: TPA  
 DRAFTING BY: BJN  
 DATE: 6-28-22  
 SCALE: 1"=60'  
 JURISDICTION: MARYSVILLE

**CS-01**  
 SHEET 1 OF 10



**SURVEY INFORMATION**

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RIM OF EXISTING CATCH BASIN  
 ELEVATION = 69.00' (FROM AS-BUILTS)

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RECORD OF SURVEY  
 (A.F. #200708155007)

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 INSTRUMENTATION:  
 LEICA TS 12, 3 SECOND TOTAL STATION  
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**LEGEND AND ABBREVIATIONS**

EXISTING SYMBOLS		ABBREVIATIONS	
SYMBOL	DESCRIPTION	CB	CATCH BASIN
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⊠	LINE STAKE	CP	CONCRETE PIPE
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○	YARD DRAIN	EXIST.	EXISTING
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⊕	POWER POLE	PVC	POLYVINYL CHLORIDE PIPE
⊕	GUY ANCHOR	R/W	RIGHT-OF-WAY
⊕	LIGHT POLE	STA	STATION
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**UTILITY NOTE**

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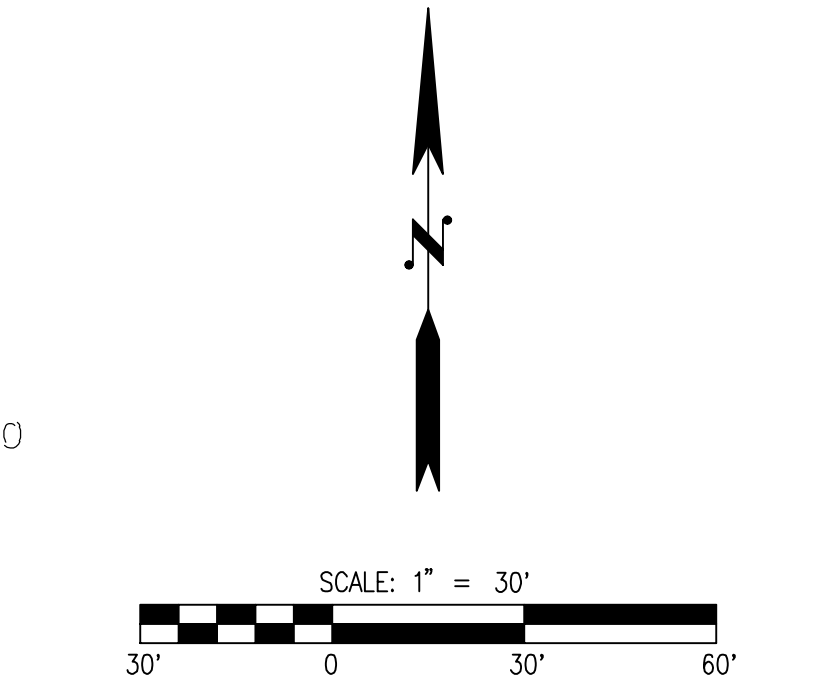
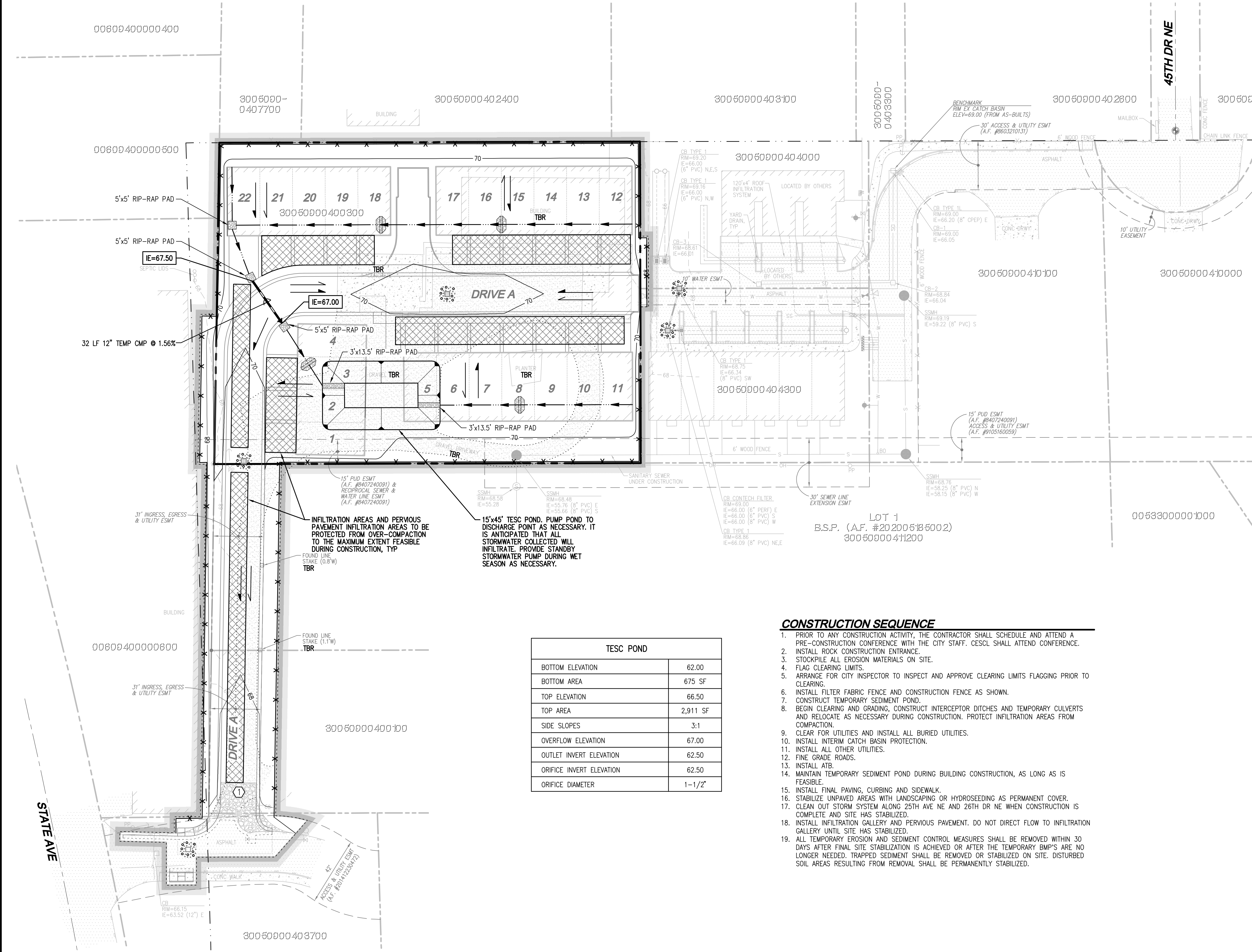
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**TEC HOLDINGS 123, LLC**  
**MACK TOWNHOMES**  
 EXISTING CONDITIONS MAP

JOB NUMBER:	C22-172
DRAWING NAME:	C22172P-10-PL
DESIGNER:	TPA
DRAFTING BY:	BJN
DATE:	6-28-22
SCALE:	1"=30'
JURISDICTION:	MARYSVILLE

SE 1/4 SEC 9, TWN 30 N, RGE 5E., W.M., MARYSVILLE, WASHINGTON



- LEGEND**
- CLEARING AREA
  - PROTECTED AREA
  - CLEARING LIMITS
  - SILT FENCE
  - CONVEYANCE SWALE
  - ROCK CONSTRUCTION ENTRANCE
  - CATCH BASIN PROTECTION
  - TESC POND
  - PRE DEVELOPMENT DRAINAGE PATTERN
  - POST DEVELOPMENT DRAINAGE PATTERN
  - RIP-RAP PAD
  - INSTALL CHECK DAM EVERY 100' OR 2' OF ELEVATION CHANGE
  - INFILTRATION AREA

**EARTHWORK QUANTITIES**

CUT: 500 CY  
 FILL: 2,500 CY  
 STRIPPINGS: 1,000 CY  
 DISTURBED AREA: 64,746 SF (1.49 AC)  
 CUT/FILL ESTIMATES ARE FOR PERMITTING PURPOSES ONLY. CONTRACTOR TO RUN EARTH CALCULATIONS FOR SPECIFIC DATA.

TESC POND	
BOTTOM ELEVATION	62.00
BOTTOM AREA	675 SF
TOP ELEVATION	66.50
TOP AREA	2,911 SF
SIDE SLOPES	3:1
OVERFLOW ELEVATION	67.00
OUTLET INVERT ELEVATION	62.50
ORIFICE INVERT ELEVATION	62.50
ORIFICE DIAMETER	1-1/2"

**CONSTRUCTION SEQUENCE**

1. PRIOR TO ANY CONSTRUCTION ACTIVITY, THE CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH THE CITY STAFF. CESCL SHALL ATTEND CONFERENCE.
2. INSTALL ROCK CONSTRUCTION ENTRANCE.
3. STOCKPILE ALL EROSION MATERIALS ON SITE.
4. FLAG CLEARING LIMITS.
5. ARRANGE FOR CITY INSPECTOR TO INSPECT AND APPROVE CLEARING LIMITS FLAGGING PRIOR TO CLEARING.
6. INSTALL FILTER FABRIC FENCE AND CONSTRUCTION FENCE AS SHOWN.
7. CONSTRUCT TEMPORARY SEDIMENT POND.
8. BEGIN CLEARING AND GRADING, CONSTRUCT INTERCEPTOR DITCHES AND TEMPORARY CULVERTS AND RELOCATE AS NECESSARY DURING CONSTRUCTION. PROTECT INFILTRATION AREAS FROM COMPACTION.
9. CLEAR FOR UTILITIES AND INSTALL ALL BURIED UTILITIES.
10. INSTALL INTERIM CATCH BASIN PROTECTION.
11. INSTALL ALL OTHER UTILITIES.
12. FINE GRADE ROADS.
13. INSTALL ATB.
14. MAINTAIN TEMPORARY SEDIMENT POND DURING BUILDING CONSTRUCTION, AS LONG AS IS FEASIBLE.
15. INSTALL FINAL PAVING, CURBING AND SIDEWALK.
16. STABILIZE UNPAVED AREAS WITH LANDSCAPING OR HYDROSEEDING AS PERMANENT COVER.
17. CLEAN OUT STORM SYSTEM ALONG 25TH AVE NE AND 26TH DR NE WHEN CONSTRUCTION IS COMPLETE AND SITE HAS STABILIZED.
18. INSTALL INFILTRATION GALLERY AND PERVIOUS PAVEMENT. DO NOT DIRECT FLOW TO INFILTRATION GALLERY UNTIL SITE HAS STABILIZED.
19. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY BMP'S ARE NO LONGER NEEDED. TRAPPED SEDIMENT SHALL BE REMOVED OR STABILIZED ON SITE. DISTURBED SOIL AREAS RESULTING FROM REMOVAL SHALL BE PERMANENTLY STABILIZED.

**UTILITY NOTE**

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TEC HOLDINGS 123, LLC  
**MACK TOWNHOMES**  
 PRELIMINARY TESC PLAN

REVISIONS

NO.	DATE	DESCRIPTION

BY

**LDC** | Surveying Engineering Planning  
 Kent Olympia  
 Woodinville Woodinville, WA 98072  
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THOMAS P. ABBOTT  
 56921  
 PROFESSIONAL ENGINEER

JOB NUMBER: C22-172  
 DRAWING NAME: C22172P-ER-PL  
 DESIGNER: TPA  
 DRAFTING BY: BJN  
 DATE: 6-28-22  
 SCALE: 1"=30'  
 JURISDICTION: MARYSVILLE

**ER-01**  
 SHEET 3 OF 10

Drawing: P:\Civil\2022\C22-172 Mack Townhomes\Drawings\Preliminary\C22172P-ER-PL.dwg Plotted: Jun 28, 2022 - 4:09pm

