

A PORTION OF SECTION 29, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.

LEGEND

- PROJECT BOUNDARY
TRACT BOUNDARY
LOT BOUNDARY
BUILDING SETBACK
FENCE LINE
EXIST. WATER LINE
EXIST. STORM DRAIN
EXIST. SANITARY SEWER
PROP. STORM DRAIN
PROP. WATER MAIN
PROP. SANITARY SEWER
SEWER MANHOLE, EX. PROP.
WATER METER, EX. PROP.
FIRE HYDRANT, EXISTING
POWER POLE
CATCH BASIN, EX., PROP.
PROPOSED HYDRANT
GATE VALVE
TEE
BEND W/ BLOCKING
REDUCER/EXPANDER
STORM MANHOLE, EX. PROP.
GROUND FLOOR

SLOPE ANALYSIS

Slopes vary across the site. Slopes typically range from flat to 5%. Average slope is roughly 2%. Site slopes generally downward from the East to West.

There are no indications of unstable slopes on the site.

Slope analysis based on T.I.N. Triangle slopes of the LIDAR surface:

Table with 2 columns: Range, Area(s). Rows include 0% - 5%, 5% - 10%, 10% - 15%, 15% - 33%, 33% +, and Total = 1,801,392 sf (41.35 ac)

LAND DISTURBING AREA

Total Site Area 1,801,392 sf (41.35 ac)

Land Disturbing Activity Conceptual Area of 87,890 sf Disturbance

Site Grading

Cut

AQUIFER RECHARGE/ WELL HEAD PROTECTION

Low, Over 100 ft.

SOILS

- Terric Mediasprits: Hydrologic Soil Group: C Custer Fine Sandy Loam; Hydrologic Soil Group: C/D Compact Fill Area to 95% Modified Proctor

Sheet List Table with columns: Sheet Number, Sheet Title. Rows include S1 Sewer Main Overview Plan, S2 Existing Conditions and Topography Survey, S4 Sewer Main Plan and Profile, S5 Sewer Main Plan and Profile, S6 Sewer Main Plan and Profile

GENERAL NOTES FOR SANITARY SEWER

- 1. All workmanship and materials shall be in accordance with City of Marysville standards and the most recent copy of the State of Washington Standard Specifications for Road, Bridge, and Municipal Construction (WSDOT/APWA).
2. The City of Marysville datum (NGVD, 1960 supplemental adjustment) shall be used for all vertical control.
3. All approvals and permits required by the City of Marysville shall be obtained by the Contractor prior to the start of construction.
4. If construction is to take place in the County right-of-way, the Contractor shall contact the City Public Works Department to obtain all the required approvals and permits.
5. A preconstruction meeting shall be held with the City of Marysville Department of Public Works prior to the start of construction.
6. The City of Marysville Department of Public Works shall be notified a minimum of 48 hours in advance of a tap or connection to an existing sanitary sewer main.
7. The Contractor shall be fully responsible for the location and protection of all existing utilities.
8. Gravity sewer main shall be PVC, ASTM D 3034 SDR 35 or ASTM F 789 with joints and rubber gaskets conforming to ASTM D 3212 and ASTM F 477.
9. Precast manholes shall meet the requirements of ASTM C 478. Manholes shall be Type 1-48" manhole unless otherwise specified on the plans.
10. Side sewer services shall be PVC, ASTM D 3034 SDR 35 with flexible gasketed joints.
11. All sewer mains shall be field staked for grades and alignment prior to construction by a licensed engineer or surveying firm.
12. All plastic pipe and services shall be installed with continuous tracer tape installed 12" to 18" under the proposed finished sub grade.
13. Each side sewer lateral shall have a 2" x 4" wood "marker" at the termination of the stub.
14. Side sewers shall be installed by the Developer and coordinated for clearance with power, telephone, and other utilities.
15. Pipe bedding shall be in accordance with WSDOT Standard Plan B-18c Class F.
16. A 3-foot square x 4-inch thick asphalt or concrete pad shall be installed around all cleanouts that are not in a pavement area.
17. Temporary street patching shall be allowed for as approved by the City Engineer.
18. Erosion control measure shall be taken by the Contractor during construction to prevent infiltration and inflow into existing and proposed sanitary sewer facilities.
19. Provide traffic control plan(s) in accordance with the Manual on Uniform Traffic Control Devices (MUTCD) as required.
20. It shall be the responsibility of the Contractor to have a copy of these approved plans on construction site at all times.
21. Any changes to the design shall first be reviewed and approved by the project engineer and the City of Marysville.
22. All lines shall be cleaned and pressure tested prior to paving in conformance with the above referenced specifications.
23. Prior to backfill all mains and appurtenances shall be inspected and approved by the City of Marysville Department of Public Works.

LEGAL DESCRIPTION

310529-002-013-00: ALL THAT PORTION OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 29, TOWNSHIP 31 NORTH, RANGE 5 EAST OF THE WILLAMETTE MERIDIAN, LYING EAST OF THE GREAT NORTHERN RAILWAY RIGHT OF WAY AS CONVEYED TO SEATTLE & MONTANA RAILWAY COMPANY BY DEEDS RECORDED UNDER AUDITOR'S FILE NUMBERS 5850 AND 100846, RECORDS OF SNOHOMISH COUNTY, WASHINGTON.

SITUATE IN THE COUNTY OF SNOHOMISH, STATE OF WASHINGTON.

310529-002-014-01: THAT PORTION OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 29, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M., LYING EAST OF THE GREAT NORTHERN RAILWAY RIGHT OF WAY, FORMERLY SEATTLE & MONTANA RAILWAY COMPANY RIGHT OF WAY AS CONVEYED BY INSTRUMENTS RECORDED UNDER AUDITOR'S FILE NOS., 5850 AND 100846, RECORDS OF SNOHOMISH COUNTY, WASHINGTON.

SITUATE IN THE COUNTY OF SNOHOMISH, STATE OF WASHINGTON.

310529-002-005-00 THE SOUTH HALF OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 29, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.

EXCEPT THEREFROM THAT PORTION WITHIN THE PLAT OF LAKEWOOD MEADOW ACCORDING TO THE PLAT THEREOF RECORDED UNDER AUDITOR'S FILE NO. 200110175002 RECORDS OF SNOHOMISH COUNTY.

