

NOTES

- ALL TITLE INFORMATION SHOWN ON THIS MAP HAS BEEN EXTRACTED FROM CHICAGO TITLE COMPANY OF WASHINGTON COMMITMENT NO. 500125107 AMENDMENT 1, DATED SEPTEMBER 2, 2021. IN PREPARING THIS MAP, CORE DESIGN, INC. HAS CONDUCTED NO INDEPENDENT TITLE SEARCH NOR IS CORE DESIGN, INC. AWARE OF ANY TITLE ISSUES AFFECTING THE SURVEYED PROPERTY OTHER THAN THOSE SHOWN ON THE MAP AND DISCLOSED BY THE REFERENCED CHICAGO TITLE COMPANY OF WASHINGTON COMMITMENT. CORE DESIGN, INC. HAS RELIED WHOLLY ON CHICAGO TITLE COMPANY OF WASHINGTON'S REPRESENTATIONS OF THE TITLE'S CONDITION TO PREPARE THIS SURVEY AND THEREFORE CORE DESIGN, INC. QUALIFIES THE MAP'S ACCURACY AND COMPLETENESS TO THAT EXTENT.
- THIS SURVEY REPRESENTS VISIBLE PHYSICAL IMPROVEMENT CONDITIONS EXISTING ON DECEMBER 7, 2021. ALL SURVEY CONTROL INDICATED AS "FOUND" WAS RECOVERED FOR THIS PROJECT IN JANUARY 12, 2021.
- PROPERTY AREA = 186,677± SQUARE FEET (4.285± ACRES).
- ALL DISTANCES ARE IN US FEET AT GROUND LEVEL.
- CONTOUR INTERVAL = 2 FEET.
- ELEVATION AND/OR CONTOUR INFORMATION SHOWN HEREON IS GENERATED FROM DIRECT FIELD OBSERVATION. SAID INFORMATION MEETS US NATIONAL MAPPING STANDARDS AND IS ACCURATE TO WITHIN ONE-HALF THE CONTOUR INTERVAL.
- BOUNDARY INFORMATION SHOWN HEREON IS DERIVED FROM OBSERVATION OF CONTROLLING MONUMENTATION AND INTERPRETATION OF RECORD DESCRIPTIONS AND OTHER EVIDENCE. TOPOGRAPHIC INFORMATION SHOWN HEREON IS RELATED TO THE BOUNDARY BY DIRECT FIELD OBSERVATION FROM CONTROLLING MONUMENTATION.
- THIS IS A FIELD TRAVERSE SURVEY. A THREE SECOND COMBINED ELECTRONIC TOTAL STATION WAS USED TO MEASURE THE ANGULAR AND DISTANCE RELATIONSHIPS BETWEEN THE CONTROLLING MONUMENTATION AS SHOWN. CLOSURE RATIOS OF THE TRAVERSE MET OR EXCEEDED THOSE SPECIFIED IN WAC 332-130-090. ALL MEASURING INSTRUMENTS AND EQUIPMENT ARE MAINTAINED IN ADJUSTMENT ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
- UTILITIES OTHER THAN THOSE SHOWN MAY EXIST ON THIS SITE. ONLY THOSE UTILITIES WITH EVIDENCE OF THEIR INSTALLATION VISIBLE AT GROUND SURFACE OR AS MARKED BY 811 OR OTHER UTILITY LOCATING PROVIDERS ARE SHOWN HEREON. UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY. UNDERGROUND CONNECTIONS ARE SHOWN AS STRAIGHT LINES BETWEEN SURFACE EVIDENCE OF UTILITY LOCATIONS BUT MAY CONTAIN BENDS OR CURVES NOT SHOWN. SOME UNDERGROUND LOCATIONS SHOWN HEREON MAY HAVE BEEN TAKEN FROM PUBLIC RECORDS. CLIENT UNDERSTANDS THAT CORE DESIGN ASSUMES NO LIABILITY FOR THE ACCURACY OF PUBLIC RECORDS OR PAINTED UTILITY LOCATIONS.

VERTICAL DATUM

NAVD88 PER GNSS OBSERVATIONS

PROJECT BENCHMARKS

SET REBAR AND CAP STAMPED "CORE CONTROL", EAST SIDE OF DENSMORE ROAD, ±1.0' EAST OF EDGE OF PAVEMENT ACROSS STREET FROM NORTHERLY DRIVEWAY TO HOUSE #3920
ELEVATION=320.69

BASIS OF BEARINGS

N01°01'38"E BETWEEN THE FOUND MONUMENTS ALONG THE CENTERLINE OF 87TH AVENUE NE.

REFERENCES

- RECORD OF SURVEY BY WILLIAM H. ROBERTS RECORDED IN BOOK 1 OF SURVEYS, PAGE 87, UNDER SNOHOMISH COUNTY AUDITOR'S FILE NO. 2324101
- SURVEY NO. 477, ROAD NO. 369, G.G. PAINE, MAY 13, 1913

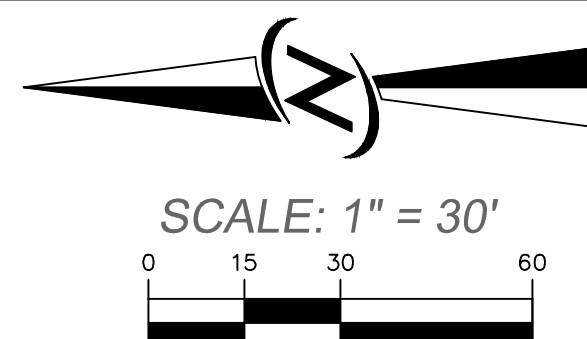
LEGAL DESCRIPTION

TRACTS 235 AND 244, SUNNYSIDE FIVE ACRE TRACTS, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 7 OF PLATS, PAGE 19, RECORDS OF SNOHOMISH COUNTY, WASHINGTON;
EXCEPT THE WEST 340 FEET THEREOF AS MEASURED ALONG THE NORTH LINE OF SAID TRACT 235.

SITUATE IN THE COUNTY OF SNOHOMISH, STATE OF WASHINGTON.

EXCEPTIONS CONTAINED IN TITLE

- THIS SITE IS SUBJECT TO COVENANTS, CONDITIONS, RESTRICTIONS, RECITALS, RESERVATIONS, EASEMENTS, EASEMENT PROVISIONS, DEDICATIONS, BUILDING SETBACK LINES, NOTES, STATEMENTS, AND OTHER MATTERS, IF ANY, AS SET FORTH ON THE PLAT OF SUNNYSIDE FIVE ACRE TRACTS, RECORDED UNDER SNOHOMISH COUNTY AUDITOR'S FILE NO. 122901. (NOTHING TO PLOT)
- THIS SITE IS SUBJECT TO AN ELECTRIC DISTRIBUTION LINE EASEMENT AND THE RIGHTS INCIDENTAL THERETO AS DISCLOSED BY INSTRUMENT RECORDED UNDER SNOHOMISH COUNTY AUDITOR'S FILE NO. 2358638. (SHOWN HEREON)
- THIS SITE IS SUBJECT TO RESERVATIONS AND EXCEPTIONS IN UNITED STATES PATENTS OR IN ACTS AUTHORIZING THE ISSUANCE THEREOF: INDIAN TREATY OR ABORIGINAL RIGHTS. (NOTHING TO PLOT)



LEGEND

- QUARTER CORNER
- CULVERT
- HOSE BIB
- POWER POLE
- LIGHT POLE
- GUY ANCHOR
- BWF BARBED WIRE FENCE
- SRF SPLIT RAIL FENCE
- CLF CHAINLINK FENCE
- HBF HORIZONTAL BOARD FENCE
- DECIDUOUS TREE
- EVERGREEN TREE
- CEDAR
- FIR
- PINE
- ALDER
- UNIDENTIFIED DECIDUOUS TREE
- OHP OVERHEAD POWER
- SD STORM PIPE
- FOUND SURVEY MONUMENT (AS NOTED)

FOUND CONCRETE MONUMENT WITH 1-1/4" BRASS DISC WITH PUNCH IN CASE, DOWN 0.3 HELD FOR POSITION

FOUND CONCRETE MONUMENT WITH 1-1/4" BRASS DISC WITH PUNCH IN CASE, DOWN 0.3 HELD FOR ROTATION

DATE		REVISIONS		REG.	
DESIGNED	PRESTON J. LONGONI, P.E.	DRAWN	CHUCK FEMLING	APPROVED	PRESTON J. LONGONI, P.E.
PROJECT MANAGER	BENJAMIN MADEO, A.I.C.P.				
SHEET	OF				
C1.02	7				
PROJECT NUMBER 21387					

EXISTING CONDITIONS
COLVIN PRD

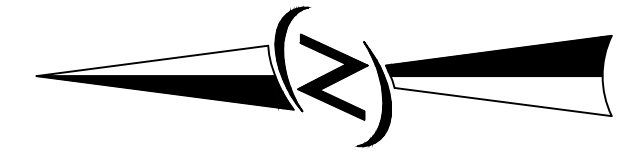
MAINVUE WA, LLC
1110 112TH AVE NE, STE 202
BELEVUE, WA 98004