SE 1/4 SEC 9, TWN 30 N, RGE 5E., W.M., MARYSVILLE, WASHINGTON

GENERAL NOTES

- 1. ALL WORK IN CITY RIGHT-OF-WAY REQUIRES A PERMIT FROM THE CITY OF MARYSVILLE. PRIOR TO ANY WORK COMMENCING, THE GENERAL CONTRACTOR SHALL ARRANGE FOR A PRECONSTRUCTION MEETING AT THE DEVELOPMENT SERVICES CENTER TO BE ATTENDED BY ALL CONTRACTORS THAT WILL PERFORM WORK SHOWN ON THE APPROVED ENGINEERING PLANS, REPRESENTATIVES FROM ALL APPLICABLE UTILITY COMPANIES, THE PROJECT OWNER AND APPROPRIATE CITY STAFF. CONTACT DEVELOPMENT SERVICES AT (360-363-8100) TO SCHEDULE THE MEETING. THE CONTRACTOR IS RESPONSIBLE TO HAVE THEIR OWN SET OF APPROVED PLANS AT THE MEETING.
2. AFTER COMPLETION OF ALL ITEMS SHOWN ON THESE PLANS AND BEFORE ACCEPTANCE OF THE PROJECT THE CONTRACTOR SHALL OBTAIN A "PUNCH LIST" PREPARED BY THE CITY'S INSPECTOR DETAILING REMAINING ITEMS OF WORK TO BE COMPLETED. ALL ITEMS OF WORK SHOWN ON THESE PLANS SHALL BE COMPLETED TO THE SATISFACTION OF THE CITY PRIOR TO ACCEPTANCE OF THE WATER, SANITARY SEWER AND STORM SYSTEMS.
3. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION (HEREINAFTER REFERRED TO AS THE "STANDARD SPECIFICATIONS"), WASHINGTON STATE DEPARTMENT OF TRANSPORTATION AND AMERICAN PUBLIC WORKS ASSOCIATION, WASHINGTON STATE CHAPTER, LATEST EDITION, UNLESS SUPERSEDED OR AMENDED BY THE CITY OF MARYSVILLE CITY ENGINEERING DESIGN AND DEVELOPMENT STANDARDS (HEREINAFTER REFERRED TO AS THE "CITY STANDARDS").
4. ALL WORK WITHIN THE DEVELOPMENT AND CITY RIGHT-OF-WAY SHALL BE SUBJECT TO THE INSPECTION OF THE CITY ENGINEER OR DESIGNATED REPRESENTATIVE. PRIOR TO ANY SITE CONSTRUCTION INCLUDING CLEARING/LOGGING OR GRADING, THE SITE CLEARING LIMITS SHALL BE LOCATED AND FIELD IDENTIFIED BY THE PROJECT SURVEYOR (OR PROJECT ENGINEER) AS REQUIRED BY THESE PLANS. THE PROJECT SURVEYOR'S NAME AND PHONE NUMBER IS KEN WILLIAMS AT 425-408-1152.
5. THE DEVELOPER, CONTRACTOR AND PROJECT ENGINEER IS RESPONSIBLE FOR WATER QUALITY AS DETERMINED BY THE MONITORING PROGRAM ESTABLISHED BY THE PROJECT ENGINEER. THE PROJECT ENGINEER'S NAME AND PHONE NUMBER IS TOM ABBOTT AT 425-806-1869.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS FOR UTILITY, ROAD, AND RIGHT-OF-WAY CONSTRUCTION. THE CONTRACTOR FOR THIS PROJECT IS TO BE DETERMINED.
7. THE CONSTRUCTION STORMWATER POLLUTION PREVENTION PLAN (SWPPP) BEST MANAGEMENT PRACTICES (BMP'S) SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED SWPPP PRIOR TO ANY GRADING OR EXTENSIVE LAND CLEARING. THESE FACILITIES MUST BE SATISFACTORILY MAINTAINED UNTIL CONSTRUCTION AND LANDSCAPING IS COMPLETED AND FINAL STABILIZATION HAS OCCURRED. SEDIMENT LADEN WATERS SHALL NOT ENTER THE CITY STORMWATER DRAINAGE SYSTEM OR A NATURAL DRAINAGE SYSTEM.
8. THE CONTRACTOR SHALL KEEP TWO SETS OF PLANS ON SITE AT ALL TIMES FOR RECORDING RECORD DRAWING INFORMATION; ONE SET SHALL BE SUBMITTED TO THE PROJECT ENGINEER, AND ONE SET SHALL BE SUBMITTED TO THE CITY ENGINEER AT COMPLETION OF CONSTRUCTION AND PRIOR TO FINAL ACCEPTANCE OF WORK. PRIOR TO CONSTRUCTION THE OWNER AND/OR CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER AND THE CITY ENGINEER WHEN CONFLICTS EXIST BETWEEN THE PLANS AND FIELD CONDITIONS. CONFLICTS SHALL BE RESOLVED (INCLUDING PLAN AND PROFILE REVISIONS) AND RESUBMITTED FOR APPROVAL PRIOR TO PROCEEDING WITH CONSTRUCTION.
9. ANY REVISIONS MADE TO THESE PLANS, OR CHANGES TO THE DESIGN MUST BE REVIEWED AND APPROVED BY THE DEVELOPER'S ENGINEER AND THE CITY PRIOR TO ANY IMPLEMENTATION IN THE FIELD. THE CITY SHALL NOT BE RESPONSIBLE FOR ANY ERRORS AND/OR OMISSIONS ON THESE PLANS.
10. THE CONTRACTOR SHALL HAVE ALL UTILITIES VERIFIED ON THE GROUND PRIOR TO ANY CONSTRUCTION. CALL (811) AT LEAST TWO WORKING DAYS IN ADVANCE. PRIOR TO CONSTRUCTION THE OWNER AND/OR CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER AND THE CITY ENGINEER WHEN CONFLICTS EXIST BETWEEN THE PLANS AND FIELD CONDITIONS. CONFLICTS SHALL BE RESOLVED (INCLUDING PLAN AND PROFILE REVISIONS) AND RESUBMITTED FOR APPROVAL PRIOR TO PROCEEDING WITH CONSTRUCTION.
11. CITY OF MARYSVILLE HORIZONTAL DATUM SHALL BE NAD 83, AND THE VERTICAL DATUM SHALL BE NAVD 88, IN WASHINGTON STATE PLANE COORDINATES (FEET), WASHINGTON NORTH ZONE 4601. A LIST OF BENCHMARKS IS AVAILABLE THROUGH THE PUBLIC WORKS DEPARTMENT.
12. TEMPORARY STREET PATCHING SHALL BE ALLOWED FOR AS APPROVED BY THE CITY ENGINEER. TEMPORARY STREET PATCHING SHALL BE PROVIDED BY PLACEMENT AND COMPACTION OF A1B OR CLASS B ASPHALT CONCRETE. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AS REQUIRED.
13. PROVIDE TRAFFIC CONTROL PLAN(S) IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AS REQUIRED.
14. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE A COPY OF THESE APPROVED PLANS ON CONSTRUCTION SITE AT ALL TIMES.
15. ANY STRUCTURE AND/OR OBSTRUCTION THAT REQUIRES REMOVAL OR RELOCATION RELATING TO THIS PROJECT SHALL BE DONE SO AT THE DEVELOPER'S EXPENSE.
16. LOCATIONS OF EXISTING UTILITIES ARE APPROXIMATE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE TRUE ELEVATIONS AND LOCATIONS OF HIDDEN UTILITIES. ALL VISIBLE ITEMS SHALL BE THE ENGINEER'S RESPONSIBILITY. LOCATION OF UTILITIES SHOWN ON CONSTRUCTION PLANS ARE BASED ON BEST RECORDS AVAILABLE AND ARE SUBJECT TO VARIATION. FOR ASSISTANCE IN UTILITY LOCATION, CALL 1-800-424-5555.
17. THE CONTRACTOR SHALL INSTALL, REPLACE, OR RELOCATE ALL SIGNS, AS SHOWN ON THE PLANS OR AS AFFECTED BY CONSTRUCTION, PER CITY STANDARDS.
18. POWER, STREET LIGHT, CABLE, AND TELEPHONE LINES SHALL BE IN A TRENCH LOCATED WITHIN A 10-FOOT UTILITY EASEMENT ADJACENT TO PUBLIC RIGHT-OF-WAY. RIGHT-OF-WAY CROSSINGS SHALL HAVE A MINIMUM HORIZONTAL SEPARATION FROM OTHER UTILITIES (SEWER, WATER, AND STORM) OF 5 FEET.
19. ALL CONSTRUCTION SURVEYING FOR EXTENSIONS OF PUBLIC FACILITIES SHALL BE DONE UNDER THE DIRECTION OF A WASHINGTON STATE LICENSED LAND SURVEYOR OR A WASHINGTON STATE LICENSED PROFESSIONAL CIVIL ENGINEER.
20. DURING CONSTRUCTION, ALL PUBLIC STREETS ADJACENT TO THIS PROJECT SHALL BE KEPT CLEAN OF ALL MATERIAL DEPOSITS RESULTING FROM ON-SITE CONSTRUCTION, AND EXISTING STRUCTURES SHALL BE PROTECTED AS DIRECTED BY THE CITY.
21. CERTIFIED RECORD DRAWINGS ARE REQUIRED PRIOR TO PROJECT ACCEPTANCE.
22. A NPDES STORMWATER GENERAL PERMIT MAY BE REQUIRED BY THE DEPARTMENT OF ECOLOGY FOR THIS PROJECT. FOR INFORMATION VISIT THE DEPARTMENT OF ECOLOGY WEB SITE WWW.ECY.WA.GOV/PROGRAMS/WQ/STORMWATER/CONSTRUCTION/.
23. ANY DISTURBANCE OR DAMAGE TO CRITICAL AREAS AND ASSOCIATED BUFFERS, OR SIGNIFICANT TREES DESIGNATED FOR PRESERVATION AND PROTECTION SHALL BE MITIGATED IN ACCORDANCE WITH A MITIGATION PLAN REVIEWED AND APPROVED BY THE CITY'S PLANNING DIVISION. PREPARATION AND IMPLEMENTATION OF THE MITIGATION PLAN SHALL BE AT THE DEVELOPER'S EXPENSE.
24. A GRADING PERMIT ISSUED PURSUANT TO THE CURRENT ADOPTED INTERNATIONAL BUILDING CODE, AND APPROVAL OF THE TEMPORARY EROSION AND SEDIMENTATION CONTROL PLAN SHALL BE OBTAINED FROM THE COMMUNITY DEVELOPMENT DEPARTMENT PRIOR TO ANY ON-SITE GRADING WORK NOT EXPRESSLY EXEMPT BY THE CURRENT ADOPTED INTERNATIONAL BUILDING CODE.
25. PRIOR TO COMMENCEMENT OF FRAMING, FINAL DRAINAGE INSPECTION AND APPROVAL OF THE ROOF LEADER AND POSITIVE FOOTING SYSTEMS SHALL BE COMPLETED BY THE BUILDING DEPARTMENT. CALL 360-363-8100 TO SCHEDULE THE INSPECTION.

SITE GRADING AND SWPPP NOTES

- 1. ALL LIMITS OF CLEARING AND AREAS OF VEGETATION PRESERVATION AS PRESCRIBED ON THE PLANS SHALL BE CLEARLY FLAGGED IN THE FIELD AND OBSERVED DURING CONSTRUCTION.
2. ALL REQUIRED SEDIMENTATION AND EROSION CONTROL FACILITIES MUST BE CONSTRUCTED AND IN OPERATION PRIOR TO ANY LAND CLEARING AND/OR OTHER CONSTRUCTION TO ENSURE THAT SEDIMENT LADEN WATER DOES NOT ENTER THE NATURAL DRAINAGE SYSTEM. THE CONTRACTOR SHALL SCHEDULE AN INSPECTION OF THE EROSION CONTROL FACILITIES PRIOR TO ANY LAND CLEARING AND/OR OTHER CONSTRUCTION. ALL EROSION AND SEDIMENT FACILITIES SHALL BE MAINTAINED IN A SATISFACTORY CONDITION AS DETERMINED BY THE CITY, UNTIL SUCH TIME THAT CLEARING AND/OR CONSTRUCTION IS COMPLETED AND FINAL STABILIZATION HAS OCCURRED. THE IMPLEMENTATION, MAINTENANCE, REPLACEMENT, AND ADDITIONS TO THE EROSION AND SEDIMENTATION CONTROL SYSTEMS SHALL BE THE RESPONSIBILITY OF THE PERMITTEE.
3. THE EROSION AND SEDIMENTATION CONTROL SYSTEM FACILITIES DEPICTED ON THESE PLANS ARE INTENDED TO BE MINIMUM REQUIREMENTS TO MEET ANTICIPATED SITE CONDITIONS. AS CONSTRUCTION PROGRESSES AND UNEXPECTED OR SEASONAL CONDITIONS DICTATE, FACILITIES WILL BE NECESSARY TO ENSURE COMPLETE SILTATION CONTROL ON THE SITE. DURING THE COURSE OF CONSTRUCTION, IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE PERMITTEE TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY HIS ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES, OVER AND ABOVE THE MINIMUM REQUIREMENTS, AS MAY BE NEEDED TO PROTECT ADJACENT PROPERTIES, SENSITIVE AREAS, NATURAL WATER COURSES, AND/OR STORM DRAINAGE SYSTEMS.
4. APPROVAL OF THESE PLANS IS FOR GRADING, TEMPORARY DRAINAGE, EROSION AND SEDIMENTATION CONTROL ONLY. IT DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT STORM DRAINAGE DESIGN, SIZE OR LOCATION OF PIPES, RESTRICTORS, CHANNELS, OR RETENTION FACILITIES.
5. ANY DISTURBED AREA WHICH HAS BEEN STRIPPED OF VEGETATION AND WHERE NO FURTHER WORK IS ANTICIPATED FOR THE TIME PERIOD SET FORTH BY THE SWPPP, MUST BE IMMEDIATELY STABILIZED WITH MULCHING, GRASS PLANTING, OR OTHER APPROVED EROSION CONTROL TREATMENT APPLICABLE TO THE TIME OF YEAR IN QUESTION. DURING THE DRY SEASON (MAY 1 - SEPTEMBER 30) SOILS MAY BE EXPOSED AND UNWORKED FOR 7 DAYS. DURING THE WET SEASON (OCTOBER 1 - APRIL 30) SOILS MAY BE EXPOSED AND UNWORKED FOR 2 DAYS. GRASS SEEDING ALONE WILL BE ACCEPTABLE ONLY DURING THE DRY SEASON. SEEDING MAY PROCEED OUTSIDE THE SPECIFIED TIME PERIOD WHENEVER IT IS IN THE INTEREST OF THE PERMITTEE BUT MUST BE AUGMENTED WITH MULCHING, NETTING, OR OTHER TREATMENT APPROVED BY THE CITY.
6. IN CASE EROSION OR SEDIMENTATION OCCURS TO ADJACENT PROPERTIES, ALL CONSTRUCTION WORK WITHIN THE DEVELOPMENT THAT WILL FURTHER AGGRAVATE THE SITUATION MUST CEASE, AND THE OWNER/CONTRACTOR WILL IMMEDIATELY COMMENCE RESTORATION METHODS. RESTORATION ACTIVITY WILL CONTINUE UNTIL SUCH TIME AS THE AFFECTED PROPERTY OWNER IS SATISFIED.
7. STOCKPILES ARE TO BE LOCATED IN SAFE AREAS AND ADEQUATELY PROTECTED BY TEMPORARY SEEDING AND MULCHING. HYDROSEEDING IS PREFERRED. NO TEMPORARY OR PERMANENT STOCKPILING OF MATERIALS OR EQUIPMENT SHALL OCCUR WITHIN CRITICAL AREAS OR ASSOCIATED BUFFERS, OR THE CRITICAL ROOT ZONE FOR VEGETATION PROPOSED FOR RETENTION.
8. NON COMPLIANCE WITH THE REQUIREMENTS FOR EROSION CONTROLS, WATER QUALITY, AND CLEARING LIMITS MAY RESULT IN REVOCATION OF PROJECT PERMIT, PLAN APPROVAL, AND BOND FORECLOSURES.
9. ALL EARTH WORK SHALL BE PERFORMED IN ACCORDANCE WITH CITY STANDARDS. PRECONSTRUCTION SOILS INVESTIGATION MAY BE REQUIRED TO EVALUATE SOILS STABILITY.
10. IF CUT AND FILL SLOPES EXCEED A MAXIMUM OF TWO FEET HORIZONTAL TO ONE FOOT VERTICAL, A ROCK OR CONCRETE RETAINING WALL MAY BE REQUIRED. ALL ROCK RETAINING WALLS GREATER THAN FOUR (4) FEET IN HEIGHT ARE TO BE DESIGNED AND CERTIFIED BY A PROFESSIONAL ENGINEER EXPERIENCED IN SOIL MECHANICS.
11. THE SURFACE OF ALL SLOPES SHALL BE COMPACTED. THIS MAY BE ACCOMPLISHED BY OVER-BUILDING THE SLOPES, THEN CUTTING BACK TO FINAL GRADES, OR BY COMPACTING EACH LIFT AS THE SLOPE IS BEING CONSTRUCTED. ALL SLOPES SHALL BE COMPACTED BY THE END OF EACH WORKING DAY.
12. UPON COMPLETION OF WORK, FINAL REPORTS MUST BE SUBMITTED TO THE CITY IN CONFORMANCE WITH THE CURRENT CITY ADOPTED INTERNATIONAL BUILDING CODE.