ALSO EXCEPT THAT PORTION, IF ANY, WITHIN ROADS.

SITUATED IN THE COUNTY OF SNOHOMISH, STATE OF WASHINGTON.

DATUM & BENCHMARK

VERTICAL DATUM: NAVD 88 - ROUND CASED CONC. MON. AT THE NORTHWEST CORNER, SECTION 29, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M. ELEV. = 116.48' PER GPS OBSERVATIONS.

EQUIPMENT & PROCEDURES

METHOD OF SURVEY: SURVEY PERFORMED BY FIELD TRAVERSE

INSTRUMENTATION: LEICA TS 16 ROBOTIC ELECTRONIC TOTAL STATION

PRECISION: MEETS OR EXCEEDS STATE STANDARDS WAC 332-130-090

BASIS OR BEARING: THE MONUMENTED NORTH LINE OF SECTION 30, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M., AS THE BEARING OF N 89°03'38"E.

PROJECT INFORMATION

Tax Parcel Numbers 310529-002-013-00, 310529-002-014-01 & 310529-002-005-00
Total Area 1,801,392 sf (41.35 ac)
GPP Designation R-12 Multi-Family Low
Existing Zoning R-12 Multi-Family Low
Existing Land Use Undeveloped
Proposed Land Use Undeveloped

LOCAL SERVICES

Sewage Disposal: City of Marysville Sewer System
Water District: City of Marysville Water System
School District: Lakewood School District 306
City of Marysville: City of Marysville
Post Office: Marysville
Electric: Snohomish County PUD
Phone: Frontier
Cable: Comcast
Gas: Gas

CONTACT PERSON

Land Technologies Inc. 2226 172nd St NE, Marysville, WA 98271
Merle Ash 18820 3rd Ave. NE, Arlington, WA 98223
360.652.9727 merle@landtechway.com

ENGINEER

Land Technologies, Inc. Tyler S. Foster, PE 18820 3rd Ave. NE, Arlington, WA 98223
360.652.9727 tyler@landtechway.com

SURVEYOR

Pacific Coast Surveys, Inc. Darren J. Risdie, P.E. 13110 NE 177th Pl #228, Woodinville, WA 98072
P.O. Box 13619, Clinton, WA 98236
425.312.7099

SITE ADDRESS

2226 172nd St NE, Marysville, WA 98271

OWNER

Sather Farms LLC 16720 Smokey Point Blvd, Ste 3 Woodinville, WA 98072

APPLICANT

Huseby Homes 13110 NE 177th Pl #228, Woodinville, WA 98072
425.626.0972

CERTIFIED EROSION CONTROL SPECIALIST

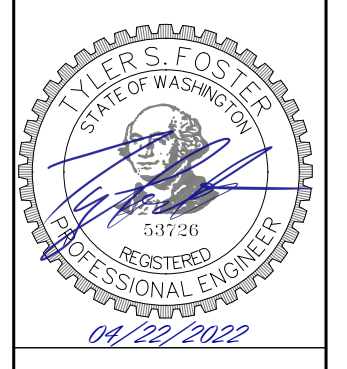
CONSTRUCTION DRAWING REVIEW ACKNOWLEDGEMENT

THIS PLAN SHEET HAS BEEN REVIEWED AND EVALUATED FOR GENERAL COMPLIANCE WITH THE APPLICABLE CITY OF MARYSVILLE CODES AND ORDINANCES. CONFORMANCE OF THIS DESIGN WITH ALL APPLICABLE LAWS AND REGULATIONS IS THE FULL AND COMPLETE RESPONSIBILITY OF THE LICENSED DESIGN ENGINEER, WHOSE STAMP AND SIGNATURE APPEAR ON THIS SHEET. ACKNOWLEDGMENT OF CONSTRUCTION DRAWING REVIEW DOES NOT IMPLY CITY APPROVAL FOR CONSTRUCTION ACTIVITIES THAT REQUIRED OTHER COUNTY, STATE OR FEDERAL PERMIT REVIEW AND APPROVAL. THE PROPERTY OWNER AND LICENSED DESIGN ENGINEER SHALL BE RESPONSIBLE FOR THE ACQUISITION AND COMPLIANCE OF ALL APPLICABLE PERMITS OR AUTHORIZATIONS WHICH MAY INCLUDE BUT ARE NOT LIMITED TO: WSPW, HYDRAULIC PROJECT APPROVAL (HPA), WSDOE NOTICE OF INTENT (NOI), ANY CORPS OF ENGINEERS FILL PERMITS AND THE REQUIREMENTS OF THE ENDANGERED SPECIES ACT. THIS DAY OF 202.

KEN MCINTYRE, P.E., DEVELOPMENT SERVICES MANAGER

THESE APPROVED CONSTRUCTION PLANS EXPIRE AFTER PERIOD OF 60 MONTHS FROM THE DATE SHOWN ABOVE OR UPON EXPIRATION OF PRELIMINARY PLAT OR SITE PLAN APPROVAL, PER MMC 22A.040.020 & 22A.040.030.

LAND TECHNOLOGIES logo and address: 18820 Third Avenue, N.E., Arlington, WA 98223, 360-652-9727



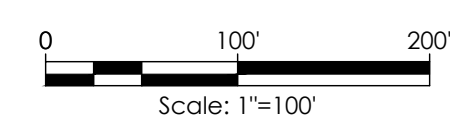
PROJECT LEAD: Merle Ash
CHECKED BY: Tyler Ash
DRAWN BY: Merle Ash
APPLICATION DATE:
SITE APPROVAL:
REVISION DATE:
LDA APPROVAL:
AS BUILT:

Sather-Vaness Sewer Main
2226 172nd St NE, Marysville, WA 98271
A PORTION OF SECTION 29, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.