CORE DESIGN
ENGINEERING • PLANNING • SURVEYING

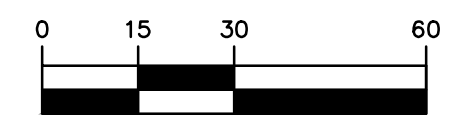
12100 NE 195th St, Suite 300
Bellevue, Washington 98011
425.885.7877 Fax 425.885.7963

7/23/2021

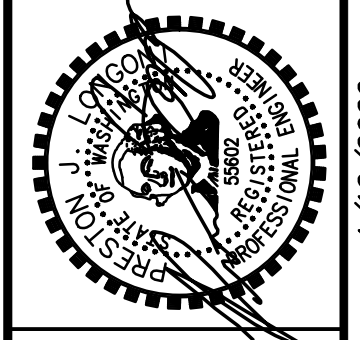
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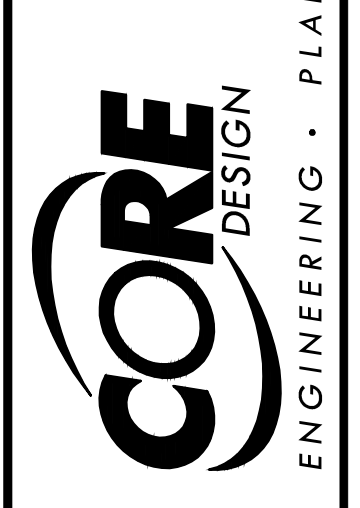
SCALE: 1" = 30'



NO.	REVISIONS	DATE



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 Bothell, Washington 98011
 425.885.7877 Fax 425.885.7963

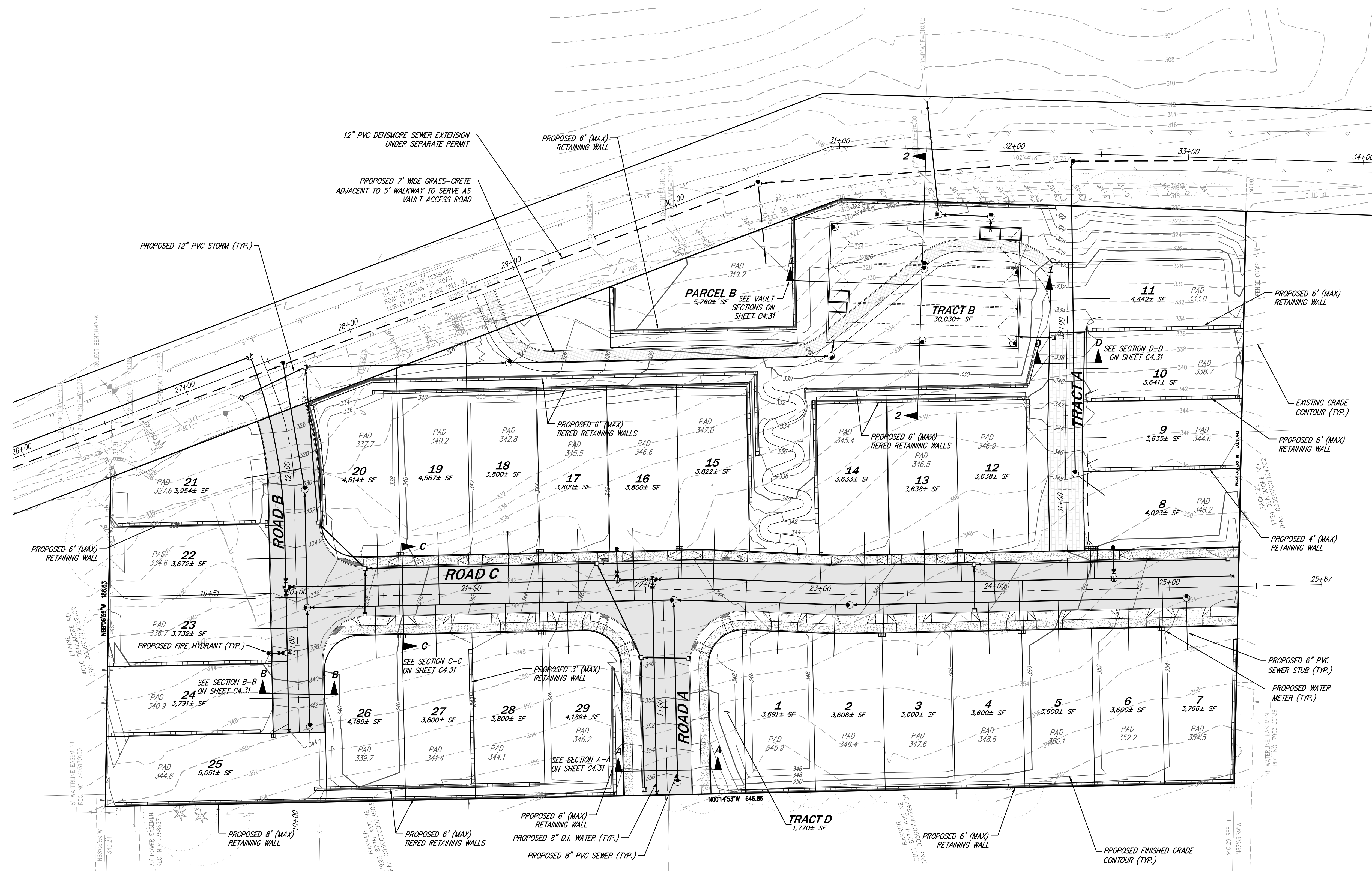
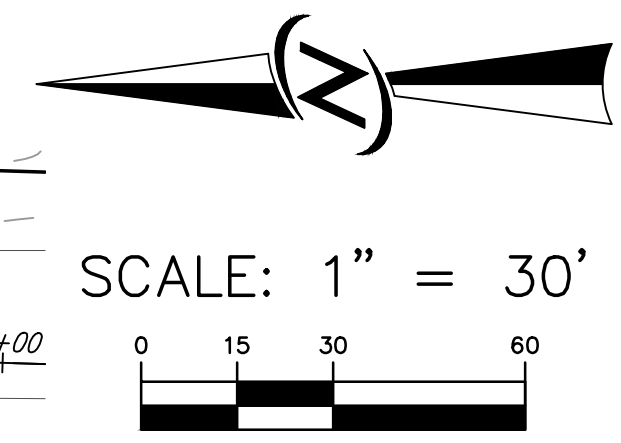


PRELIMINARY PLAT
COLVIN PRD
MAINVUE WA, LLC
 1110 112TH AVE NE, STE 202
 BELLEVUE, WA 98004

DATE: SEE STAMP DATE
 DESIGNED: PRESTON J. LONGONI, P.E.
 DRAWN: CHUCK FEMLING
 APPROVED: PRESTON J. LONGONI, P.E.
 BENJAMIN MADEO, A.I.C.P.
 PROJECT MANAGER

SHEET OF
C1.03 7
 PROJECT NUMBER
21387

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EARTHWORK QUANTITIES

APPROX. CUT: 19,000 CY
 APPROX. FILL: 11,000 CY

DATE	SEE STAMP DATE
DESIGNED	PRESTON J. LONGONI, P.E.
DRAWN	CHUCK FEMLING
APPROVED	PRESTON J. LONGONI, P.E.
	BENJAMIN MADEO, A.I.C.P.
	PROJECT MANAGER