CONSTRUCTION ENTRANCE NOTES

- 1. THE TEMPORARY CONSTRUCTION ENTRANCE SHOULD BE CLEARED OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL. DRAINAGE FACILITIES REQUIRED BECAUSE OF WASHING SHOULD BE CONSTRUCTED ACCORDING TO SPECIFICATIONS IN THE PLAN. IF WASH RACKS ARE USED, THEY SHOULD BE INSTALLED ACCORDING TO MANUFACTURERS SPECIFICATIONS. 5-46.
2. GRAVEL SHALL BE CRUSHED BALLAST ROCK, 8" TO 12" IN DEPTH AND INSTALLED TO THE SPECIFIED DIMENSIONS AT THE ENTRANCE.
3. THE GRAVEL BALLAST ROCK SHALL BE 4" TO 8" IN DIAMETER AND PLACED ACROSS THE FULL WIDTH OF THE VEHICULAR INGRESS AND EGRESS AREA. THE LENGTH OF ENTRANCE SHALL BE A MINIMUM OF 100 FEET OR AS SPECIFIED BY THE CITY CONSTRUCTION INSPECTOR OR DESIGNER.
4. IF CONDITIONS ON THE SITE ARE SUCH THAT MOST OF THE MUD IS NOT REMOVED FROM VEHICLE TIRES BY CONTACT WITH THE GRAVEL, THEN THE TIRES MUST BE WASHED BEFORE VEHICLES ENTER ONTO A PUBLIC ROAD. WASH WATER MUST BE CARRIED AWAY FROM ENTRANCE TO A SETTLING AREA TO REMOVE SEDIMENT. A WASH RACK MAY ALSO BE USED TO MAKE WASHING MORE CONVENIENT AND EFFECTIVE.
5. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 2" STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAY OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.

HYDROSEEDING GENERAL NOTES

- 1. CONSTRUCTION ACCEPTANCE WILL BE SUBJECT TO A WELL ESTABLISHED GROUND COVER THAT FULFILLS THE REQUIREMENTS OF THE APPROVED CONSTRUCTION PLANS AND CITY OF MARYSVILLE STANDARDS.
2. ALL DISTURBED AREAS SUCH AS RETENTION FACILITIES, ROADWAY BACKSLOPES, ETC., SHALL BE SEEDED WITH A PERENNIAL GROUND COVER GRASS TO MINIMIZE EROSION. GRASS SEEDING WILL BE DONE USING AN APPROVED HYDROSEEDER OR AS OTHERWISE APPROVED BY THE CITY OF MARYSVILLE.
3. PREPARATION OF SURFACE: ALL AREAS TO BE SEEDED SHALL BE CULTIVATED TO THE SATISFACTION OF THE CITY INSPECTOR. THIS MAY BE ACCOMPLISHED BY DISKING, RAKING, HARROWING, OR OTHER ACCEPTABLE MEANS.
4. IMMEDIATELY FOLLOWING FINISH GRADING PERMANENT VEGETATION SHALL BE APPLIED CONSISTENT WITH THE DESIGN AND MAINTENANCE STANDARDS FOR TEMPORARY AND PERMANENT SEEDING IN THE CITY ADOPTED DEPARTMENT OF ECOLOGY STORMWATER MANAGEMENT MANUAL FOR WESTERN WASHINGTON.
5. ALL HYDROSEEDING FIRMS SHALL HAVE A PRINTOUT OF THE APPLICATION RATE FOR EACH JOB READILY AVAILABLE FOR INSPECTION BY THE CONSTRUCTION INSPECTION DIVISION OF COMMUNITY DEVELOPMENT.
6. THE CITY OF MARYSVILLE CONSTRUCTION INSPECTION DIVISION OF COMMUNITY DEVELOPMENT SHALL BE NOTIFIED OF POTENTIAL HYDROSEEDING PRIOR TO THE COMMENCEMENT OF SAME TO ENSURE COMPLIANCE OF THESE SPECIFICATIONS.

THE CESCL IS RESPONSIBLE FOR:

- A. INSPECTING THE CONSTRUCTION SITE TO ENSURE THAT ALL CONSTRUCTION SWPPP MEASURES ARE FUNCTIONING AS INTENDED.
B. ALLOCATING RESOURCES TO REPAIR ALL EROSION CONTROL STRUCTURES THAT ARE IN NEED OF MAINTENANCE.
C. MONITORING WATER QUALITY FOR ANY STORM DRAINAGE THAT LEAVES THE SITE.
D. STOPPING AND/OR REDIRECTING CONSTRUCTION ACTIVITIES DEEMED NECESSARY TO PROTECT THE ENVIRONMENT.

SHOULD BMP PERFORMANCE GOALS NOT BE ACHIEVED, THE ONLY CONSTRUCTION ACTIVITIES THAT SHALL BE ALLOWED ARE THE REPAIR OF EXISTING EROSION CONTROL STRUCTURES, INSTALLATION OF ADDITIONAL BMP'S TO MINIMIZE THE TRANSPORT OF SEDIMENT OFFSITE, OR THOSE ACTIVITIES THAT DO NOT DISTURB EXPOSED EARTH AND DO NOT HAVE THE POTENTIAL TO GENERATE ADDITIONAL SEDIMENT.

THE THIRTEEN ELEMENTS OF A CONSTRUCTION SWPPP:

THE BMP'S REFERENCED BELOW ARE PER THE 2012 STORMWATER MANAGEMENT MANUAL FOR WESTERN WASHINGTON

- 1. MARK CLEARING LIMITS: THE CLEARING LIMITS ARE INDICATED ON THE PLAN SHEET. CLEARING AND GRADING WILL BE LIMITED TO ONLY AREAS THAT NEED TO BE DISTURBED FOR GRADING, AND PLACING OR STOCK PILING FILL AND TO PRESERVE AS MUCH NATURAL VEGETATION AND THE DUFF LAYER AS POSSIBLE. FIELD MARKING THE CLEARING LIMITS SHALL BE COMPLETED PRIOR TO ANY CLEARING OR DISTURBING THE SITE.
BMP'S:
C103 HIGH VISIBILITY PLASTIC OR METAL FENCE
C233 SILT FENCE
2. ESTABLISH CONSTRUCTION ACCESS: ACCESS TO THE CONSTRUCTION SITE SHALL BE LIMITED TO THE ROCK CONSTRUCTION ENTRANCES.
BMP'S:
C105 STABILIZED CONSTRUCTION ENTRANCE
3. CONTROL FLOW RATES: THE PROPOSED VAULT AND ASSOCIATED CONTROL STRUCTURE IN ADDITION TO FOUR SEPARATE TEMPORARY SEDIMENT POND WILL BE USED TO CONTROL FLOW RATES. SEDIMENT-LADEN RUNOFF WILL BE DIRECTED TO SEDIMENT POND A-D. THESE POND WILL DISCHARGE TO THE PERMANENT STORM SYSTEM AND WILL BE ROUTED TO THE PERMANENT DETENTION POND FOR FURTHER SEDIMENT CONTROL. ALL SEDIMENT SHALL BE REMOVED FROM THE VAULT AT THE END OF CONSTRUCTION.
BMP'S:
C241 TEMPORARY SEDIMENT POND
4. INSTALL SEDIMENT CONTROLS: SEDIMENT CONTROL WILL BE PROVIDED THROUGH A COMBINATION OF SILT FENCE, STORM DRAIN INLET PROTECTION, INTERCEPTOR SWALES, THE PERMANENT DETENTION VAULT, AND TEMPORARY SEDIMENT POND A-D.
BMP'S:
C200 INTERCEPTOR DIKE AND SWALE
C220 STORM DRAIN INLET PROTECTION
C233 SILT FENCE
C241 TEMPORARY SEDIMENT POND
5. STABILIZE SOILS: TEMPORARY AND PERMANENT SOIL STABILIZATION WILL BE PROVIDED. TEMPORARY STABILIZATION WILL BE PROVIDED TO EXPOSED WORKED EARTH. FROM OCTOBER 1 UNTIL APRIL 30, NO EXPOSED SOIL MAY REMAIN EXPOSED AND UNWORKED FOR MORE THAN TWO DAYS; FROM MAY 1 UNTIL SEPTEMBER 30, NO EXPOSED SOIL MAY REMAIN EXPOSED AND UNWORKED FOR MORE THAN SEVEN DAYS.
BMP'S:
C120 TEMPORARY AND PERMANENT SEEDING
C121 MULCHING
C123 PLASTIC COVERING
6. PROTECT SLOPES: SLOPES SHALL BE PROTECTED FROM EROSION THROUGH COVER AND SOIL STABILIZATION.
BMP'S:
C120 TEMPORARY AND PERMANENT SEEDING
C121 MULCHING
C123 PLASTIC COVERING
7. PROTECT DRAIN INLETS: INLET PROTECTION SHALL BE INSTALLED IN ALL CATCH BASINS AND REMAIN UNTIL CONSTRUCTION OF ALL THE RESIDENCES WITHIN THE DEVELOPMENT HAS BEEN COMPLETED. INLET PROTECTION SHALL BE INSPECTED REGULARLY AND THE FILTER FABRIC CLEANED/REPLACED AS NECESSARY. WHEN PROVIDING MAINTENANCE TO THE INLET PROTECTION, THE FABRIC SHALL BE REMOVED IN SUCH A WAY AS TO NOT ALLOW THE RETAINED SEDIMENT TO FALL INTO THE CATCH BASIN.
BMP'S:
C220 STORM DRAIN INLET PROTECTION
8. STABILIZE CHANNELS AND OUTLETS: ALL CHANNEL SLOPES SHALL BE CONSTRUCTED AND PROTECTED AGAINST EROSION.
BMP'S:
C201 GRASS LINED CHANNELS
C207 CHECK DAMS
9. CONTROL POLLUTANTS: POLLUTANTS SHALL BE CONTROLLED PER POLLUTANT CONTROL NOTES. SEE THIS SHEET FOR NOTES.
10. CONTROL DE-WATERING: DISPOSAL OPTIONS FOR DE-WATERING WATER ARE AS SPECIFIED IN THE DE-WATERING CONTROL NOTES. SEE THIS SHEET FOR NOTES. IN ADDITION, THE FOLLOWING BMP TO BE USED FOR SEDIMENT TRAPPING AND TURBIDITY REDUCTION INCLUDE:
C151 CONCRETE HANDLING
11. MAINTAIN BMP'S: MAINTENANCE OF THE BMP'S IS SPECIFIED IN THE CONSTRUCTION SEQUENCE AND GRADING AND EROSION CONTROL NOTES, SEE SHEET ER-01 AND THIS SHEET.
12. PROJECT MANAGEMENT: THE GRADING AND EROSION CONTROL NOTES SPECIFY SEASONAL WORK LIMITATIONS. BMP'S SHALL BE MAINTAINED PER ELEMENT #11.
13. INFILTRATION BMP AREAS SHALL BE PROTECTED FROM COMPACTION. THESE AREAS ARE IDENTIFIED ON SHEET ER-01.

POLLUTANT CONTROL NOTES

- 1. ALL POLLUTANTS, INCLUDING WASTE MATERIALS AND DEMOLITION DEBRIS, THAT OCCUR ON-SITE SHALL BE HANDLED AND DISPOSED OF IN A MANNER THAT DOES NOT CAUSE CONTAMINATION OF STORMWATER. WOODY DEBRIS MAY BE CHOPPED AND SPREAD ON SITE.
2. COVER, CONTAINMENT AND PROTECTION FROM VANDALISM SHALL BE PROVIDED FOR ALL CHEMICALS, LIQUID PRODUCTS, PETROLEUM PRODUCTS, AND NON-INERT WASTES PRESENT ON THE SITE (SEE CHAPTER 173-304 WAC FOR THE DEFINITION OF INERT WASTE).
3. ON-SITE FUELING TANKS SHALL INCLUDE SECONDARY CONTAINMENT.
4. ALL MAINTENANCE OF HEAVY EQUIPMENT AND VEHICLES SHALL BE DONE OFFSITE.
5. ACTIVITIES WHICH MAY RESULT IN DISCHARGE OR SPILLAGE OF POLLUTANTS TO THE GROUND OR INTO STORMWATER RUNOFF MUST BE CONDUCTED USING SPILL PREVENTION MEASURES, SUCH AS DRIP PANS. CONTAMINATED SURFACES SHALL BE CLEANED IMMEDIATELY FOLLOWING ANY DISCHARGE OR SPILL INCIDENT. EMERGENCY REPAIRS MAY BE PERFORMED ON-SITE USING TEMPORARY PLASTIC PLACED BENEATH AND, IF RAINING, OVER THE VEHICLE.
6. WHEEL WASH OR TIRE BATH WASTEWATER SHALL BE DISCHARGED TO A SEPARATE ON-SITE TREATMENT SYSTEM OR TO THE SANITARY SEWER.
7. APPLICATION OF AGRICULTURAL CHEMICALS, INCLUDING FERTILIZERS AND PESTICIDES, SHALL BE CONDUCTED IN A MANNER AND AT APPLICATION RATES THAT WILL NOT RESULT IN LOSS OF CHEMICAL TO STORMWATER RUNOFF. MANUFACTURERS' RECOMMENDATIONS FOR APPLICATION RATES AND PROCEDURES SHALL BE FOLLOWED.
8. BMP'S SHALL BE USED TO PREVENT OR TREAT CONTAMINATION OF STORMWATER RUNOFF BY PH MODIFYING SOURCES. THESE SOURCES INCLUDE, BUT ARE NOT LIMITED TO, BULK CEMENT, CEMENT KILN DUST, FLY ASH, NEW CONCRETE WASHING AND CURING WATERS, WASTE STREAMS GENERATED FROM CONCRETE GRINDING AND SAWING, EXPOSED AGGREGATE PROCESSES, AND CONCRETE PUMPING AND MIXER WASHOUT WATERS. STORMWATER DISCHARGES SHALL NOT CAUSE OR CONTRIBUTE TO A VIOLATION OF THE WATER QUALITY STANDARD FOR PH IN THE RECEIVING WATER.