Huseby Homes
13110 NE 177th Pl #228, Woodinville, WA 98072
SHEET 51 of 56
24x36

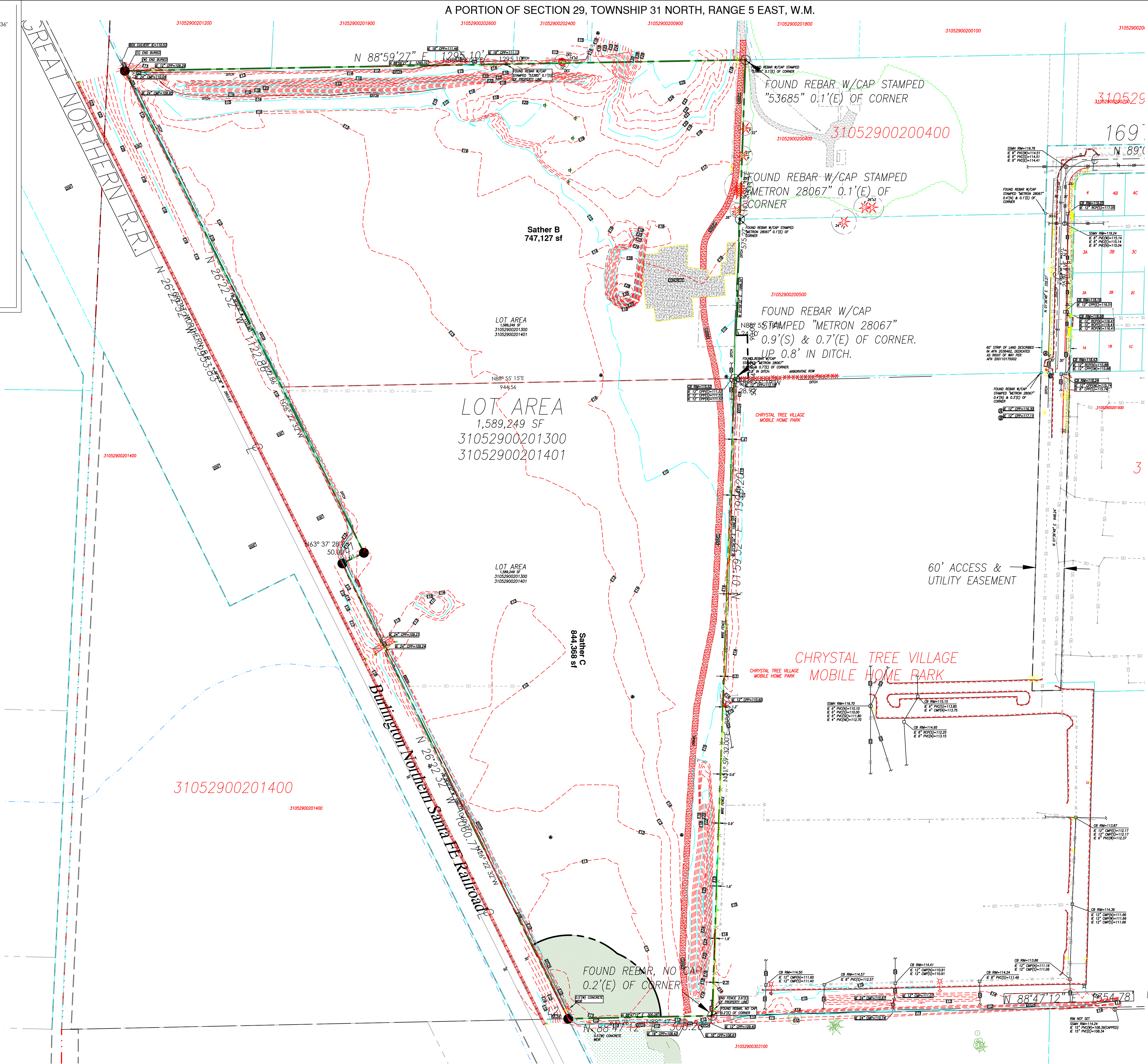
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CALL AT LEAST 2 BUSINESS DAYS BEFORE YOU DIG 1-800-424-5555



A PORTION OF SECTION 29, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.

- LEGEND**
- SET 1/2" X 24" REBAR W/CAP STAMPED "PCS 37536"
  - EXISTING REBAR W/CAP, AS NOTED
  - ✕ SET NAIL AND WASHER STAMPED "PCS 37536"
  - ✕ EXISTING NAIL AND WASHER AS NOTED
  - FOUND CONCRETE MONUMENT AS NOTED
  - RIGHT OF WAY CENTERLINE
  - MONITOR WELL
  - INVERT/CULVERT
  - CATCH BASIN
  - WATER VALVE
  - FIRE HYDRANT
  - WATER METER
  - SANITARY SEWER MANHOLE
  - MAILBOX
  - GAS MARKER
  - UTILITY/POWER POLE
  - GUY ANCHOR
  - POWER TRANSFORMER
  - CONIFEROUS TREE
  - DECIDUOUS TREE
  - F FIR
  - C CEDAR
  - P PINE



**SLOPE ANALYSIS**  
 Slopes vary across the site. Slopes typically range from flat to 5%. Average slope is roughly 2%. Site slopes generally downward from the East to West.

There are no indications of unstable slopes on the site.

Slope analysis based on T.I.N. triangle slopes of the LIDAR surface:

Range	Area(sf)	Percent
0% - 15%	1,801,392 sf	100.00%
15% - 20%	0 sf	0.00%
20% - 25%	0 sf	0.00%
25% - 33%	0 sf	0.00%
33% -	0 sf	0.00%
<b>Total =</b>	<b>1,801,392 sf</b>	<b>100.00%</b>

**AQUIFER RECHARGE/  
WELL HEAD PROTECTION**

**SOILS**  
 Tentic Mediasapristis, Cluster Fine Sandy Loam;  
 Hydrologic Soil Group: C, C/D  
 Compact Fill Area to 95% Modified Proctor

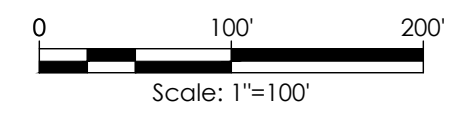
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KEN MCINTYRE, P.E., DEVELOPMENT SERVICES MANAGER  
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 1-800-424-5555

Existing Conditions And Topography Survey



**LAND TECHNOLOGIES**  
 18820 Third Avenue, N.E.  
 Arlington, WA 98223  
 360-652-9727

PROJECT LEAD: Merle  
 CHECKED BY: Tyler  
 DRAWN BY: Merle, Alex  
 APPLICATION DATE: -  
 SITE APPROVAL: -  
 REVISION DATE: -  
 LDA APPROVAL: -  
 AS BUILT: -