SHEET	OF
C4.01	7
PROJECT NUMBER	
21387	

PRELIMINARY ROAD, GRADING & UTILITY PLAN
COLVIN PRD

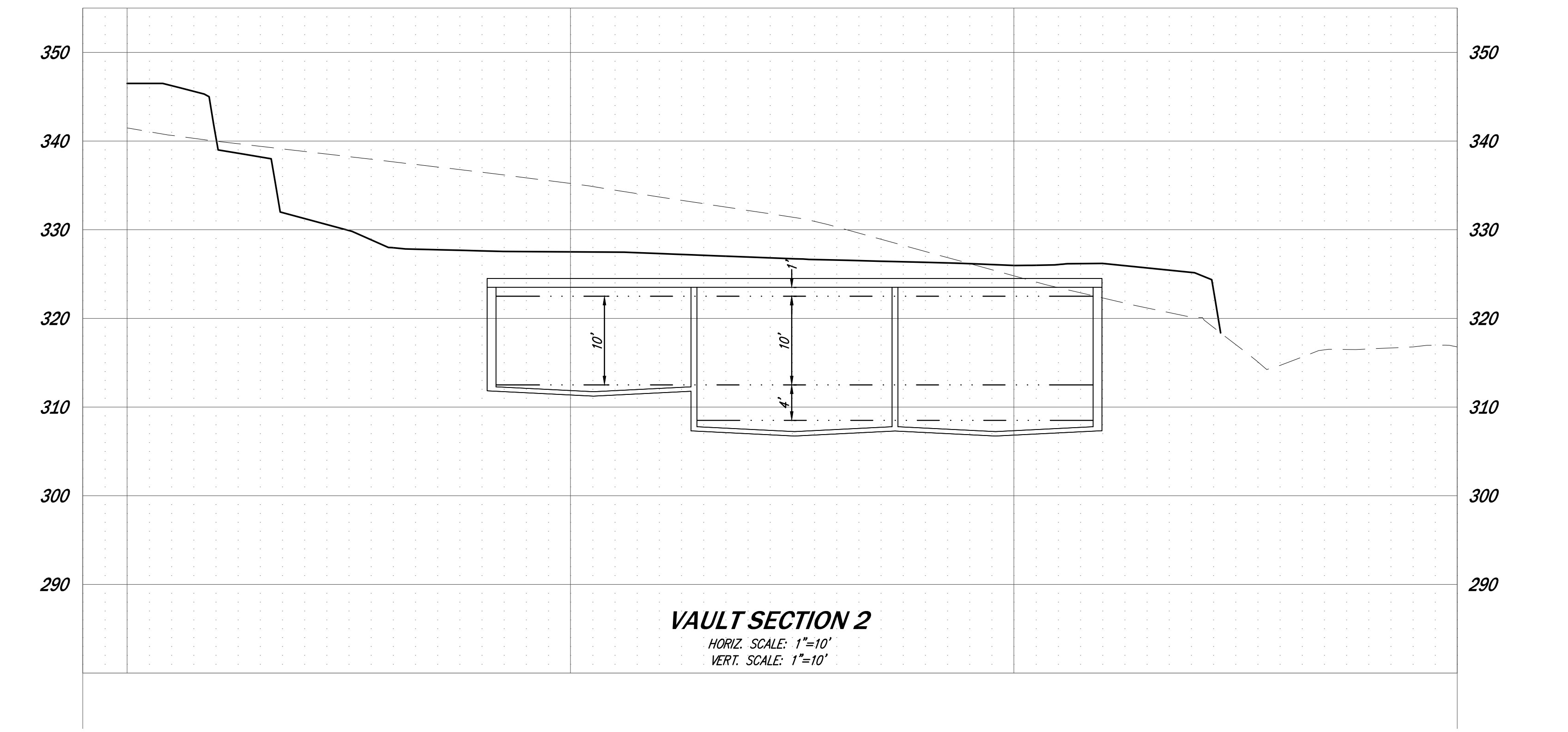
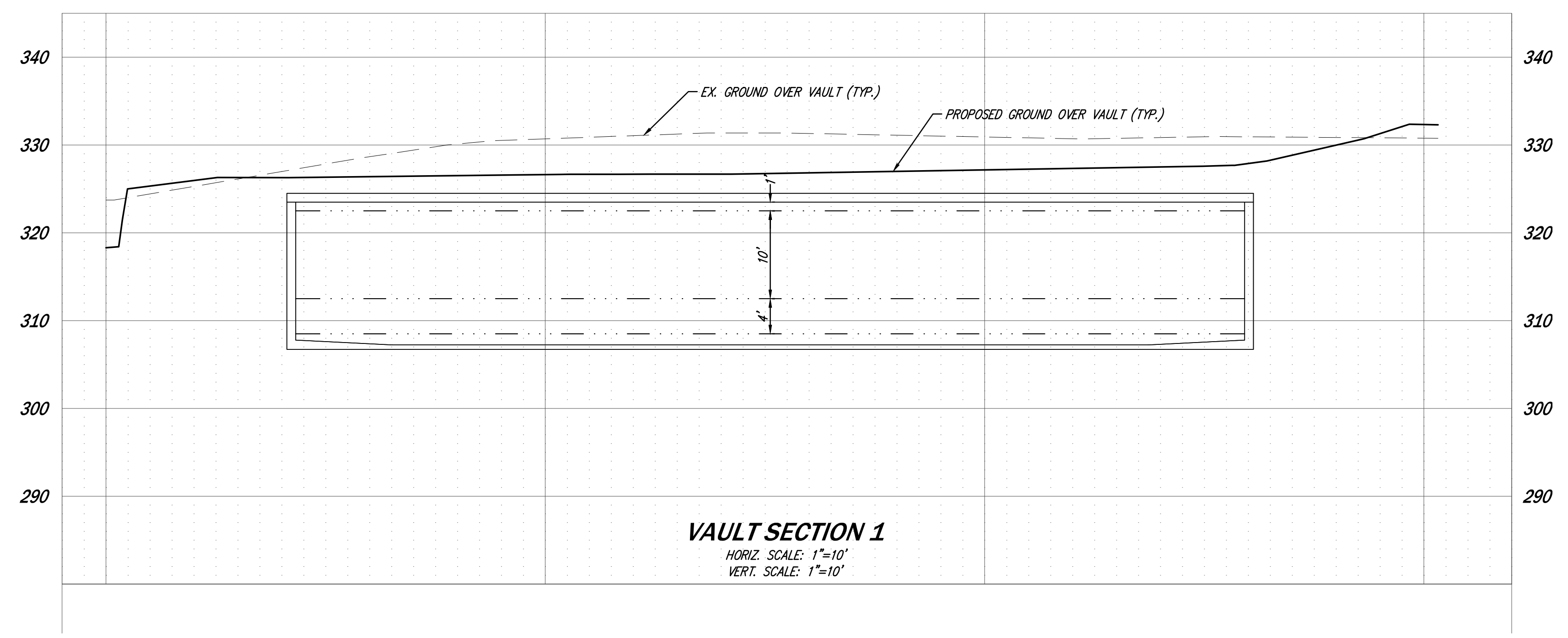
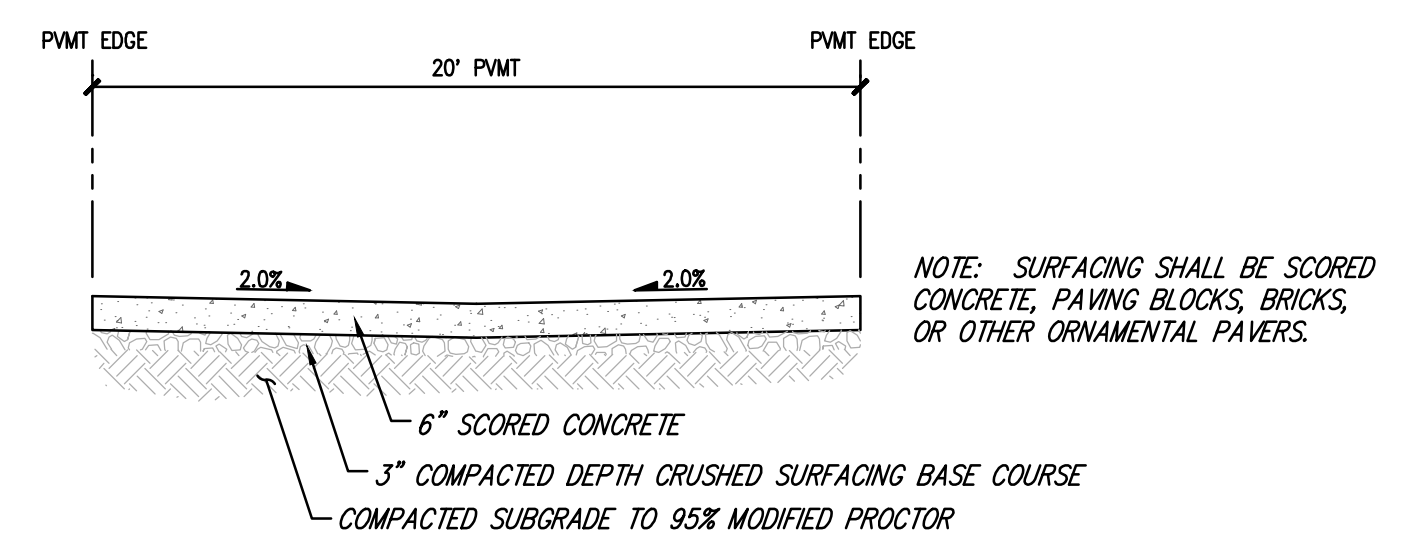