DE-WATERING CONTROL NOTES

ALL TURBID DE-WATERING WATER SHALL BE DISPOSED OF USING ONE OF THE FOLLOWING OPTIONS:

- 1. INFILTRATION.
2. TRANSPORT OFFSITE IN A VEHICLE, SUCH AS A VACUUM FLUSH TRUCK, FOR LEGAL DISPOSAL IN A MANNER THAT DOES NOT POLLUTE STATE WATERS.
3. ECOLOGY-APPROVED ON-SITE CHEMICAL TREATMENT OR OTHER SUITABLE TREATMENT TECHNOLOGIES.
4. SANITARY SEWER DISCHARGE WITH LOCAL SEWER DISTRICT APPROVAL, IF THERE IS NO OTHER OPTION.
5. USE OF A SEDIMENTATION BAG WITH OUTFALL TO A DITCH OR SWALE FOR SMALL VOLUMES OF LOCALIZED DE-WATERING, OR FOUNDATION, VAULT, AND TRENCH DE-WATERING WATER, WHICH HAVE SIMILAR CHARACTERISTICS TO STORMWATER RUNOFF AT THE SITE, SHALL BE DISPERSED TO NATIVE VEGETATION AND/ OR DISCHARGED TO A SEDIMENTATION FACILITY.

UTILITY NOTE

THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. AGENCIES INVOLVED SHALL BE NOTIFIED WITHIN A REASONABLE TIME PRIOR TO THE START OF CONSTRUCTION.

DISCLAIMER

TOPOGRAPHIC SURVEY INFORMATION CONTAINED ON THESE PLANS HAS BEEN PROVIDED BY WEST ALLIANCE, LLC, INC. (LAND DEVELOPMENT CONSULTANTS, INC.) ASSUMES NO LIABILITY AS TO THE ACCURACY AND COMPLETENESS OF THIS DATA. ANY DISCREPANCIES FOUND BETWEEN WHAT IS SHOWN ON THE PLANS AND WHAT IS NOTED IN THE FIELD SHOULD BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ENGINEER.

MAINTENANCE OF SILTATION BARRIERS NOTE

- 1. SILTATION BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED BALES, END RUNS AND UNDERCUTTING BENEATH BALES. NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BALES SHALL BE ACCOMPLISHED PROMPTLY. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. SEDIMENT DEPOSITS MUST BE REMOVED WHEN SEDIMENT LEVEL REACHES APPROXIMATELY ONE-HALF THE SILTATION BARRIER HEIGHT. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE STRAW BALE BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.

EROSION, SEDIMENTATION AND WATER QUALITY SITE INSPECTIONS:

PRIOR TO ANY SITE DEVELOPMENT WORK TAKING PLACE, A PRE-CONSTRUCTION MEETING WITH THE CONTRACTOR, OWNER, CESCL, AND CITY INSPECTOR SHALL BE HELD.

THE DEPARTMENT OF ECOLOGY REQUIRES THAT CONSTRUCTION PROJECTS ONE ACRE OR LARGER RETAIN A CESCL TO ENSURE THAT THE PROJECT IS IN COMPLIANCE WITH THE CURRENT EROSION, SEDIMENTATION AND WATER QUALITY STANDARDS. THE OWNER WILL DESIGNATE A CESCL FOR THIS PROJECT. THE 24 HOUR CONTACT PERSON IS TO BE DETERMINED.

Table with columns: NO., DATE, REVISIONS, DESCRIPTION

LDC Surveying Engineering Planning logo and contact information for Kent, Woodinville, and Olympia offices.

TEC HOLDINGS 123, LLC MACK TOWNHOMES PRELIMINARY TESC NOTES AND DETAILS

Professional Engineer seal for Thomas P. Abbott, License No. 68921, State of Washington. Includes job number, drawing name, designer, drafter, date, scale, and jurisdiction information.

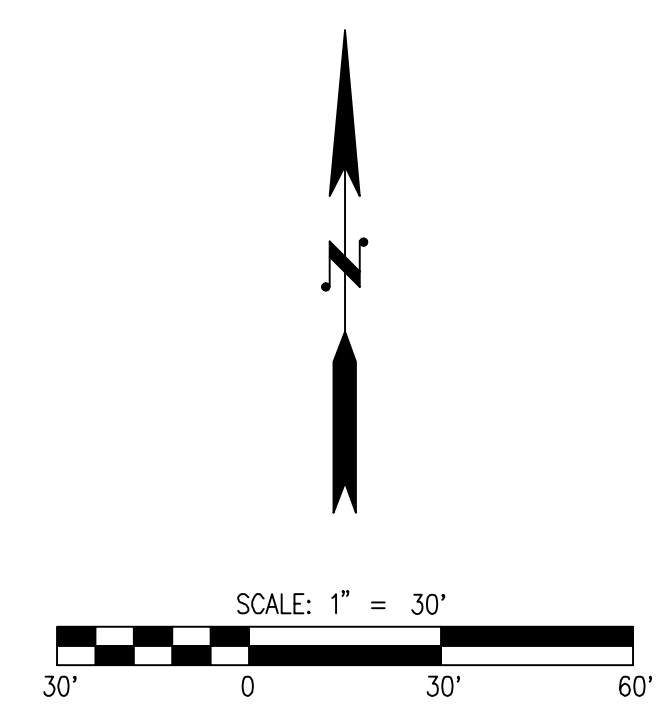
Call 2 Business Days Before You Dig 811 or 1-800-424-5555 Utilities Underground Location Center

Plotting: P:\Civil\2022\C22-172 Mack Townhomes\Drawings\Preliminary\C22172P-EP-01.dwg Plotter: Jun 28, 2022 - 4:00pm



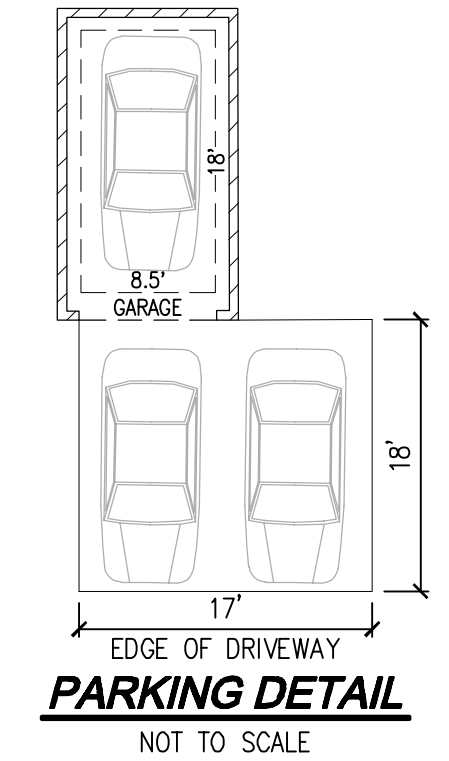
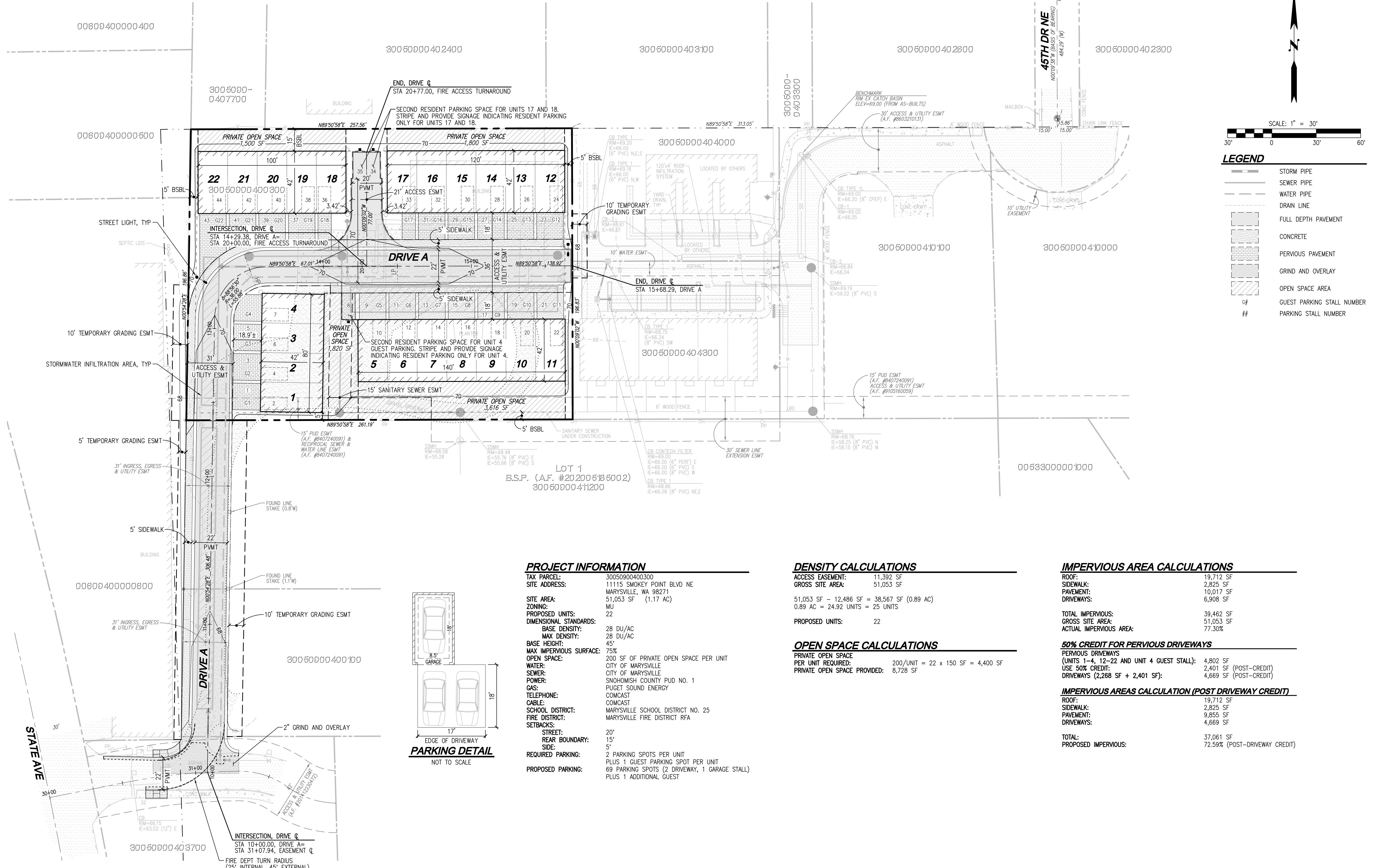
SE 1/4 SEC 9, TWN 30 N, RGE 5E., W.M., MARYSVILLE, WASHINGTON

113TH PL NE



LEGEND

- STORM PIPE
- SEWER PIPE
- WATER PIPE
- DRAIN LINE
- FULL DEPTH PAVEMENT
- CONCRETE
- PERVIOUS PAVEMENT
- GRIND AND OVERLAY
- OPEN SPACE AREA
- G#
- #



PROJECT INFORMATION

TAX PARCEL: 30050900400300  
 SITE ADDRESS: 11115 SMOKEY POINT BLVD NE, MARYSVILLE, WA 98271  
 SITE AREA: 51,053 SF (1.17 AC)  
 ZONING: MU  
 PROPOSED UNITS: 22  
 DIMENSIONAL STANDARDS:  
 - BASE DENSITY: 28 DU/AC  
 - MAX DENSITY: 28 DU/AC  
 - BASE HEIGHT: 45'  
 - MAX IMPERVIOUS SURFACE: 75%  
 OPEN SPACE: 200 SF OF PRIVATE OPEN SPACE PER UNIT  
 WATER: CITY OF MARYSVILLE  
 SEWER: CITY OF MARYSVILLE  
 POWER: SNOHOMISH COUNTY PUD NO. 1  
 GAS: PUGET SOUND ENERGY  
 TELEPHONE: COMCAST  
 CABLE: COMCAST  
 SCHOOL DISTRICT: MARYSVILLE SCHOOL DISTRICT NO. 25  
 FIRE DISTRICT: MARYSVILLE FIRE DISTRICT RFA  
 SETBACKS:  
 - STREET: 20'  
 - REAR BOUNDARY: 15'  
 - SIDE: 5'  
 REQUIRED PARKING: 2 PARKING SPOTS PER UNIT PLUS 1 GUEST PARKING SPOT PER UNIT  
 PROPOSED PARKING: 68 PARKING SPOTS (2 DRIVEWAY, 1 GARAGE STALL) PLUS 1 ADDITIONAL GUEST

DENSITY CALCULATIONS

ACCESS EASEMENT: 11,392 SF  
 GROSS SITE AREA: 51,053 SF  
 51,053 SF - 12,486 SF = 38,567 SF (0.89 AC)  
 0.89 AC = 24.92 UNITS = 25 UNITS  
 PROPOSED UNITS: 22

OPEN SPACE CALCULATIONS

PRIVATE OPEN SPACE PER UNIT REQUIRED: 200/UNIT = 22 x 150 SF = 4,400 SF  
 PRIVATE OPEN SPACE PROVIDED: 8,728 SF

IMPERVIOUS AREA CALCULATIONS

ROOF: 19,712 SF  
 SIDEWALK: 2,825 SF  
 PAVEMENT: 10,017 SF  
 DRIVEWAYS: 6,908 SF  
 TOTAL IMPERVIOUS: 39,462 SF  
 GROSS SITE AREA: 51,053 SF  
 ACTUAL IMPERVIOUS AREA: 77.30%

50% CREDIT FOR PERVIOUS DRIVEWAYS

PERVIOUS DRIVEWAYS (UNITS 1-4, 12-22 AND UNIT 4 GUEST STALL): 4,802 SF  
 USE 50% CREDIT: 2,401 SF (POST-CREDIT)  
 DRIVEWAYS (2,268 SF + 2,401 SF): 4,669 SF (POST-CREDIT)