13110 NE 177th Pl #228, Woodinville, WA 98072  
 Huseby Homes

Sather-Vaness Sewer Main  
 2206 172nd St NE, Marysville, WA 98271  
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Existing Conditions And Topography Survey

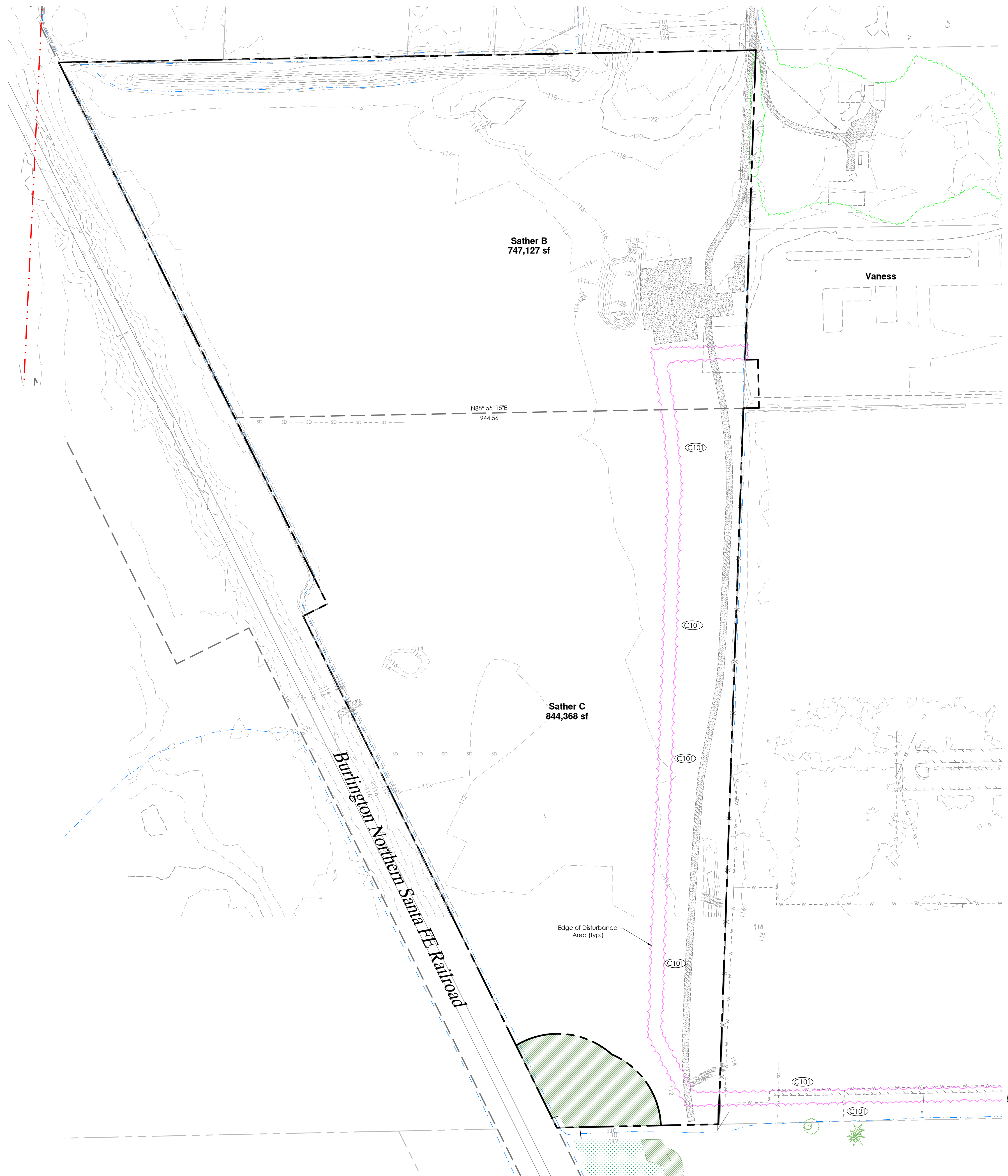
SHEET 52 of 56  
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**LEGEND**

—	PROJECT BOUNDARY	---	EXISTING Easement Line
---	EXIST R/W LINE	---	EXIST. Storm Drainage Line
---	EASEMENT LINE	---	EXIST. Yard Drain Catch Basin
---	EXIST. PARCEL LINE	---	EXISTING Sanitary Sewer Line
---	CONTOUR MAJOR, EXIST	---	EXIST. Sanitary Sewer Manhole
---	CONTOUR MINOR, EXIST	---	EXISTING Water Line
---	EXIST POWERLINE	---	EXISTING Water Hydrants
---	EXIST TREENE LINE	---	EXISTING Water Fittings
---	EXIST FENCE LINE	---	EXISTING POWER Line
---	EXISTING BUILDING	---	EXISTING Power Symbol
---	EXISTING TREES TO BE PROTECTED	---	EXISTING Tree Dip Line
---	EXISTING TREES TO BE REMOVED	---	Design Area of Disturbance
---	SOIL LOG/TEST PIT	---	Temporary Silt Fence
---	EXISTING POWER TRANSFORMER	---	Temp. Construction Entrance
---	EXISTING POWER	---	BMP Designations
---	EXISTING POWER VAULT		

A PORTION OF SECTION 29, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.



**BMP'S (to be applied as appropriate)**

- BMP'S:**
- C101 Preserving Natural Vegetation
  - C102 Buffer Zones
  - C103 High Visibility Fence
  - C105 Stabilized Construction Exit
  - C107 Stabilized Parking Area
  - C120 Temporary & Permanent Seeding
  - C121 Mulching
  - C122 Blankets
  - C123 Plastic Covering
  - C125 Topsoiling / Composting
  - C130 Surface Roughening
  - C131 Gradient Terraces
  - C140 Dust Control
  - C150 Materials on Hand
  - C151 Concrete Handling
  - C152 Sawcutting and Surface Pollution Prevention
  - C153 Material Delivery, Storage and Containment
  - C160 Certified Erosion & Sediment Control Lead
  - C162 Scheduling
- Runoff Conveyance and Treatment BMP's**
- C200 Interceptor Dike and Swale
  - C202 Channel Lining
  - C203 Water Bars
  - C204 Pipe Slope Drains
  - C206 Level Spreader
  - C207 Check Dam
  - C208 Triangular Silt Dike
  - C209 Outlet Protection
  - C220 Storm Drain Inlet Protection
  - C233 Silt Fence
  - C235 Straw Wattles
  - C240 Sediment Trap

**NOTES:**

The TESC Plan below just shows "a spot in time". TESC is an ever evolving task and needs to be adapted to the actual conditions that may arise. It is up to the CESCL to manage the site and keep polluted stormwater from leaving the site. Shown here, in plan view, are the basics. Conditions may arise that require additional methods of management either from the list of BMP's listed on this sheet or from the DOE Manual itself.