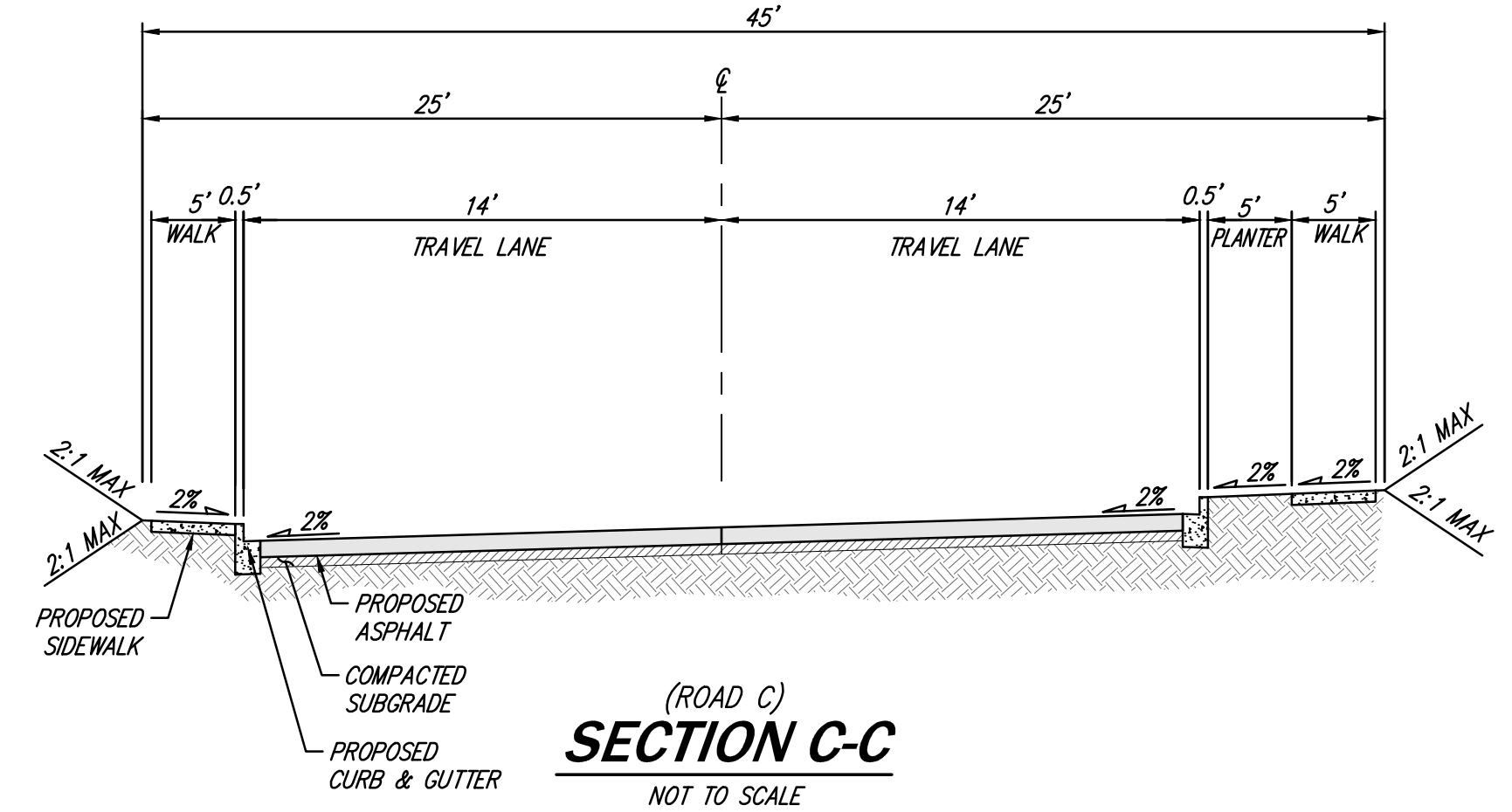
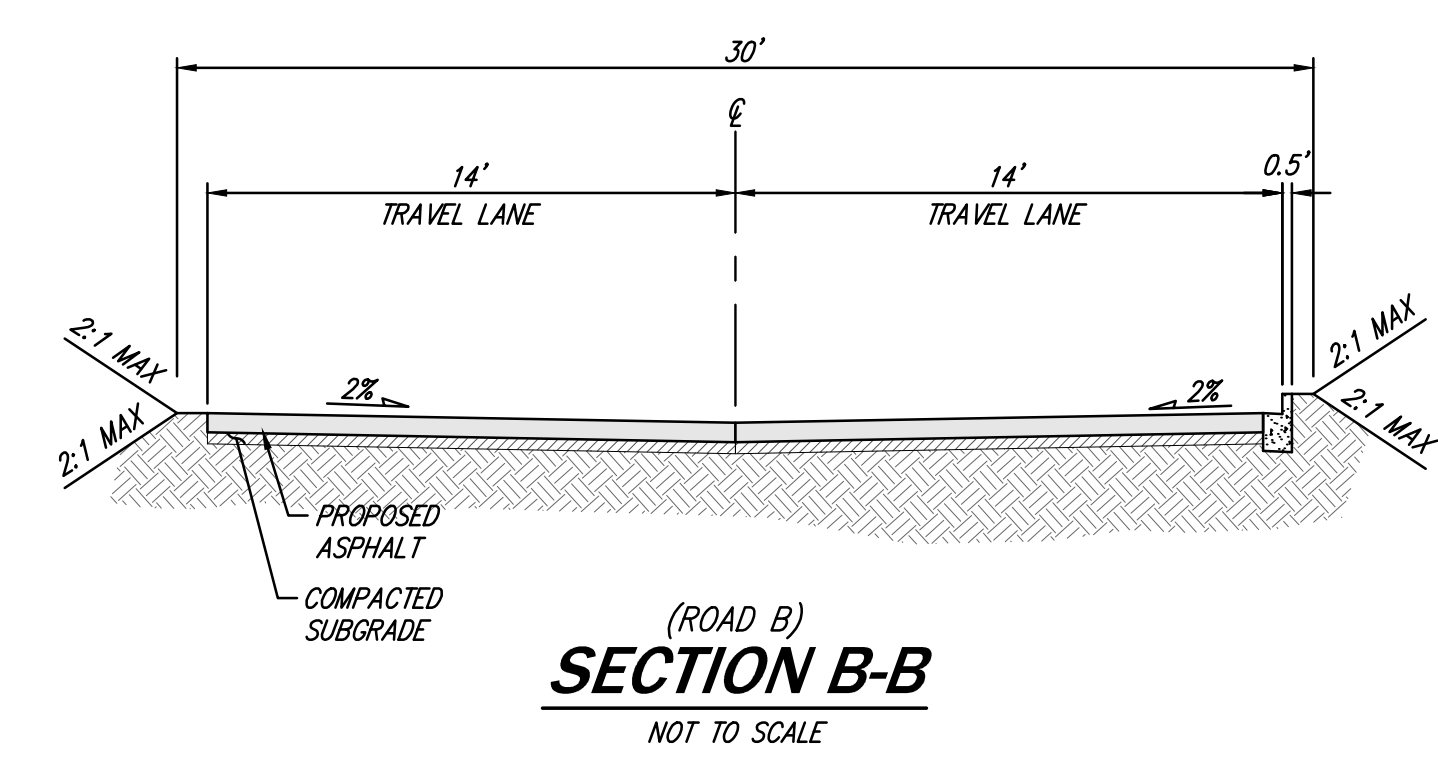
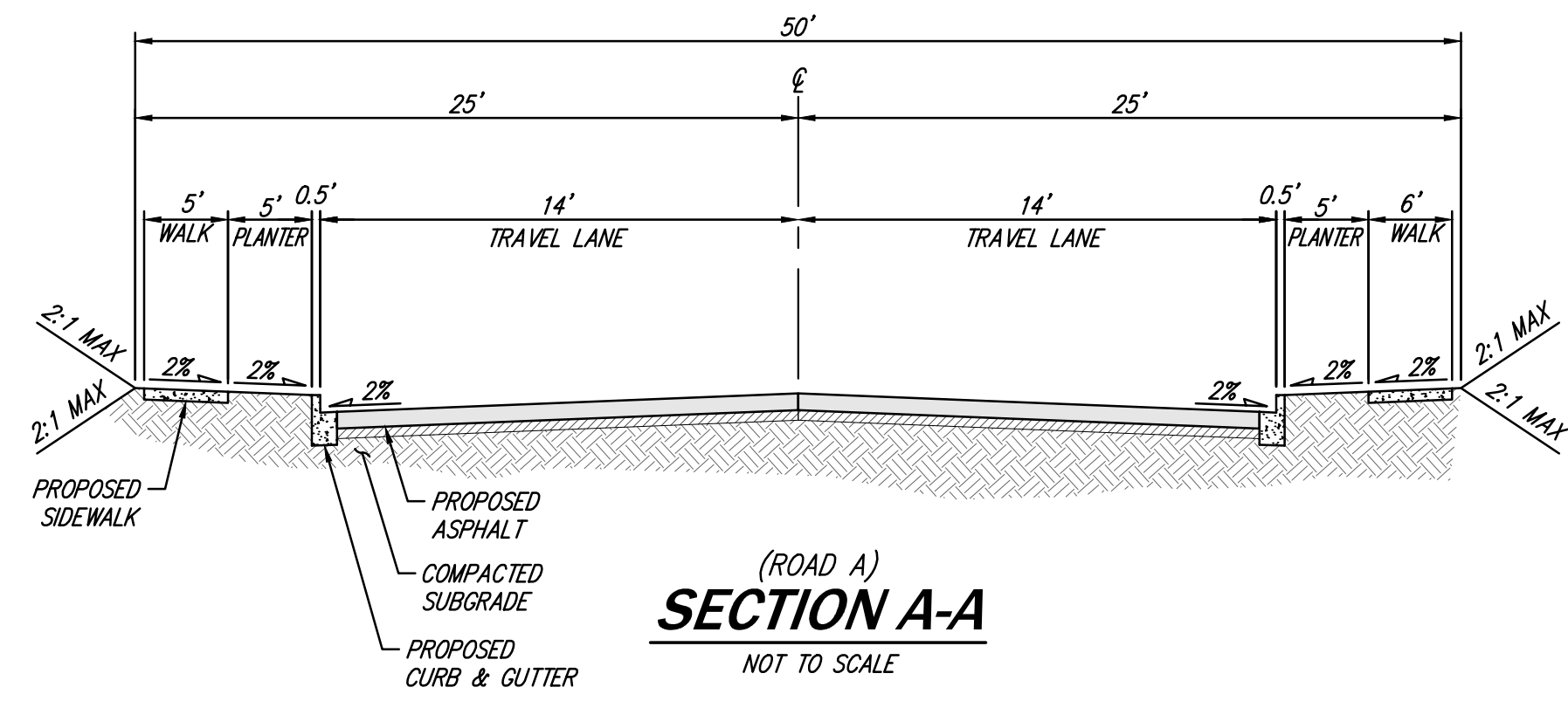
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4/12/2022