IMPERVIOUS AREAS CALCULATION (POST DRIVEWAY CREDIT)

ROOF: 19,712 SF  
 SIDEWALK: 2,825 SF  
 PAVEMENT: 9,855 SF  
 DRIVEWAYS: 4,669 SF  
 TOTAL: 37,061 SF  
 PROPOSED IMPERVIOUS: 72.59% (POST-DRIVEWAY CREDIT)

UTILITY NOTE

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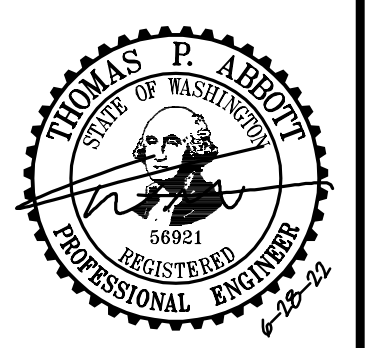
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NO.	DATE	DESCRIPTION

**LDC** Surveying Engineering Planning  
 Kent Woodinville Olympia  
 20210 142nd Avenue NE Woodinville, WA 98072  
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TEC HOLDINGS 123, LLC  
**MACK TOWNHOMES**  
 PRELIMINARY SITE PLAN

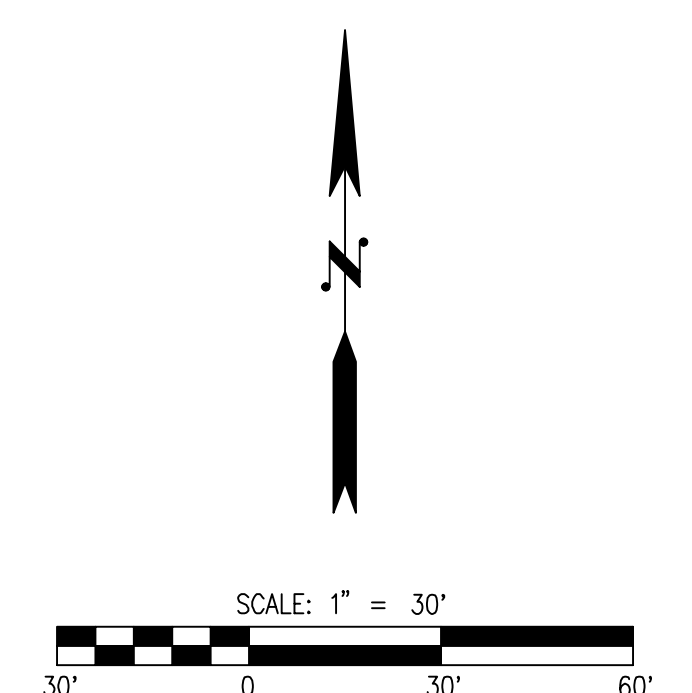
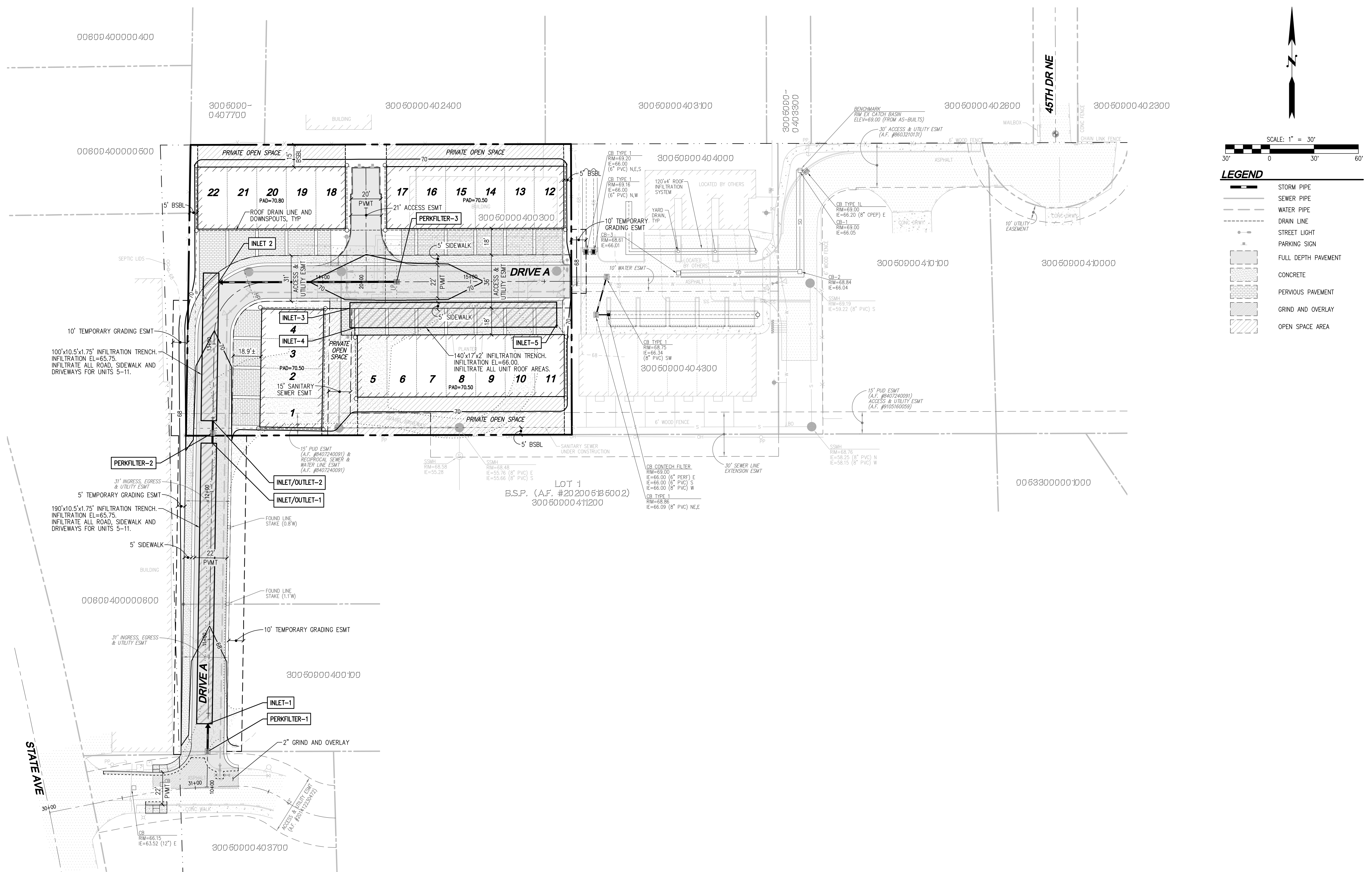


JOB NUMBER: C22-172  
 DRAWING NAME: C22172P-SP-PL  
 DESIGNER: TPA  
 DRAFTING BY: BJN  
 DATE: 6-28-22  
 SCALE: 1"=30"  
 JURISDICTION: MARYSVILLE

Call 2 Business Days Before You Dig  
**811 or 1-800-424-5555**  
 Utilities Underground Location Center

Drawing: P:\CMT\2022\C22-172 Mack Townhomes\Drawings\Preliminary\C22172P-SP-PL.dwg Printed: Jun 28, 2022 - 4:01pm

SE 1/4 SEC 9, TWN 30 N, RGE 5E., W.M., MARYSVILLE, WASHINGTON



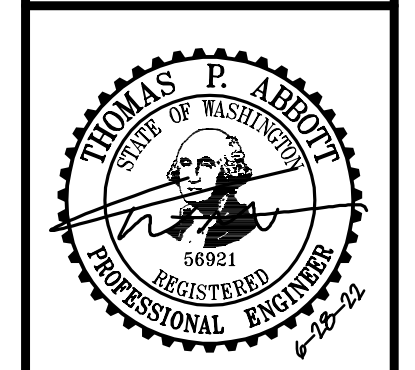
- LEGEND**
- STORM PIPE
  - SEWER PIPE
  - WATER PIPE
  - DRAIN LINE
  - STREET LIGHT
  - PARKING SIGN
  - FULL DEPTH PAVEMENT
  - CONCRETE
  - PERVIOUS PAVEMENT
  - GRIND AND OVERLAY
  - OPEN SPACE AREA

NO.	DATE	DESCRIPTION

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TEC HOLDINGS 123, LLC  
**MACK TOWNHOMES**  
PRELIMINARY ROAD, STORM DRAINAGE AND GRADING PLAN



JOB NUMBER: C22-172  
DRAWING NAME: C22172P-RD-PL  
DESIGNER: TPA  
DRAFTING BY: BJN  
DATE: 6-28-22  
SCALE: 1"=30"  
JURISDICTION: MARYSVILLE

**RD-01**  
SHEET 7 OF 10

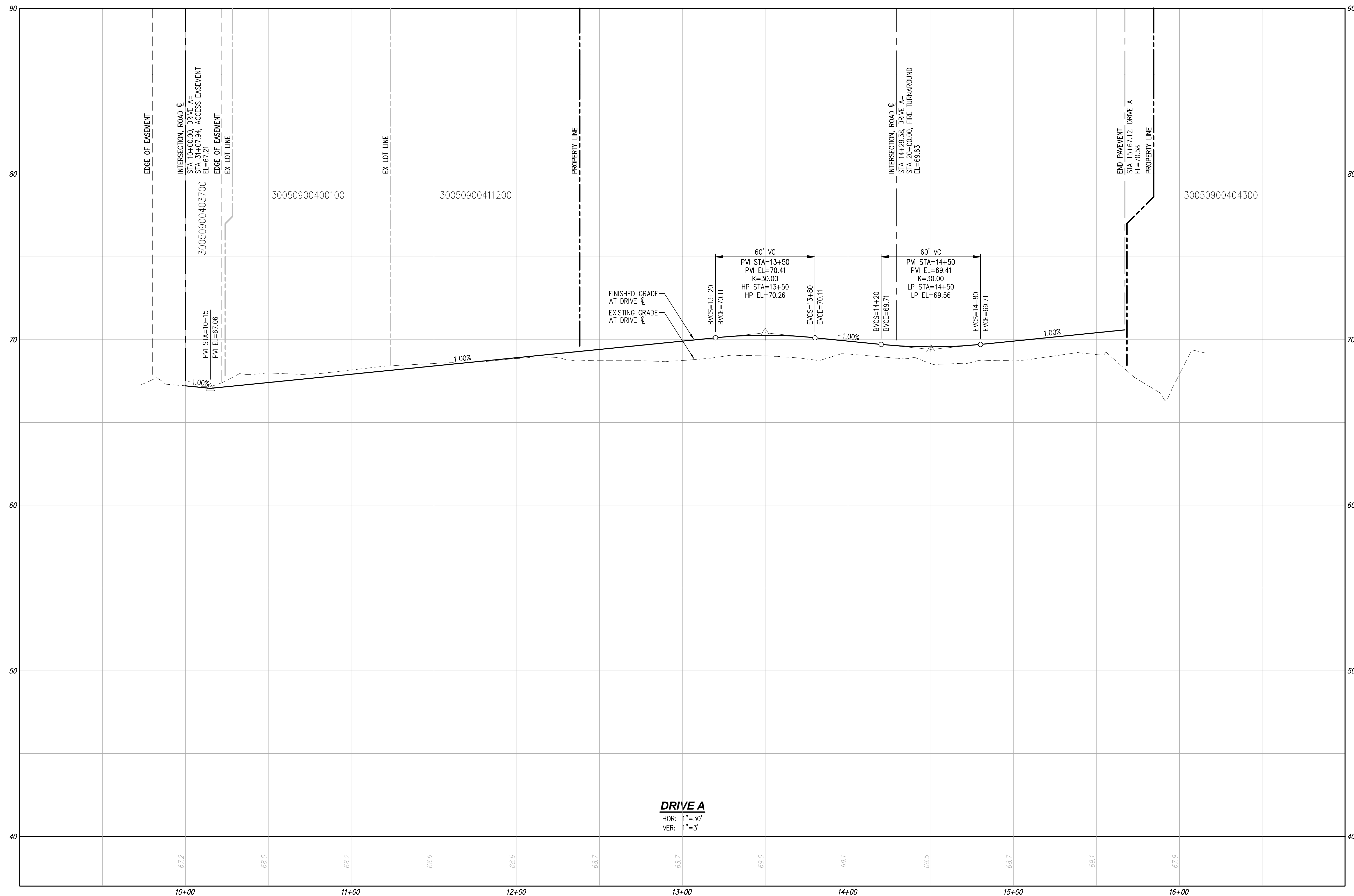
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Utilities Underground Location Center

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SE 1/4 SEC 9, TWN 30 N, RGE 5E., W.M., MARYSVILLE, WASHINGTON



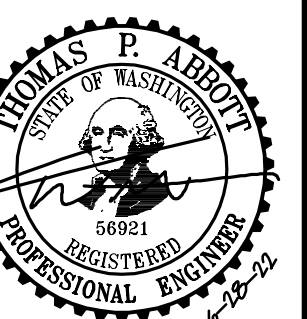
**DRIVE A**  
HOR: 1"=30'  
VER: 1"=3'

**UTILITY NOTE**

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DESIGNER: TPA  
DRAFTING BY: BJN  
DATE: 6-28-22  
SCALE: 1"=30'  
JURISDICTION: MARYSVILLE