**CONSTRUCTION SWPPP**

The 13 elements that are part of a Construction SWPPP are as follows:

1. Mark Clearing Limits: Prior to clearing or disturbing the limits must be marked. This element is part of most normal construction plans as one of the first steps.
2. Establish Construction Access: All erosion control plans shall install a stabilized construction entrance (or other method of preventing sediment transport onto the roads). If a standard gravel construction entrance is proposed, use geo-textile fabric under the rock. Note: a wheel wash is required for plans that propose winter grading.
3. Detain Flows: Based on a downstream analysis it may be necessary to detain runoff from a site under construction. It may be necessary to construct and use a detention pond to control flows during construction.
4. Install Sediment Controls: If there is runoff from the construction site, sediment shall be removed from the water. Note that the water quality standards must be met.
5. Stabilize Soils: All exposed and non-worked soil shall be stabilized by use of BMP's. Note there are time periods of allowed exposure that depend on the season. Groundcover both temporary and permanent need to be part of the construction plans.
6. Protect Slopes: Cut and fill slopes need to be protected from erosive flows and concentrated flows until permanent cover and drainage conveyance systems are in place.
7. Protect Drain inlets: All storm drain inlets require protection from sediment and silt laden water.
8. Stabilize Channels and Outlets: Temporary and permanent conveyance systems shall be stabilized to prevent erosion during and after construction. Culvert outlets require protection.
9. Control Pollutants: The plan shall show how all pollutants, including waste materials and demolition debris, will be handled. This includes maintenance of construction equipment, fertilizers, application of chemicals, and water treatment systems.
10. Control De-Watering: The water from de-watering systems for trenches, vaults and foundations shall be discharged into a controlled system.
11. Maintain BMPs: The plan shall provide for inspection and maintenance of the planned and installed construction BMPs as well as their removal at the end of the project.
12. Manage the Project: The plan shall outline how the site shall be managed for erosion control and identify the management team. It needs to cover phasing, training, pre-construction conference, coordination with utilities and contractors, monitoring and reporting. It shall provide for notice of problems, revisions during construction and contingency planning. One of the most important elements in the management of the project is planning for contingencies based on the risk of exposure during phases of the development. It is essential that planning is ongoing throughout the life of the project.
13. Protect on-site stormwater management BMPs for runoff from roofs and other hard surfaces. On-site Stormwater Management BMPs shall be protected at all times during the construction process. This may mean that stormwater management BMPs will be installed towards the end of the construction process to avoid siltation and compaction.

**CONSTRUCTION DRAWING REVIEW ACKNOWLEDGEMENT**

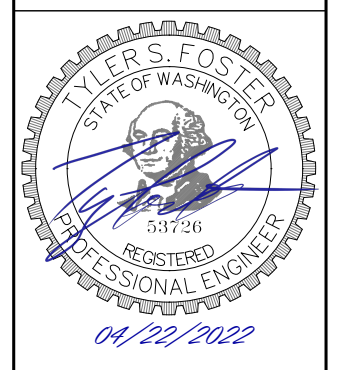
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KEN MCINTYRE, P.E., DEVELOPMENT SERVICES MANAGER

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**LAND TECHNOLOGIES**  
 18820 Third Avenue, N.E.  
 Arlington, WA 98223  
 360-652-9727

MAKING A WAY OUT OF NO WAY



PROJECT LEAD: Alex Tyler  
 CHECKED BY: Alex Tyler  
 DRAWN BY: Alex Tyler  
 APPLICATION DATE: 04/22/2022  
 SITE APPROVAL: \_\_\_\_\_  
 REVISION DATE: \_\_\_\_\_  
 LDA APPROVAL: \_\_\_\_\_  
 AS BUILT: \_\_\_\_\_