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DATE	DESIGNED	SEE STAMP DATE
REVISIONS	DRAWN	PRESTON J. LONGONI, P.E.
NO.	APPROVED	CHUCK FEMLING
		BENJAMIN MADEO, A.I.C.P.
		PROJECT MANAGER

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CORE DESIGN
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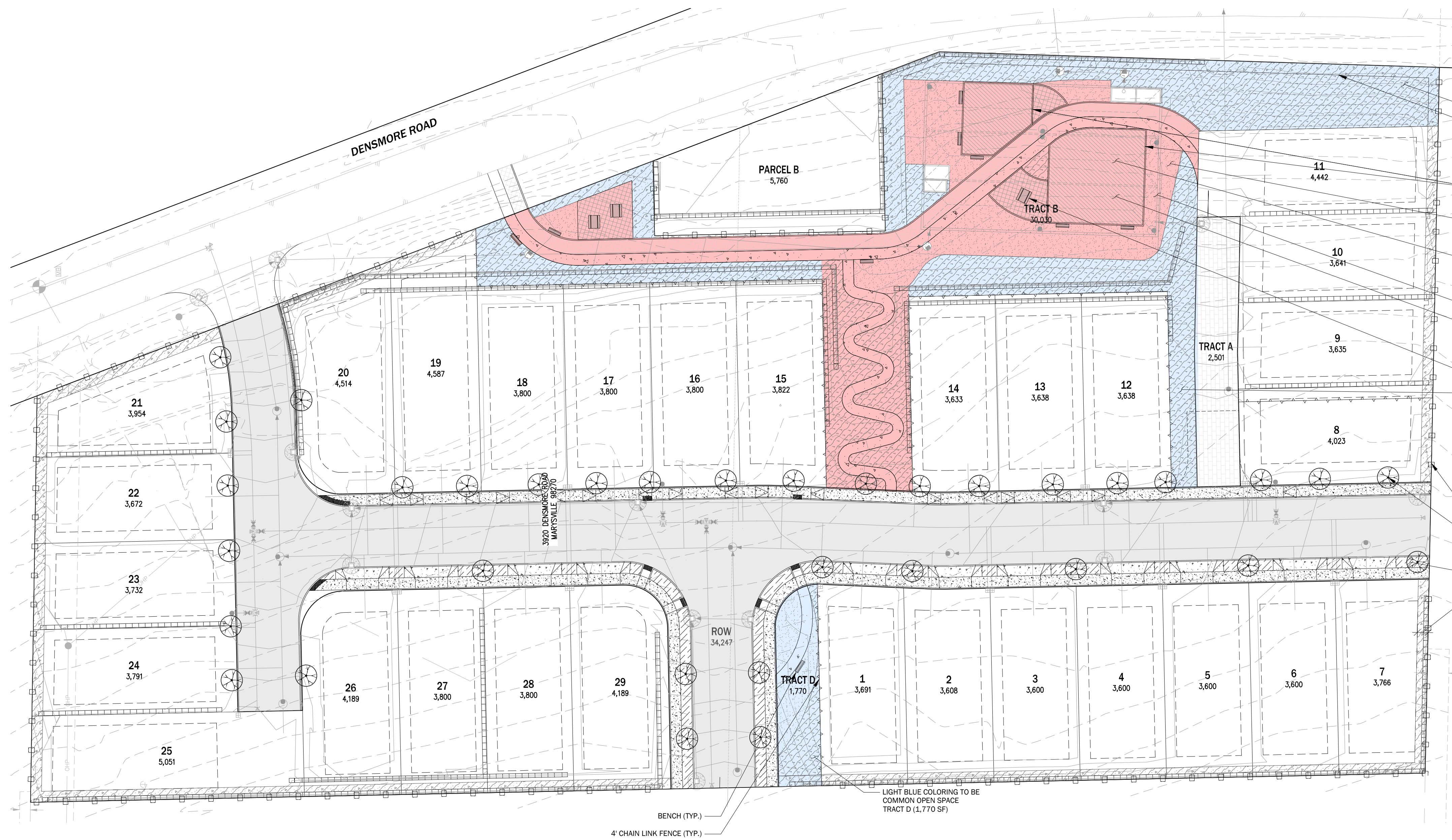
PRELIMINARY ROAD & VAULT SECTIONS
COLVIN PRD

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BELLEVUE, WA 98004

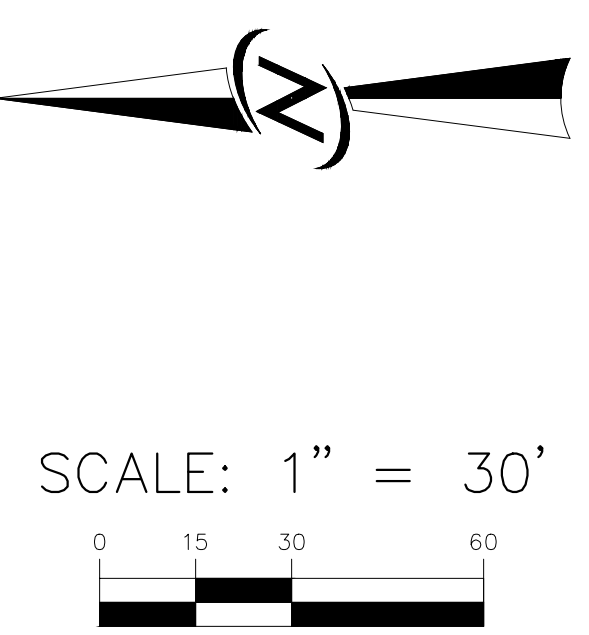
SHEET **C4.31** OF **7**

PROJECT NUMBER **21387**

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- GENERAL LANDSCAPING (TYP.)
- PERIMETER LANDSCAPE BUFFERING TO BE USED FOR R.D.I. CALCULATION 7.B.
- PLAY AREA TO BE USED AS ACTIVE RECREATIONAL SPACE FOR R.D.I. 6.A. (TYP.) (2,960 SF)
- LIGHT RED COLORING MINUS PLAY GROUND TO BE IN R.D.I. 6.B. CALCULATIONS TRACT B (14,044 SF)
- LIGHT RED COLORING OVER VAULT TO BE USED AS BOTH COMMON AND ACTIVE OPEN SPACE TRACT B (17,004 SF)
- LAWN (TYP.)
- SPECIFIC PLAYGROUND FORM AND EQUIPMENT TO BE FINALIZED DURING FINAL DESIGN
- PICNIC TABLE (TYP.)
- LIGHT BLUE COLORING TO BE USED AS COMMON OPEN SPACE TRACT B (18,618 SF)
- 6" WOOD PANEL FENCE (TYP.)
- STREET TREE (TYP.) SEE SHEET L2.02 FOR DEVELOPMENT STANDARDS.
- GROUND COVER (TYP.)
- 5' L3 TYPE PERIMETER BUFFER (TYP.)



LANDSCAPE PLAN

SCALE: 1" = 30'-0"

OPEN SPACE CALCULATIONS

MMC: 22G.080.100 OPEN SPACES.
 1. TOTAL NET PROJECT AREA: 144,439 SF
 15% REQUIRED OPEN SPACE: 144,439 SF X .15 = 21,666 SF
 35% OF OPEN SPACE REQUIRED TO BE ACTIVE: 21,666 SF X .35 = 7,583 SF

Location	Total Area	Passive Area	Active Area	Description
Tract B	30,030 SF 0.69 AC	12,734 SF 0.29 AC	17,004 SF 0.39 AC	Storm Drainage Facility/Playground
Sub-Total¹	30,030 SF 0.69 AC	12,734 SF 0.29 AC	17,004 SF 0.39 AC	
Tract D ²	1,770 SF 0.04 AC	1,770 SF 0.03 AC	0 SF 0.01 AC	Landscape

¹ Area permitted towards RDI Credits.
² Tract D cannot be counted towards RDI credits, but can be counted towards the total open space requirement

LANDSCAPE RESIDENTIAL DENSITY INCENTIVES

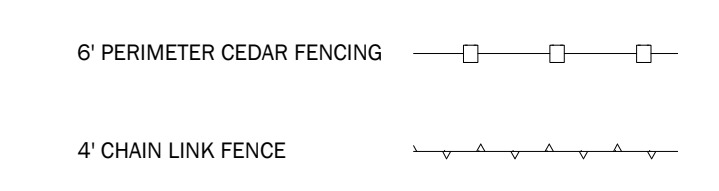
MMC: 22C.090.030 PUBLIC BENEFITS AND DENSITY INCENTIVES.