**RD-01**

SHEET 8 OF 10

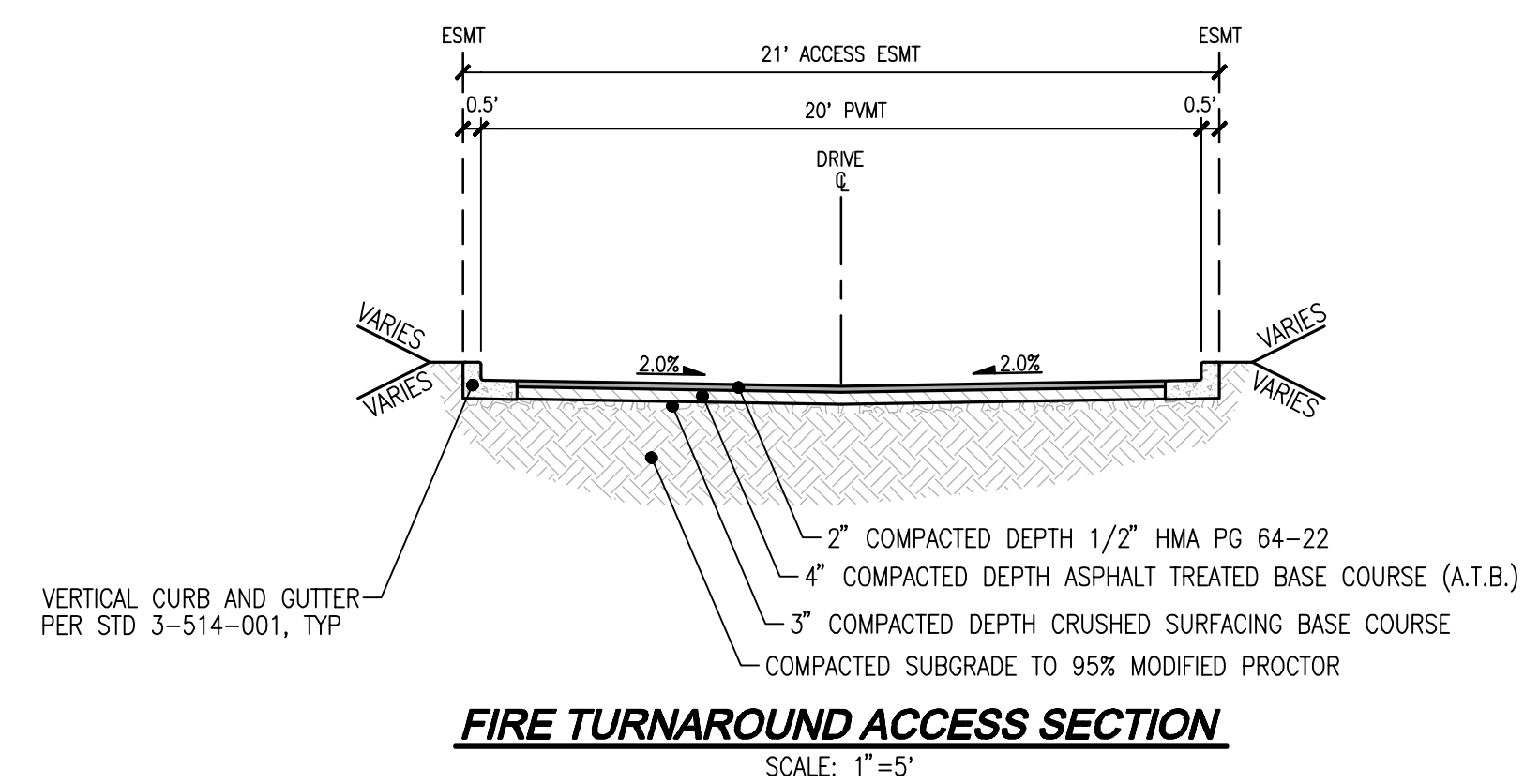
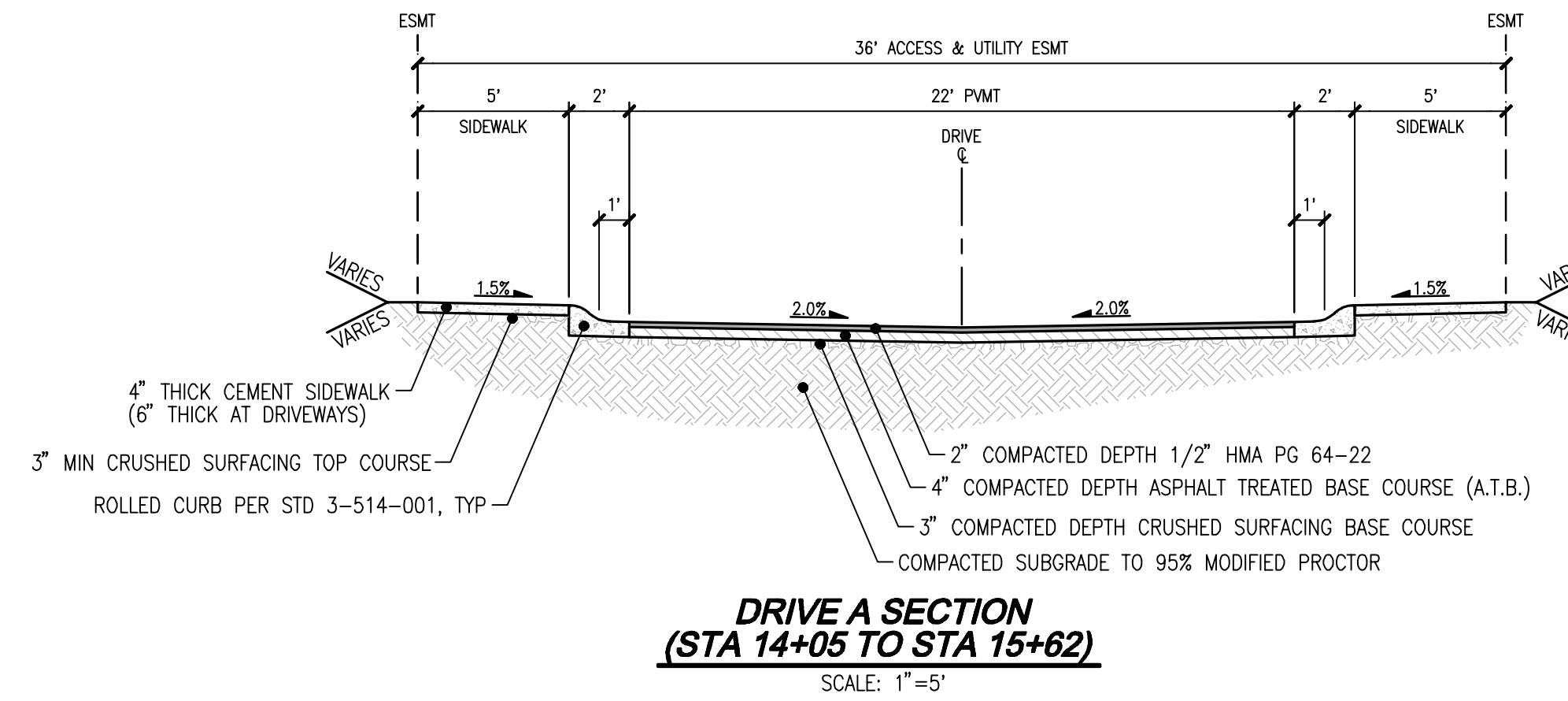
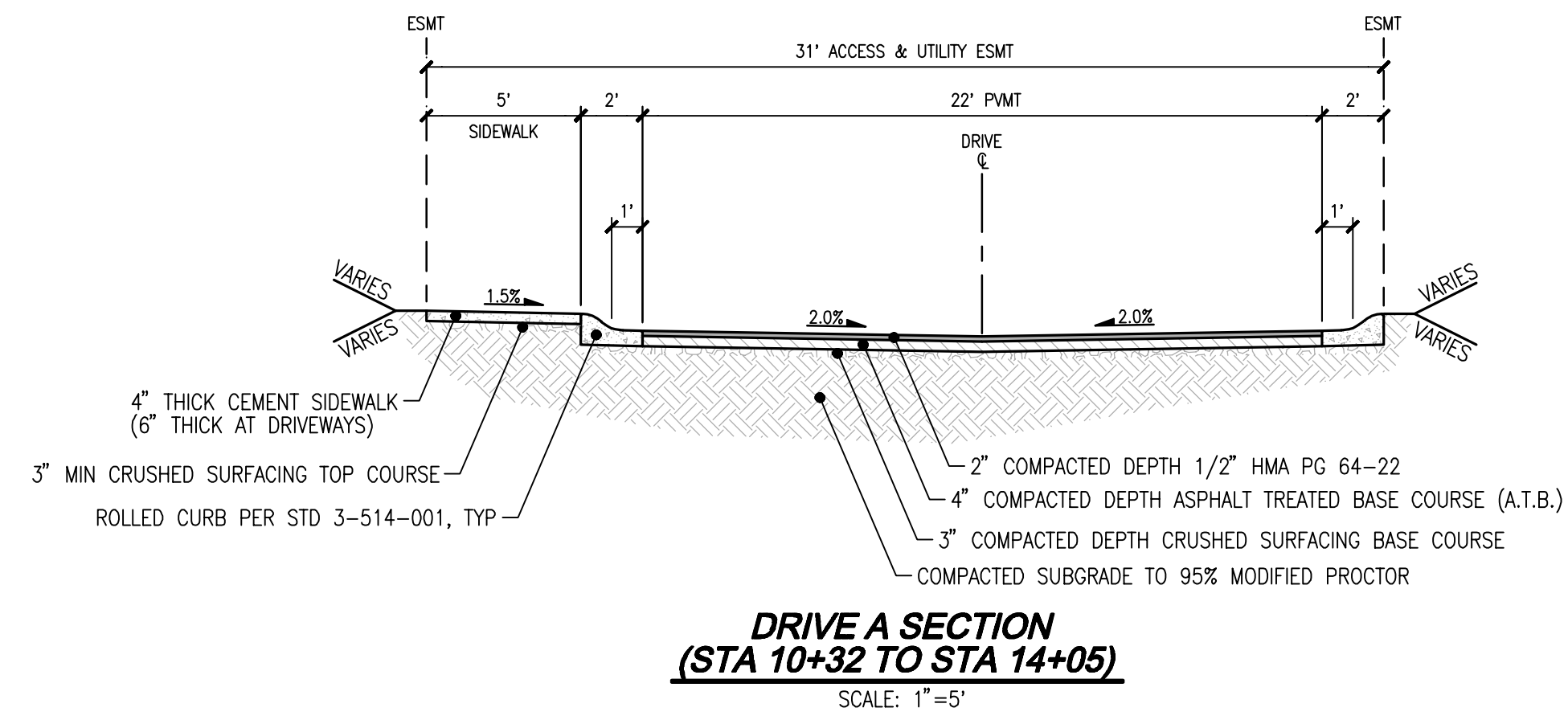
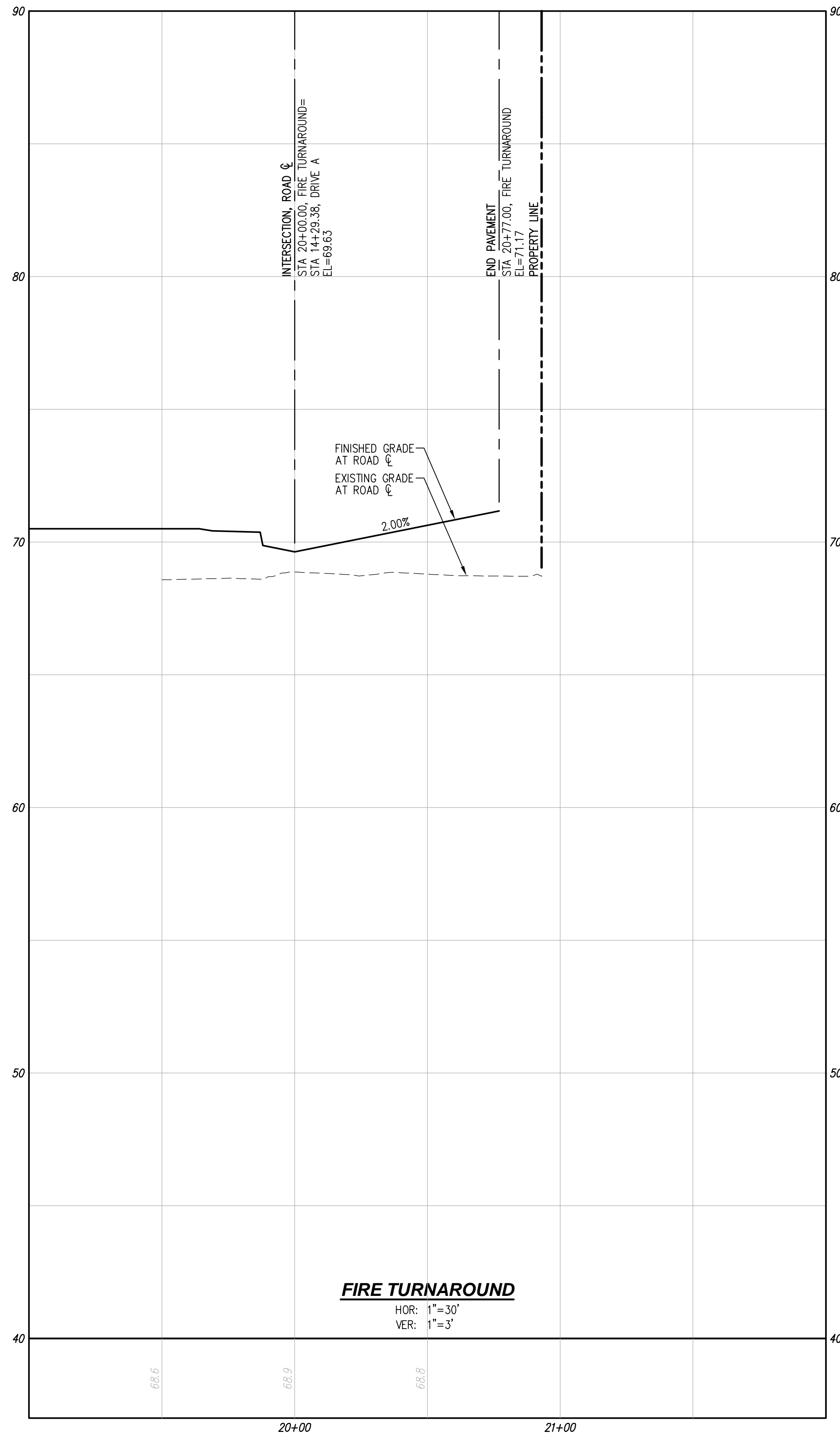
TEC HOLDINGS 123, LLC  
**MACK TOWNHOMES**  
PRELIMINARY ROAD PROFILES

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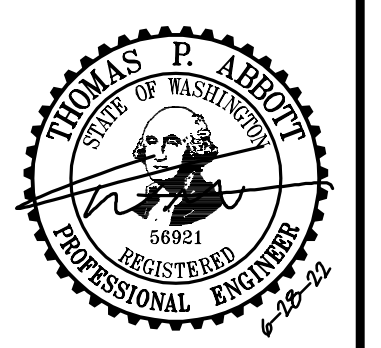
**REVISIONS**