Sather-Vaness Sewer Main  
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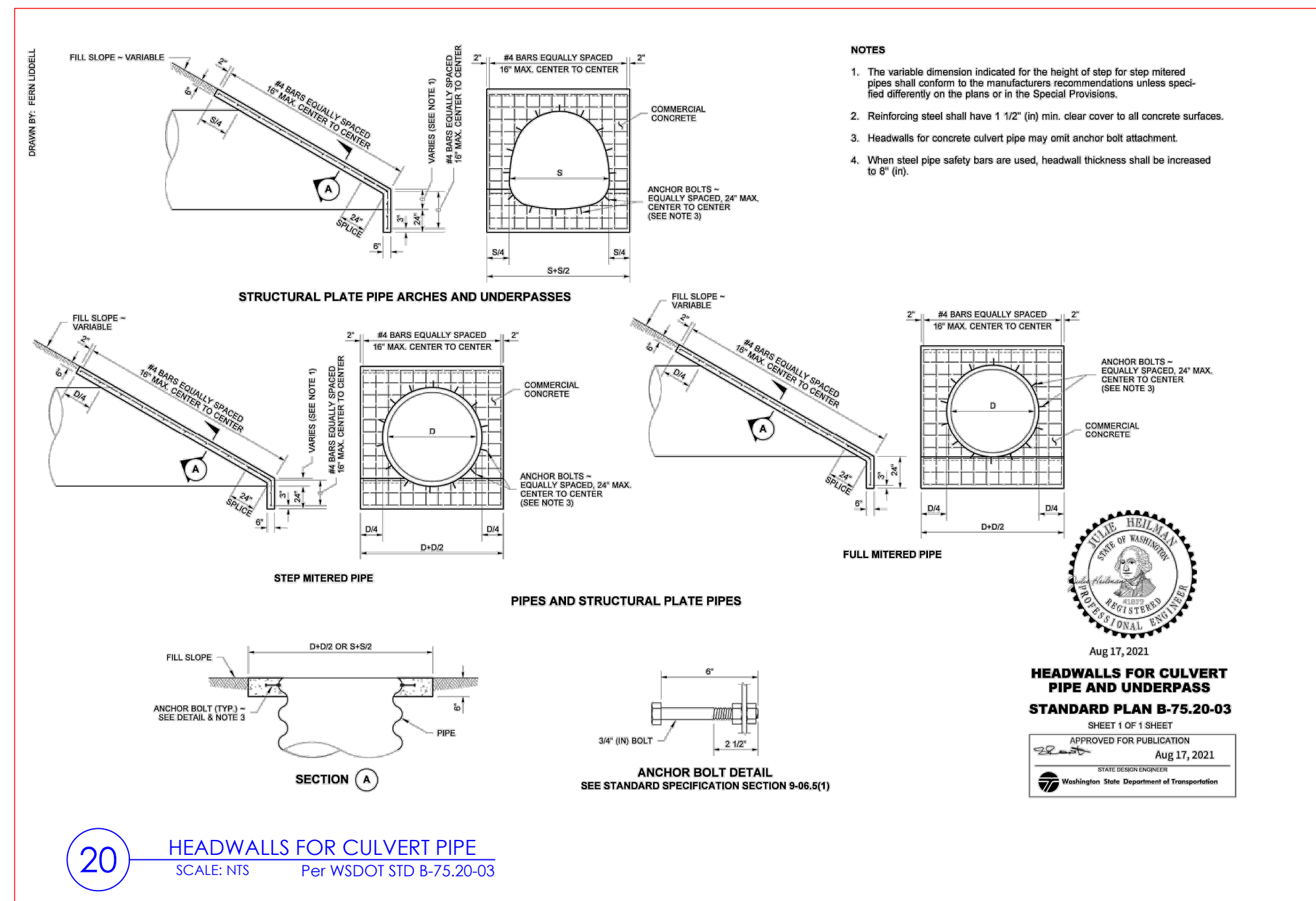
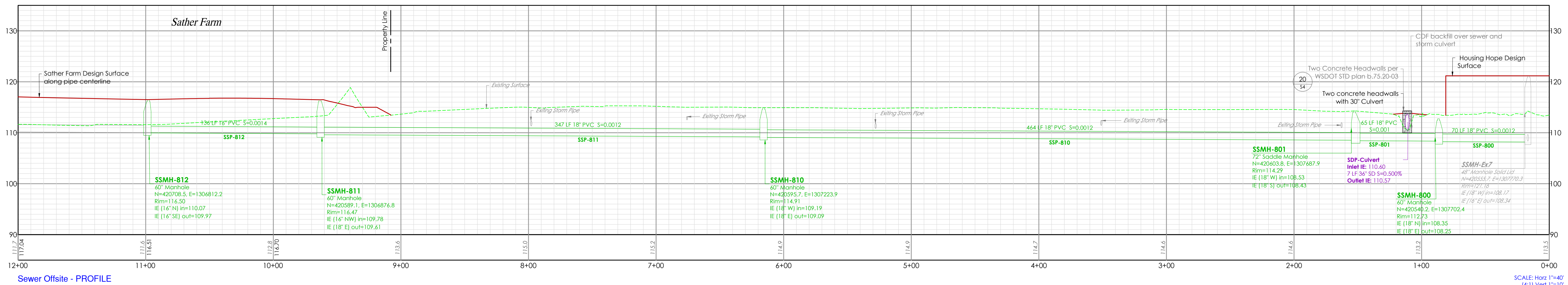
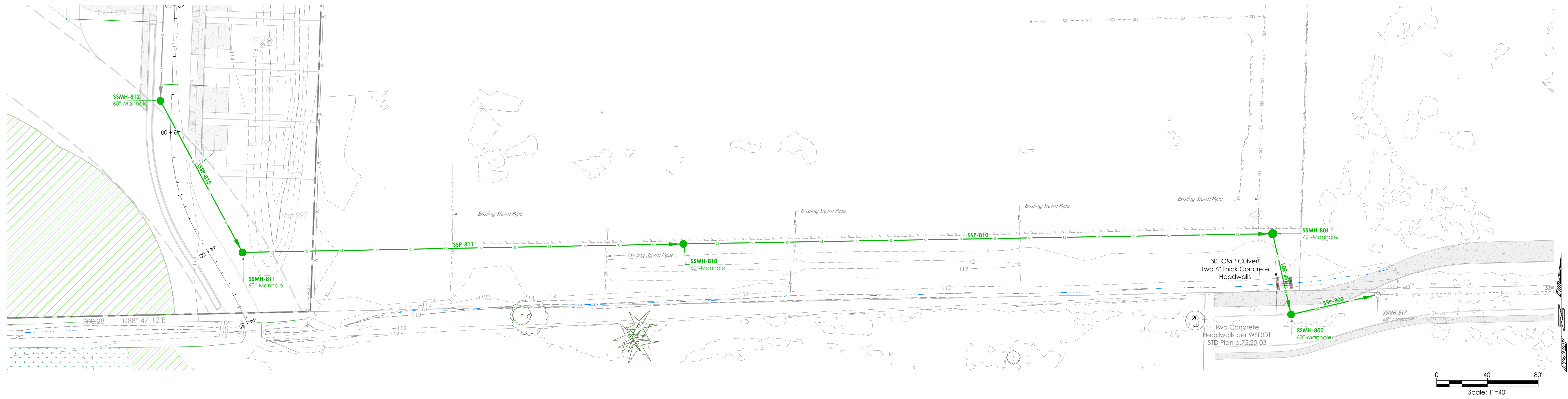
Huseby Homes  
 13110 NE 177th Pl #228, Woodinville, WA 98072

TESC

SHEET 53 of 56  
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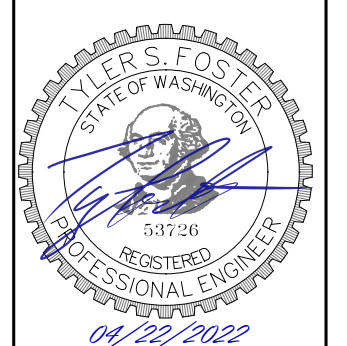
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 1-800-424-5555