Incentive	Incentive Bonus	Amount Provided	Achieved Units
6. Storm Drainage Facilities <i>Dual use retention/detention facilities.</i> <i>a. Developments that incorporate active recreation facilities that utilize the storm water facility tract.</i>	5 bonus units per acre of the storm water facility tract used for active recreation.	2,960 SF 0.07 AC	0.35
<i>b. Developments that incorporate passive recreation facilities that utilize the storm water facility tract.</i>	2 bonus units per acre of the storm water facility tract used for passive recreation.	14,044 SF 0.32 AC	0.64
7. Project Design <i>b. Retention or creation of a perimeter buffer, composed of existing trees and vegetation, or additional plantings, in order to improve design or compatibility between neighboring land uses.</i>	1 bonus unit per 500 lineal feet of perimeter buffer retained, enhanced or created (when not otherwise required by city code).	1,575 LF	3.15
Total Achieved Landscape Incentive Units			4

NOTE:

- STREET TREES TO BE PLACED A MINIMUM OF 5' AWAY FROM ANY WET UTILITIES.
- LANDSCAPING TYPE LOCATION, SPECIES AND SPACING SHOWN ARE GENERAL IN NATURE. FINAL LAYOUT AND SPECIES SELECTION ARE SUBJECT TO CHANGE DURING FINAL DESIGN.
- ALL DESIGN ELEMENTS ARE PRELIMINARY. SPECIFIC PRODUCTS, FORM, COLORS, SIZES TO BE DETERMINED DURING FINAL DESIGN.

FENCING LEGEND



DATE: _____ SEE STAMP DATE
 DESIGNED: DANNY N. VILLAGRANA
 DRAWN: DANNY N. VILLAGRANA
 APPROVED: LINDSEY B. SOLORIO, P.L.A.
 BENJAMIN MADECO, A.I.C.P.
 PROJECT MANAGER

NO. _____
 REVISIONS: _____

STATE OF WASHINGTON
 LANDSCAPE ARCHITECT
 LICENSE NO. 15000
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CORE DESIGN
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PRELIMINARY LANDSCAPE PLAN
COLVIN PRD
MAINVUE WA, LLC
 1110 112TH AVE NE STE 202
 BELLEVUE, WA 98004

SHEET **L2.01** OF **7**
 PROJECT NUMBER **21387**

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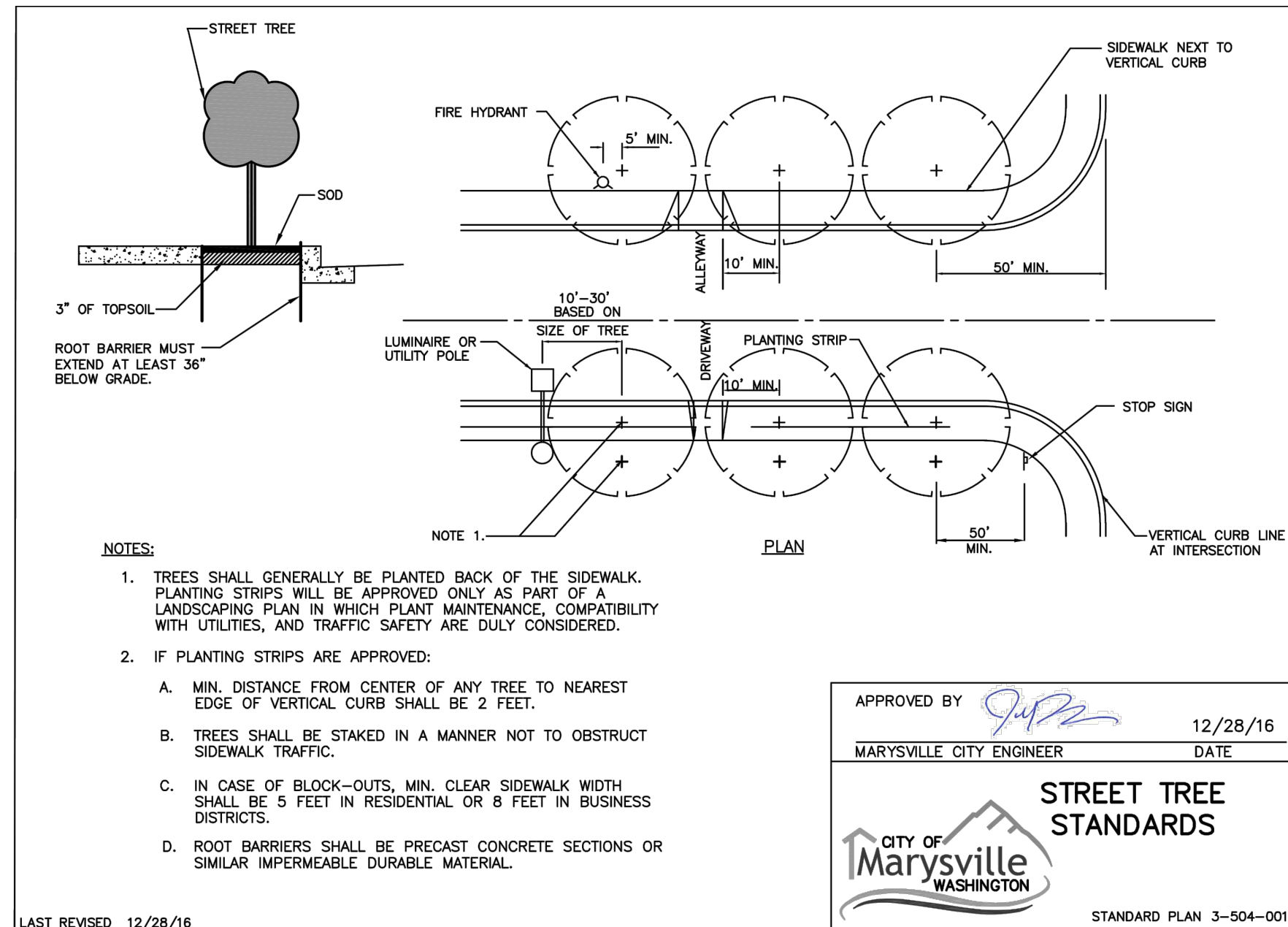
PLANT SCHEDULE

STREET TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
	34	ACER RUBRUM 'BOWHALL RED'	RED MAPLE	1.5" CAL. MIN.	30' O.C. OR AS SHOWN
SHRUB AREAS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
	1,556	GENERAL LANDSCAPING		5 GAL./24" HT. MIN.	3' O.C.
SHRUBS	BOTANICAL NAME	COMMON NAME			
	ABELIA X EDWARD GOUCHER	PINK ABELIA			
	CORNUS STOLONIFERA 'KELSEY'	KELSEY DOGWOOD			
	FORSYTHIA X INTERMEDIA 'FIESTA'	FIESTA FORSYTHIA			
	HAKONECHLOA MACRA 'BENI-KAZE'	GREEN FOREST GRASS			
	NANDINA DOMESTICA 'FIREPOWER'	HEAVENLY BAMBOO			
	OSMANTHUS HETEROPHYLLUS 'GOSHIKI'	GOSHIKI HOLLY OLIVE			
	PIERIS JAPONICA 'FOREST FLAME'	LILY OF THE VALLEY BUSH			
	PRUNUS LAUROCERASUS 'MOUNT VERNON'	MOUNT VERNON LAUREL			
	CORNUS ALBA	TATARIAN DOGWOOD			
	GAULTHERIA SHALLON	SALAL			
	HOLIDISCUS DISCOLOR	OCEAN SPRAY			
	MAHONIA AQUIFOLIUM	OREGON GRAPE			
	MAHONIA AQUIFOLIUM 'COMPACTA'	COMPACT OREGON GRAPE			
	MYRICA CALIFORNICA	PACIFIC WAX MYRTLE			
	PHILADELPHUS LEWISII	WILD MOCKORANGE			
	POLYSTICHUM MUNITUM	WESTERN SWORD FERN			
	RIBES SANGUINEUM	RED FLOWERING CURRANT			
	ROSA NUTKANA	NOOTKA ROSE			
	SPIRAEA DOUGLASII	WESTERN SPIREA			
	SYMPHORICARPOS ALBUS	COMMON WHITE SNOWBERRY			
	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY			
PERENNIALS	BOTANICAL NAME	COMMON NAME			
	HETEROTHECA VILLOSA	HAIRY FALSE GOLDENASTER			
	SYMPHYOTRICHUM SPATHULATUM	WESTERN MOUNTAIN ASTER			
	TRILLIUM OVATUM	COAST TRILLIUM			
	VIOLA ADUNCA	HOOKEDSPUR VIOLET			
	1,033	TYPE L3 BUFFER		5 GAL./24" HT. MIN.	3' O.C.
TREES	BOTANICAL NAME	COMMON NAME			
	BETULA NIGRA	RIVER BIRCH			
	COTINUS COGGYGRIA	SMOKE TREE			
	NYSSA SYLVATICA	SOUR GUM			
	TAXODIUM DISTICHUM	BALD CYPRESS			
SHRUBS	BOTANICAL NAME	COMMON NAME			
	CORNUS STOLONIFERA 'KELSEY'	KELSEY DOGWOOD			
	GAULTHERIA SHALLON	SALAL			
	MAHONIA AQUIFOLIUM	OREGON GRAPE			
	POLYSTICHUM MUNITUM	WESTERN SWORD FERN			
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
	5,415 SF	LAWN		HYDROSEED	
	1,813 SF	PRUNUS LAUROCERASUS 'MOUNT VERNON'	MOUNT VERNON ENGLISH LAUREL	1 GAL.	18" O.C.