NO.	DATE	DESCRIPTION

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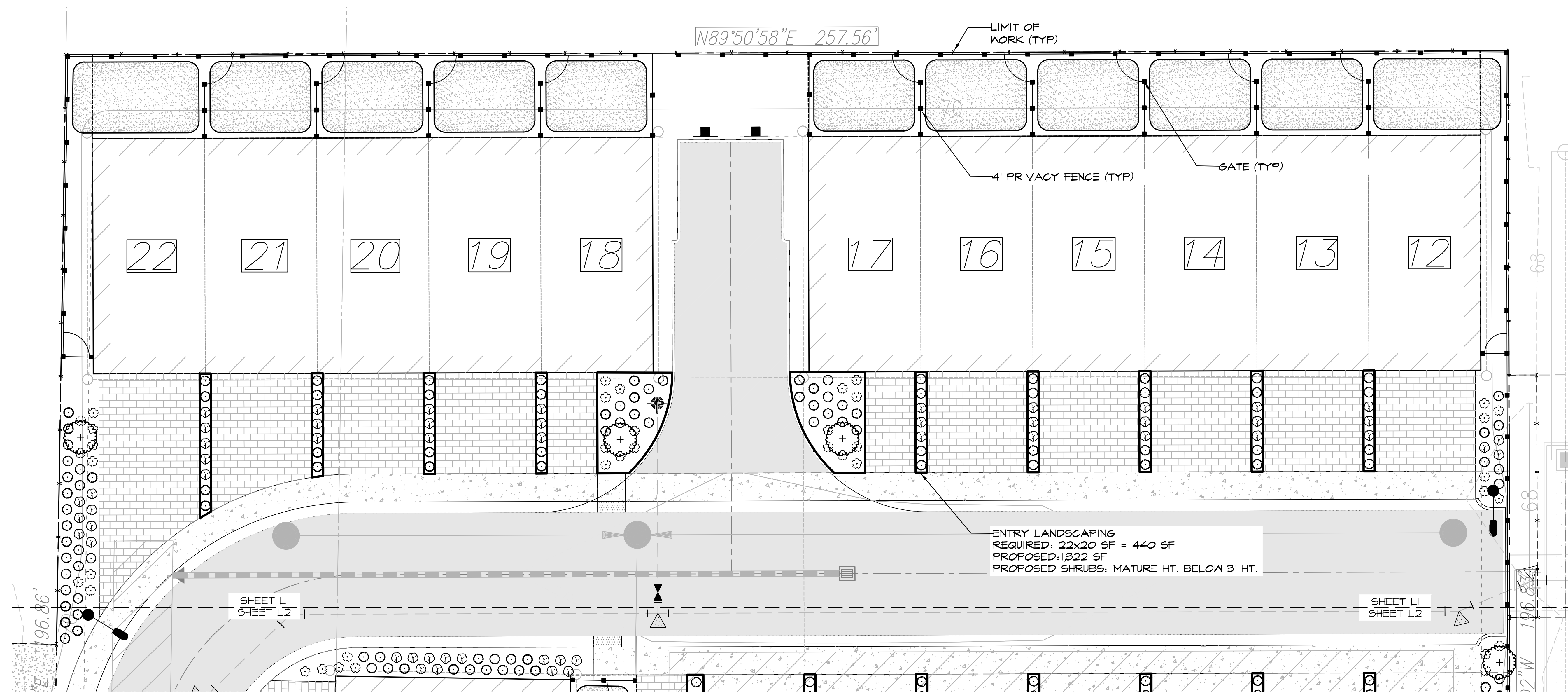
TEC HOLDINGS 123, LLC  
**MACK TOWNHOMES**  
 PRELIMINARY ROAD PROFILES AND SECTIONS



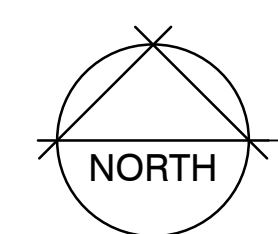
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 JURISDICTION: MARYSVILLE

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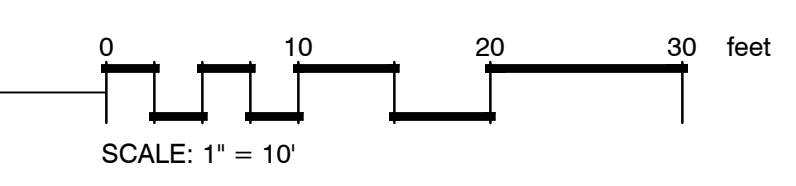




ENTRY LANDSCAPING  
 REQUIRED: 22x20 SF = 440 SF  
 PROPOSED: 1,322 SF  
 PROPOSED SHRUBS: MATURE HT. BELOW 3' HT.



LANDSCAPE PLAN



PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	SIZE	DROUGHT TOLERANT	NATIVE	QTY	
	<i>Carpinus betulus</i> 'Fastigiata' / Pyramidal European Hornbeam	1.5" Gal	No	No	5	
SHRUBS	BOTANICAL / COMMON NAME	SIZE	DROUGHT TOLERANT	NATIVE	QTY	
	<i>Berberis thunbergii</i> 'Crimson Pygmy' / Crimson Pygmy Barberry	2 gal	Yes	No	47	
	<i>Evonymus fortunei</i> 'Emerald n' Gold' TM / Golden Wintercreeper	2 gal	Yes	No	87	
	<i>Lonicera pileata</i> 'Moss Green' / Moss Green Honeysuckle	2 gal	Yes	No	158	
GROUND COVERS	BOTANICAL / COMMON NAME	SIZE	DROUGHT TOLERANT	NATIVE	SPACING	QTY
	Turf Sod / Drought Tolerant Fescue Blend	sod	Yes	No		7,071 sf
SITE	BOTANICAL / COMMON NAME	SIZE	DROUGHT TOLERANT	NATIVE	SPACING	QTY
	BARK 2" DEPTH	N/A				4,336 sf

LANDSCAPE NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH ALL OTHER SITE IMPROVEMENTS AND CONDITIONS PRIOR TO STARTING LANDSCAPE WORK.
- CONTRACTOR SHALL USE CAUTION WHILE EXCAVATING TO AVOID DISTURBING ANY UTILITIES ENCOUNTERED. CONTRACTOR IS TO PROMPTLY ADVISE OWNER OF ANY DISTURBED UTILITIES. LOCATION SERVICE PHONE 1-800-424-5555.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COMPUTING SPECIFIC QUANTITIES OF GROUND COVERS AND PLANT MATERIALS UTILIZING ON-CENTER SPACING FOR PLANTS AS STATED ON THE LANDSCAPE PLAN AND MINIMUM PLANTING DISTANCES AS SPECIFIED BELOW IN THESE NOTES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE QUANTITIES OF PLANTS THAT ARE REPRESENTED BY SYMBOLS ON THE DRAWINGS.
- SUBGRADE IS TO BE WITHIN 1/8" OF ONE FOOT AS PROVIDED BY OTHERS. ALL PLANTING AREAS TO BE CLEARED OF ALL CONSTRUCTION MATERIAL AND ROCKS AND STICKS LARGER THAN 2" DIAMETER.
- 6" DEPTH TOPSOIL IN BED AREAS AND 4" IN ALL LAWN AREAS.
- 2" DEPTH BARK IN ALL BED AREAS.
- ALL PLANT MATERIAL SHALL BE FERTILIZED WITH AGRO TRANSPLANT FERTILIZER 4-2-2 PER MANUFACTURER'S SPECIFICATIONS.
- ALL PLANT MATERIAL SHALL CONFORM TO AAN STANDARDS FOR NURSERY STOCK, LATEST EDITION. ANY REPLACEMENTS MADE AT ONCE.
  - GENERAL: ALL PLANT MATERIAL FURNISHED SHALL BE HEALTHY REPRESENTATIVES, TYPICAL OF THEIR SPECIES OF VARIETY AND SHALL HAVE A NORMAL GROWTH HABIT. THEY SHALL BE FULL, WELL BRANCHED, WELL PROPORTIONED, AND HAVE A VIGOROUS, WELL DEVELOPED ROOT SYSTEM. ALL PLANTS SHALL BE HARDY UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT.
  - TREES, SHRUBS, AND GROUND COVER: QUANTITIES, SPECIES, AND VARIETIES, SIZES AND CONDITIONS AS SHOWN ON THE PLANTING PLAN. PLANTS TO BE HEALTHY, VIGOROUS, WELL FOLIATED WHEN IN LEAF. FREE OF DISEASE, INJURY, INSECTS, DECAY, HARMFUL DEFECTS, AND ALL WEEDS. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN APPROVAL FROM LANDSCAPE ARCHITECT OR OWNER.

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 206.441.4545  
 2020 Maitby Rd  
 Ste 7, FMB 370  
 Bothell, WA 98021  
 www.rootofdesign.com



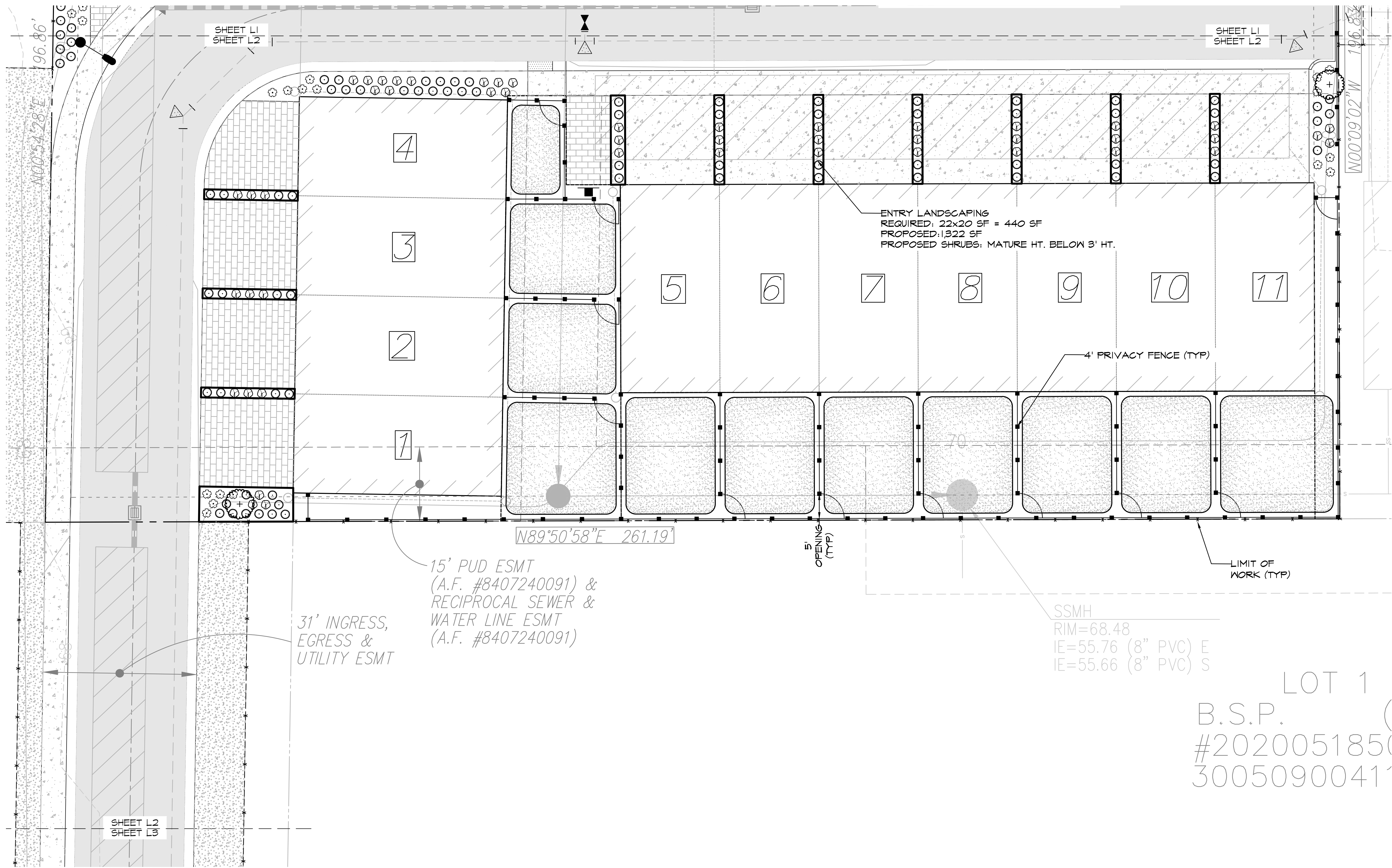
PROJECT TITLE

LANDSCAPE PLAN

11115 SMOKEY POINT BOULEVARD MARYSVILLE, WA

DRAWN: ROD DATE: 6.28.22  
 REVISED: DATE:

L1



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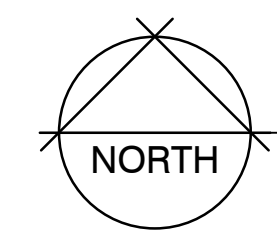
PROJECT TITLE

**LANDSCAPE PLAN**

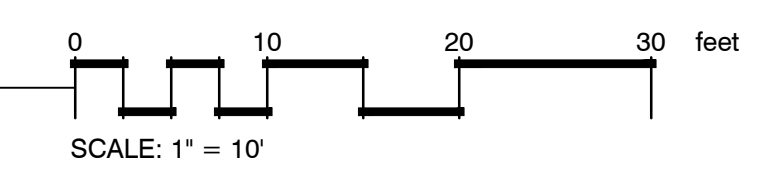
11115 SMOKEY POINT BOULEVARD MARYSVILLE, WA