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 Arlington, WA 98223  
 360-652-9777  
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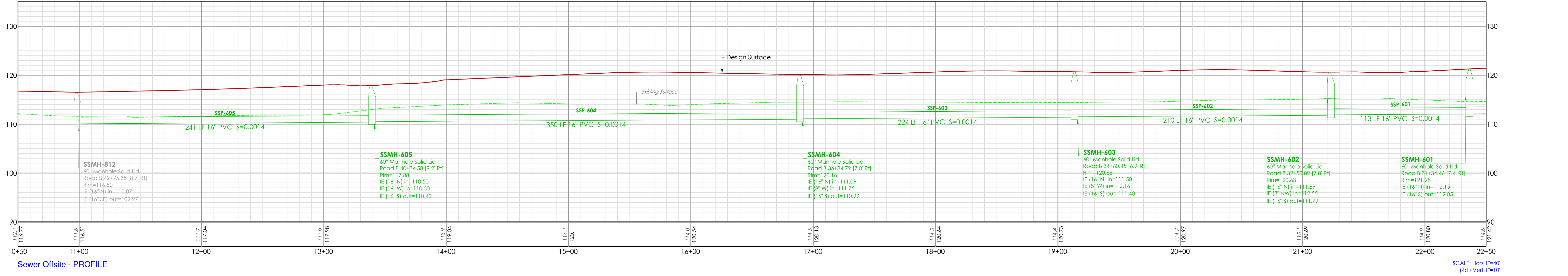
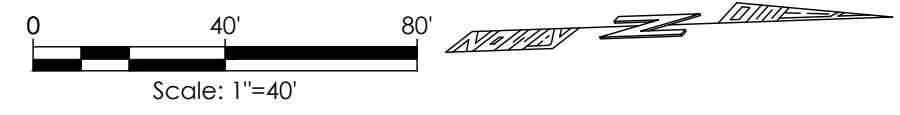
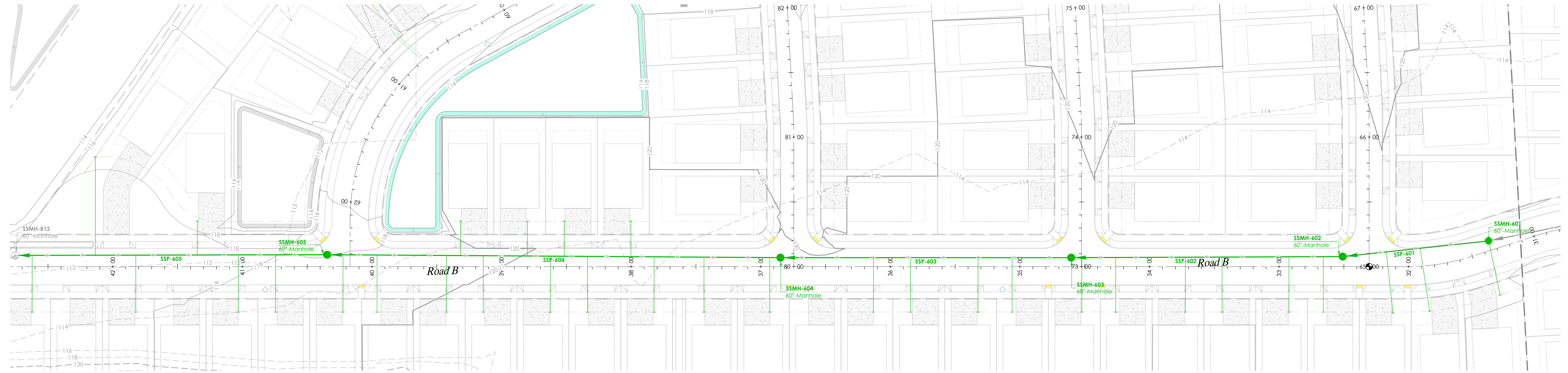
PROJECT LEAD: Alexie  
 CHECKED BY: Tyley  
 DRAWN BY: Alex  
 APPLICATION DATE: -  
 SITE APPROVAL: -  
 REVISION DATE: -  
 LDA APPROVAL: -  
 AS BUILT: -

Sather-Vaness Sewer Main  
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 KEN MCINTYRE, P.E., DEVELOPMENT SERVICES MANAGER  
 THESE APPROVED CONSTRUCTION PLANS EXPIRE AFTER PERIOD OF 60 MONTHS FROM THE DATE SHOWN ABOVE OR UPON EXPIRATION OF PRELIMINARY PLAT OR SITE PLAN APPROVAL PER MMC 22A.040.020 & 22A.040.030.

SHEET 54 of 56  
 24x36

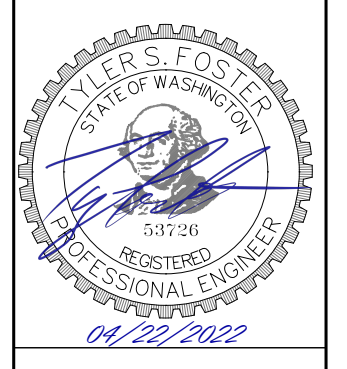
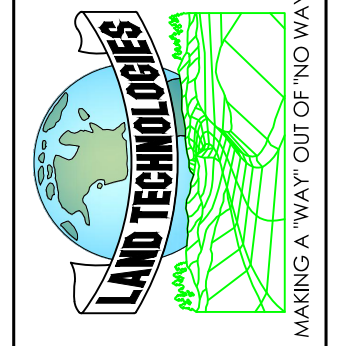


Sewer Offsite - PROFILE

SCALE: Horiz 1"=40'  
Vert 1"=10'

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1-800-424-5555

**LAND TECHNOLOGIES**  
18820 Third Avenue, N.E.  
Arlington, WA 98223  
360-652-9727



PROJECT LEAD: Alexie  
 CHECKED BY: Tyler  
 DRAWN BY: Alex  
 APPLICATION DATE: -  
 SITE APPROVAL: -  
 REVISION DATE: -  
 LDA APPROVAL: -  
 AS BUILT: -

Sather-Vaness Sewer Main  
 2206 172nd St NE, Marysville, WA 98271  
 A PORTION OF SECTION 29, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.