* PLANTING SPECIES AND SIZING TO BE DETERMINED AT FINAL DESIGN.

GENERAL LANDSCAPE NOTES

- 1.) THE LANDSCAPE CONTRACTOR MUST BE LICENSED AND OR BONDED. CONTRACTOR MUST BE EXPERIENCED IN LANDSCAPE WORK OF THE BEST TRADE PRACTICES AND HAVE THE NECESSARY EQUIPMENT AND PERSONNEL TO PERFORM WORK.
- 2.) THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HER/HIMSELF WITH THE SITE AND ALL OTHER SITE IMPROVEMENTS PRIOR TO THE START OF LANDSCAPE WORK.
- 3.) THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND USE CAUTION WHILE EXCAVATING IN ORDER TO AVOID DISTURBING ANY EXISTING UTILITIES. THE LANDSCAPE CONTRACTOR WILL PROMPTLY NOTIFY THE GENERAL CONTRACTOR AND OWNER OF ANY CONFLICTS. IN THE EVENT OBSTRUCTIONS ARE ENCOUNTERED DURING PLANTING ACTIVITIES, ALTERNATIVE LOCATIONS MAY BE SELECTED BY THE OWNER'S REPRESENTATIVE.
- 4.) THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL WORK RELATED TO OTHER TRADES AS REQUIRED.
- 5.) THE LANDSCAPE CONTRACTOR SHALL PROVIDE ALL PLANTS OF THE CORRECT SIZE, SPECIES VARIETY, QUANTITY AND QUALITY AS SPECIFIED ON PLANT SCHEDULE AND SYMBOLS ON LANDSCAPE PLAN. IF UNAVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY AND PROVIDE THE NAMES AND TELEPHONE NUMBERS OF THREE NURSERY SUPPLIERS OR PLANT BROKERS THAT HAVE BEEN CONTACTED. SUBSTITUTIONS SHALL ONLY BE MADE UPON THE APPROVAL OF THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
- 6.) ALL PLANT MATERIAL SHALL BE INSPECTED AND APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING. ALL PLANT MATERIAL SHALL CONFORM TO THE LATEST EDITION OF AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION (ANSI Z60.1).
- 7.) THE LANDSCAPE CONTRACTOR SHALL DELIVER, MAINTAIN AND WATER PLANT MATERIAL UNTIL OWNERS FINAL ACCEPTANCE IS RECEIVED.
- 8.) THE LANDSCAPE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ALL PROPERTY, INCLUDING PAVEMENT, WALKWAYS, CURBS, FENCING, STRUCTURES, ETC., DURING CONSTRUCTION.
- 9.) THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING INFORMED OF ALL EXISTING CODES, LAWS AND ORDINANCES RELATING TO THE WORK REQUIRED ON SITE, AND SHALL COMPLY ACCORDINGLY.
- 10.) THE LANDSCAPE CONTRACTOR SHALL COORDINATE WITH THE GENERAL CONTRACTOR TO ASSURE PROPER SUBGRADES ARE MET.
- 11.) THE LANDSCAPE CONTRACTOR SHALL SUBMIT THREE REPRESENTATIVE SOIL SAMPLES TO THE OWNER'S REPRESENTATIVE FOR TESTING BY AN APPROVED SOIL TESTING LABORATORY. AMENDMENTS SHALL BE ADDED TO THE SOIL MIX AS RECOMMENDED BY SOIL TESTING LAB.
- 12.) THE LANDSCAPE CONTRACTOR SHALL RAKE PREPARED AREAS AND REMOVE ANY ROCK OR DEBRIS OVER 1". ALL LAWN AREAS SHALL BE ROLLED TO PROVIDE A FIRM, SMOOTH SURFACE FREE OF DIVOTS OR MOUNDS.
- 13.) THE LANDSCAPE CONTRACTOR SHALL SET FINISHED AMENDED SOIL DEPTH BELOW EDGE OF HARDSCAPE ELEMENTS PRIOR TO MULCH AND/OR SOD INSTALLATION. GRADES SHALL BE SET 3" BELOW ADJACENT HARDSCAPE SURFACES FOR PLANTING BEDS AND 1" BELOW FOR LAWN AREAS.
- 14.) MULCH SHALL BE 100% NATURAL FIR OR HEMLOCK, FINE GROUND, OF UNIFORM COLOR, FREE FROM DYES, WEED SEEDS, SAWDUST & SCRAP LUMBER FIBER, TRASH, INORGANIC MATERIAL OR ANY OTHER COMPOUND DETRIMENTAL TO PLANT GROWTH.
- 15.) FERTILIZER SHALL BE A COMPLETE, BALANCED COMMERCIAL BRAND WITH COMPLETE CHEMICAL ANALYSIS SHOWN ON AN UNOPENED CONTAINER WHEN DELIVERED. FERTILIZER SHALL BE APPLIED AT RATES CONSISTENT WITH THE MANUFACTURER'S RECOMMENDATIONS AND SOIL TESTING LAB'S RECOMMENDATIONS.
- 16.) WORK AREAS TO BE KEPT NEAT AND ORDERLY AND FREE OF DEBRIS AND RUBBISH AT ALL TIMES DURING PROGRESS OF WORK. RAKE BEDS NEATLY TO AN EVEN FINE GRADE AROUND ALL PLANTS. ALL PAVED AREAS ARE TO BE CLEANED BY BROOM AND/OR WASHED AFTER EACH DAY'S WORK OR MORE FREQUENTLY AS REQUIRED. ALL PLANTING AREAS AND ADJACENT PAVED AREAS SHALL BE LEFT IN A NEAT AND CLEAN CONDITION UPON COMPLETION OF JOB.
- 17.) IF A DISCREPANCY EXISTS BETWEEN THE PLANT QUANTITIES ON THE PLANT SCHEDULE AND THOSE SHOWN ON THE PLAN THE QUANTITIES ON THE PLAN SHALL GOVERN.
- 18.) PROPOSALS FOR PLANT SUBSTITUTIONS, LOCATION ADJUSTMENTS, SOIL AMENDMENTS OR ANY VARIATIONS FROM THE APPROVED PLANS SHALL REQUIRE PRIOR APPROVAL BY THE RESPONSIBLE OFFICIAL.
- 19.) DRAINAGE: CONTRACTOR SHALL NOTIFY THE OWNER OF ANY LOW POINTS OR FORESEEN POOR DRAINING AREAS EXISTING ON-SITE AND PROVIDE CORRECTIVE DRAINAGE PLANS PRIOR TO COMMENCING LANDSCAPE WORK. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING POSITIVE DRAINAGE IN ALL FINISHED LANDSCAPE AREAS THAT ARE PART OF THIS SCOPE OF WORK. ALL POSITIVE DRAINAGE FROM LANDSCAPE AREAS SHALL BE DISCHARGED APPROPRIATELY AND SHALL NOT CREATE DRAINAGE PROBLEMS OFF-SITE OR IN OTHER AREAS OF THE PROJECT. FINISHED LANDSCAPE AREAS WITH PONDING WATER OR OTHER POOR DRAINAGE CONDITIONS SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- 20.) LAWNS SHALL BE HYDROSEED WITH "SIGNATURE" AS SUPPLIED BY JB INSTANT LAWN OR APPROVED EQUAL. THE SEEDING AREA MUST BE PROTECTED BY A BARRIER WITH SIGNS THAT READ "KEEP OFF NEWLY SEEDING LAWN AREA".
- 21.) OWNER SHALL APPROVE PLANT MATERIAL & PLANTING BED LOCATION PRIOR TO INSTALLATION. ALLOW 24 HOURS MINIMUM NOTIFICATION FOR INSPECTION REQUEST. PLANT MATERIAL THAT HAS BEEN APPROVED FOR INSTALLATION SHALL BE PLANTED WITHIN 24 HOURS. INSTALLATION SHALL NOT BE CONDUCTED UNDER ADVERSE WEATHER CONDITIONS WITHOUT PRIOR APPROVAL OF THE RESPONSIBLE OFFICIAL. PLANT MATERIAL THAT CANNOT BE PLANTED WITHIN ONE DAY FOLLOWING ARRIVAL SHALL BE HEED-IN, KEPT MOIST AND PROTECTED AT ALL TIMES FROM EXTREME WEATHER CONDITIONS. PLANTS SHALL BE STORED AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- 22.) TREE PITS SHALL BE A MINIMUM OF TWO TIMES (2x) THE DIAMETER OF THE TREE'S ROOT MASS. ADDITIONAL AERATION MAY BE REQUIRED AS DIRECTED BY THE RESPONSIBLE OFFICIAL. ADD WATER TUBES TO THE TREE PLANTINGS IN PAVED AREAS.
- 23.) STREET TREES SHALL BE SYMMETRICAL AND UNIFORM IN APPEARANCE, SIZE AND STRUCTURE.
- 24.) STREET TREE AND SHRUB INSTALLATIONS SHALL CONFORM TO THE FOLLOWING GENERAL GUIDELINES:
 - A.) TREES SHALL NOT BE PLANTED IN LOCATIONS THAT COULD LEAD TO ROOTS DAMAGING SIDEWALKS OR CURBING, OR IN ANY OTHER LOCATION THAT MAY CAUSE A SAFETY CONCERN.
- 25.) PLANT MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF TWO YEARS. PLANT MATERIAL THAT HAS LOST MORE THAN 30 PERCENT OF ITS NORMAL FOLIAGE SHALL BE REPLACED AT CONTRACTOR'S EXPENSE AS DIRECTED BY THE RESPONSIBLE OFFICIAL.