LOT 1  
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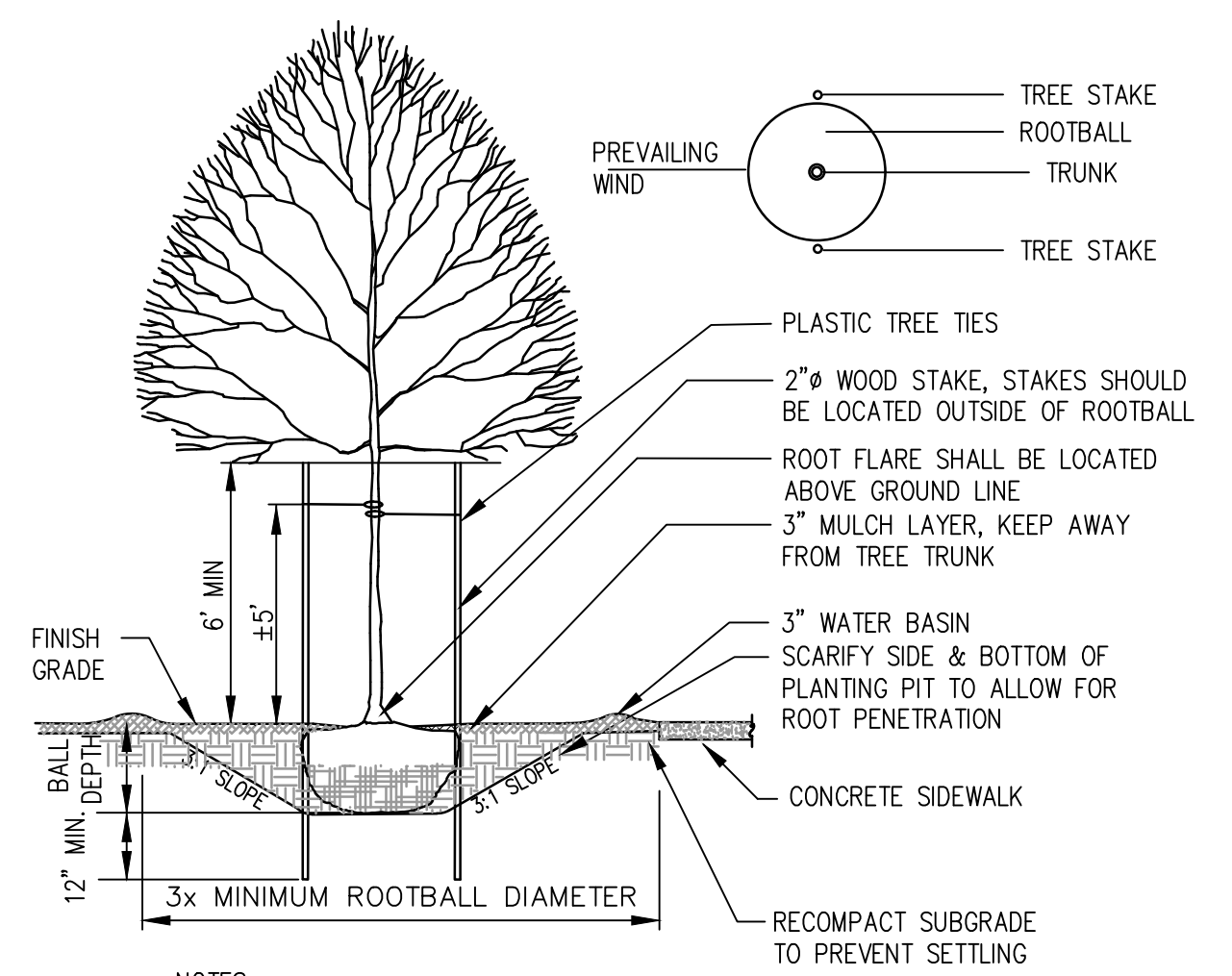
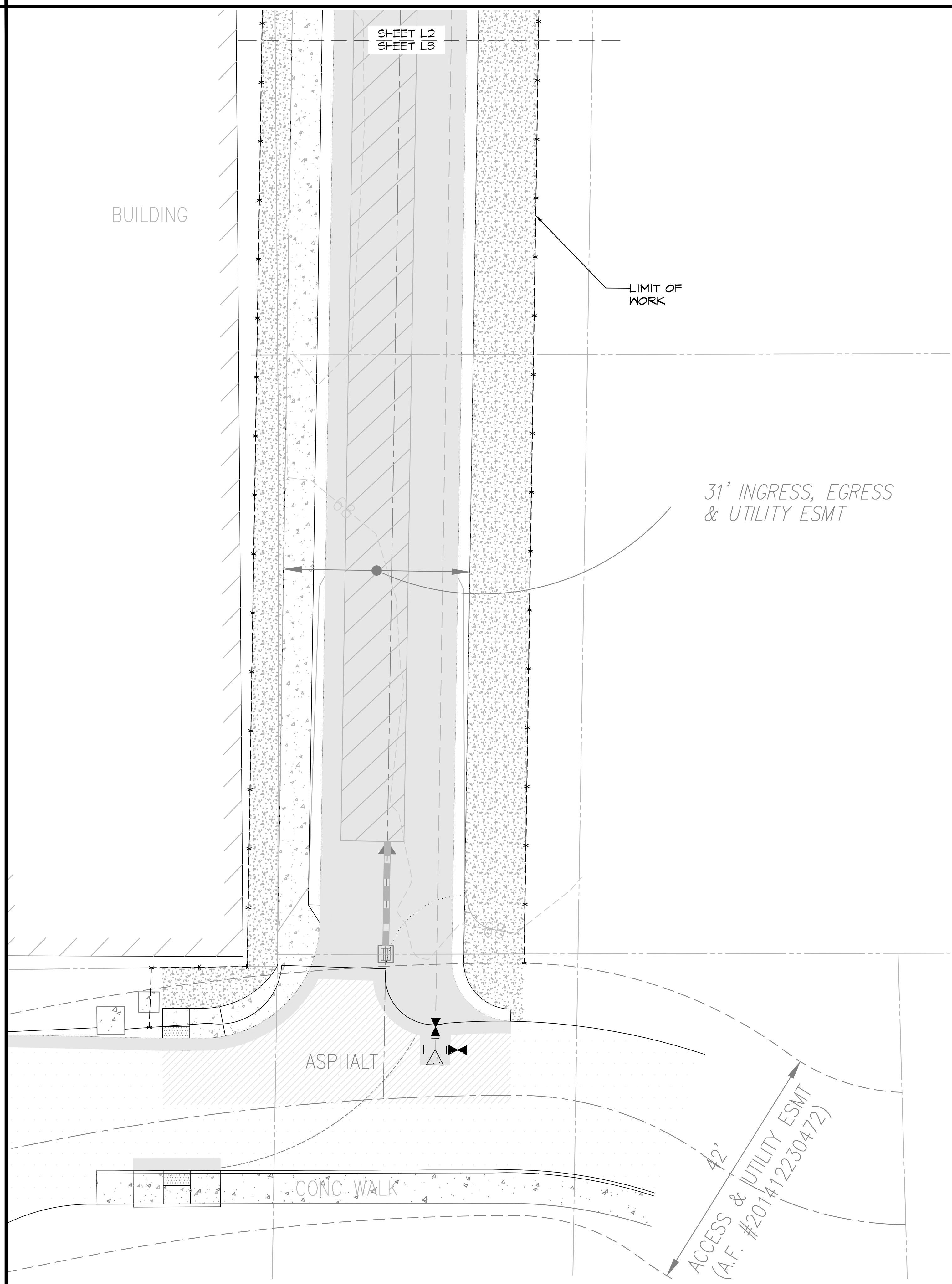
DRAWN ROD	DATE 6.28.22
REVISED	DATE



LANDSCAPE PLAN

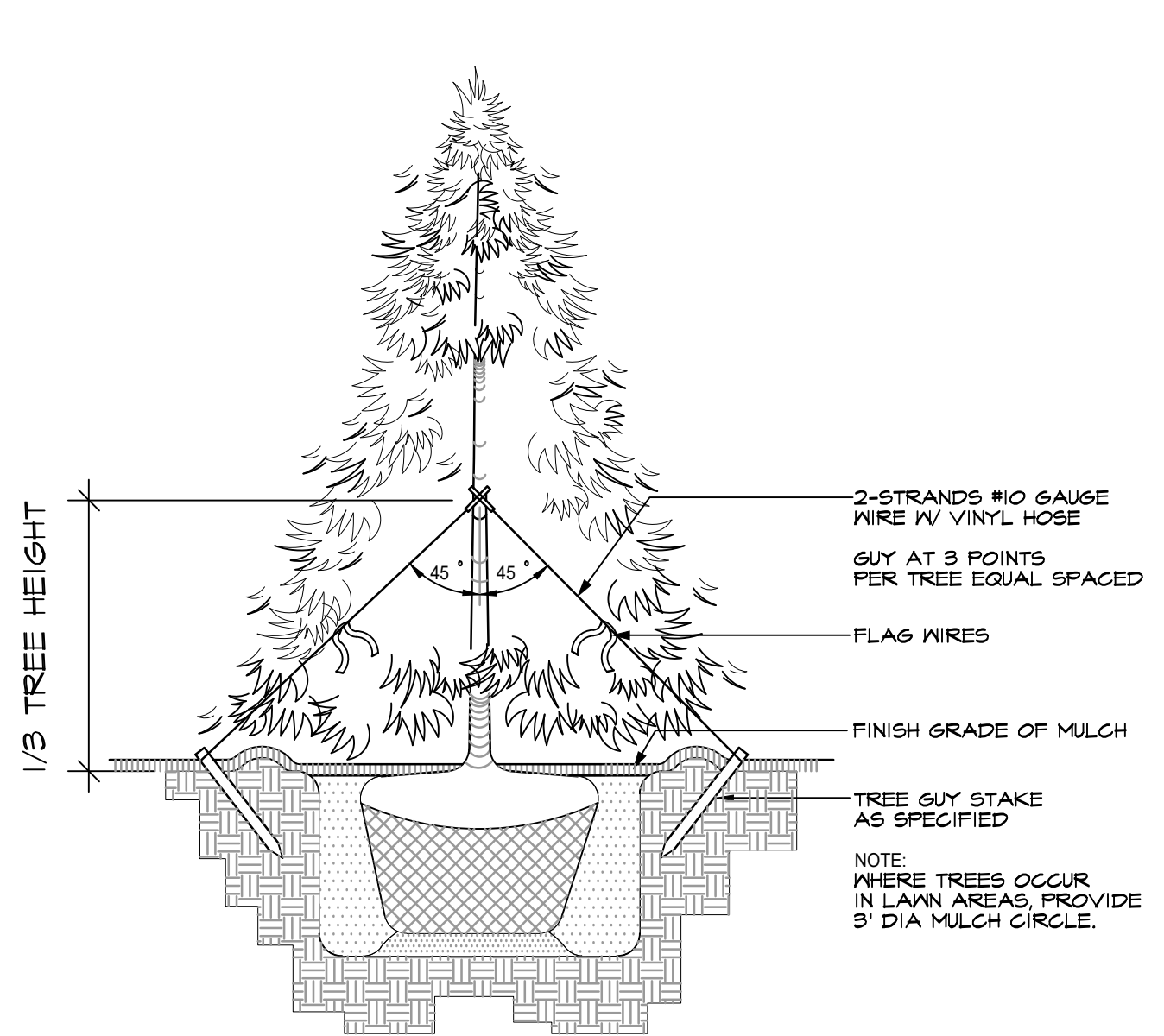


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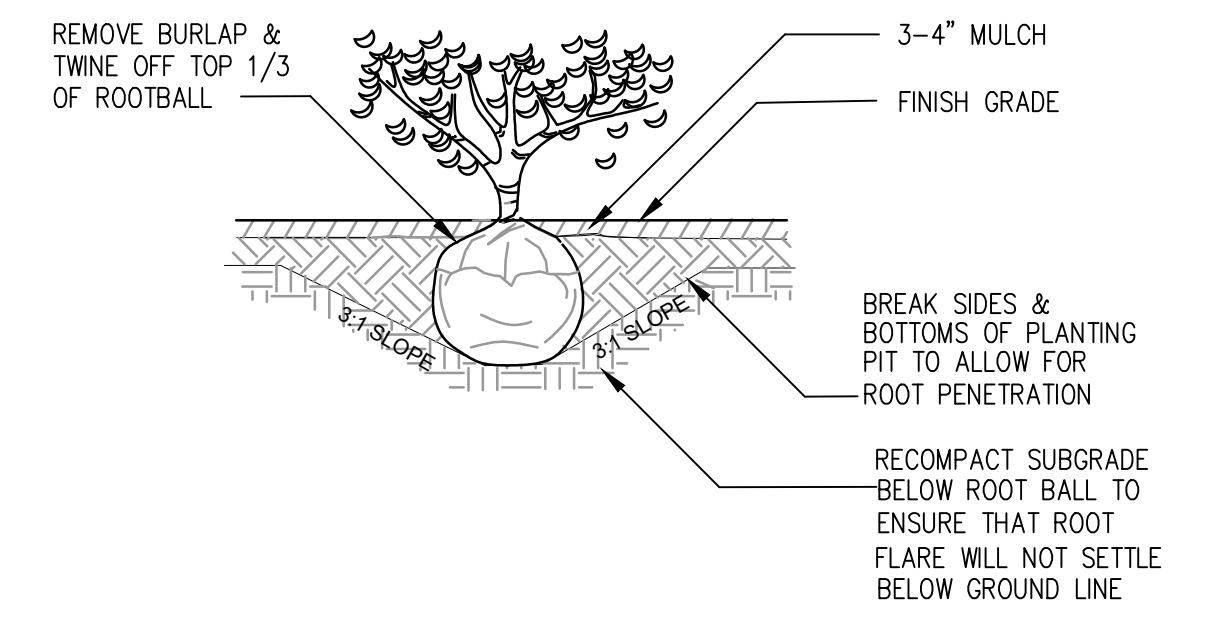


- NOTES:
1. TREE PIT SHALL NOT BE LESS THAN (3) TIMES ROOT BALL DIA.
  2. CUT ALL TIES AND FOLD BACK BURLAP FROM UPPER 1/3 OF ROOT BALL
  3. REMOVE ALL PLASTIC AND TWINE
  4. TREE STAKES PERPENDICULAR TO THE PREVAILING WIND
  5. PLANT TREES 2" HIGHER THAN DEPTH GROWN IN NURSERY

1 TYPICAL DECIDUOUS TREE PLANTING DETAIL  
NTS



2 TYPICAL EVERGREEN TREE PLANTING DETAIL  
NTS



3 TYPICAL SHRUB PLANTING DETAIL  
NTS



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PROJECT TITLE

LANDSCAPE PLAN

11115 SMOKEY POINT BOULEVARD MARYSVILLE, WA

DRAWN: ROD DATE: 6.28.22  
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L3