Huseby Homes  
 13110 NE 177th Pl #228, Woodinville, WA 98072

**CONSTRUCTION DRAWING REVIEW ACKNOWLEDGEMENT**

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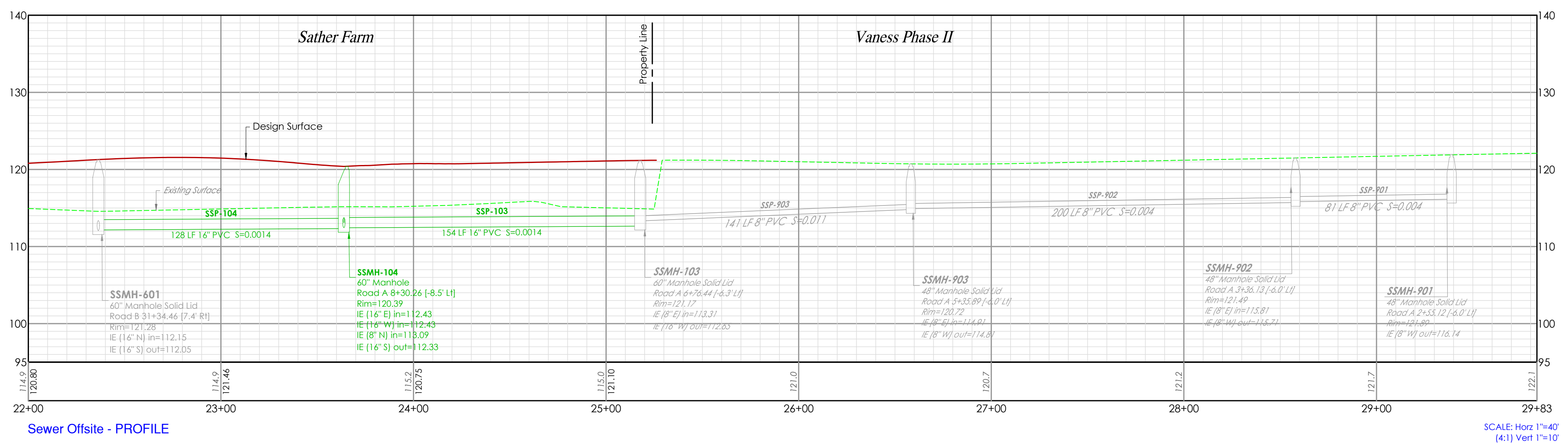
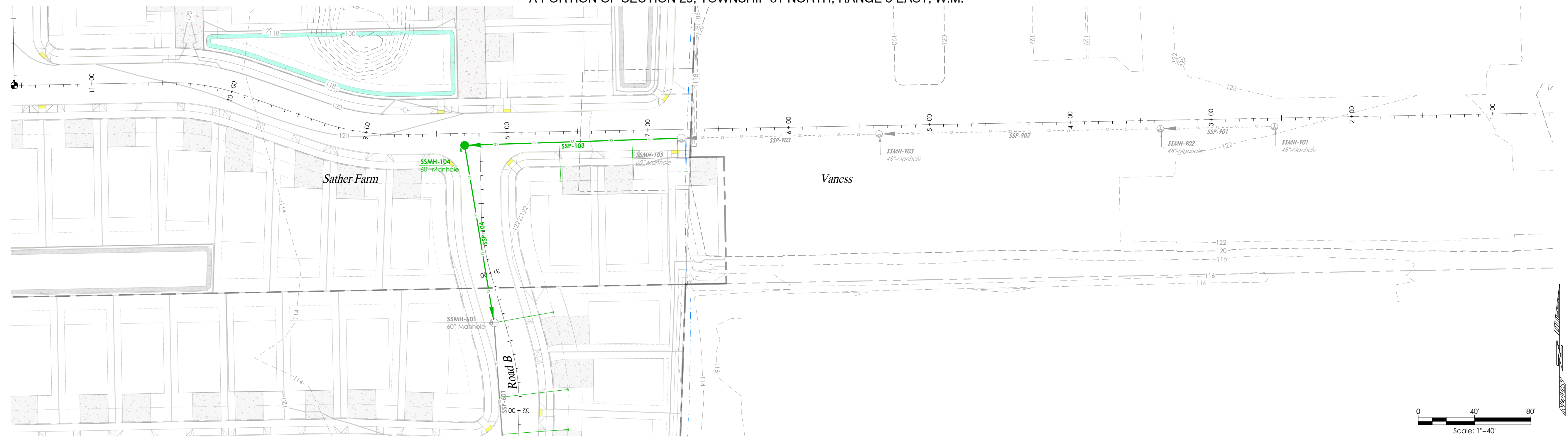
KEN MCINTYRE, P.E., DEVELOPMENT SERVICES MANAGER

THESE APPROVED CONSTRUCTION PLANS EXPIRE AFTER PERIOD OF 60 MONTHS FROM THE DATE SHOWN ABOVE OR UPON EXPIRATION OF PRELIMINARY PLAT OR SITE PLAN APPROVAL PER MMC 22A.040.020 & 22A.040.030.

4/22/2022 9:43 AM

Z:\Huseby Homes - Sather Farm\Sheets\S4 Sewer Main Plan and Profile.dwg

A PORTION OF SECTION 29, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.



Sewer Offsite - PROFILE

SCALE: Horiz 1"=40'  
Vert 1"=10'

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KEN MCINTYRE, P.E., DEVELOPMENT SERVICES MANAGER

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Arlington, WA 98223  
360-652-9727

**LAND TECHNOLOGIES**  
MAKING A WAY OUT OF NO WAY

**PROFESSIONAL ENGINEER**  
STATE OF WASHINGTON  
04/22/2022

PROJECT LEAD: Merie  
CHECKED BY: Tyler  
DRAWN BY: Merie, Alex  
APPLICATION DATE: -  
SITE APPROVAL DATE: -  
REVISION DATE: -  
LDA APPROVAL: -  
AS-BUILT: -

**Huseby Homes**  
13110 NE 177th Pl #228, Woodinville, WA 98072

**Sather-Vaness Sewer Main**  
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**SEWER MAIN PLAN AND PROFILE**

SHEET 56 of 56  
24x36