ENGINEERING DESIGN AND DEVELOPEMENT STANDARDS: PLAN 3-504-001

NO.	DATE	REVISIONS

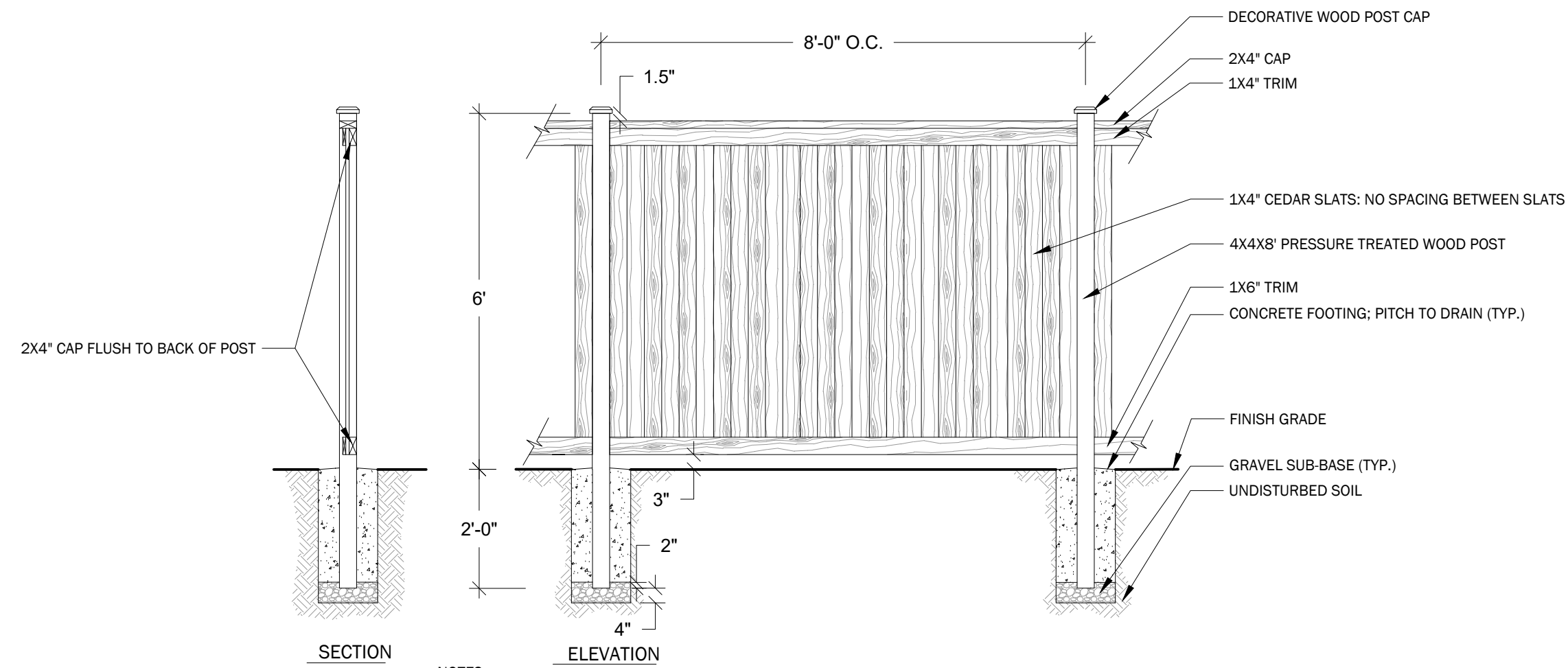
STATE OF WASHINGTON
 PROFESSIONAL ENGINEER
 LICENSE NO. 041717
 LICENSED LANDSCAPE ARCHITECT

12100 NE 195th St, Suite 300
 Bothell, Washington 98011
 425.885.7977 Fax 425.885.7963

CORE DESIGN
 ENGINEERING • PLANNING • SURVEYING

PRELIMINARY LANDSCAPE SCHEDULE & NOTES
COLVIN PRD
MAINVUE WA, LLC
 1110 112TH AVE NE, STE 202
 BELLEVUE, WA 98004

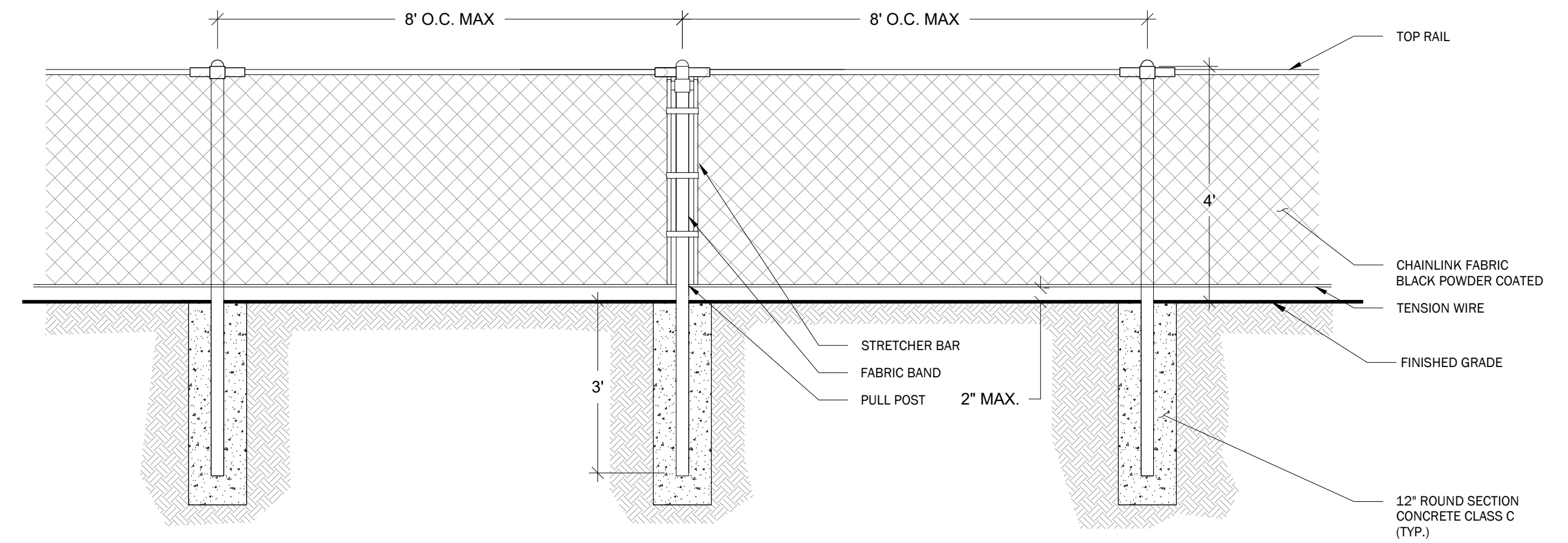
DATE	SEE STAMP DATE
DESIGNED	DANNY N. VILLAGRANA
DRAWN	DANNY N. VILLAGRANA
APPROVED	LINDSEY B. SOLORIO, P.L.L.C. BENJAMIN MADEO, A.I.C.P.
	PROJECT MANAGER
SHEET	OF
L2.02	7
PROJECT NUMBER 21387	



- NOTES:
1. TOP RAIL TO BE HORIZONTAL WITH MAX 12" STEPS AT POSTS AS NEEDED FOR GRADE - VERIFY W/ SUPERINTENDENT ON STEEP GRADES.
 2. 2"x4" RAIL SIDE TO FACE INTO THE FENCE OWNER'S PROPERTY EXCEPT AT STREET OR PARK LOCATIONS.
 3. WITH GRADE DIFFERENCE OF 6" OR MORE BETWEEN POSTS - SLOPE BOTTOM RAIL TO CONFORM.
 4. STAIN ALL WOOD WITH SEMI-TRANSPARENT STAIN, COLOR TO MATCH ARCHITECTURE. STAIN TO BE SELECTED BY OWNER.

DETAIL: 6' WOOD PANEL FENCE

NOT TO SCALE



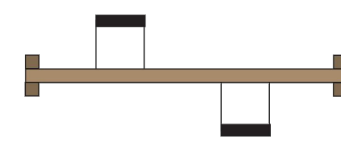
- NOTES:
1. MINIMUM POST LENGTH 8'-8".
 2. ALL MATERIAL TO BE BLACK POWDER COATED WITH ONSITE TOUCHUP FOLLOWING INSTALLATION.

DETAIL: 4' HT. CHAIN LINK FENCE

NOT TO SCALE



PE-2064 Swing
Soft-Touch Polypropylene
Area needed: 24' x 32'
Meets ASTM, ADA and CPSC Safety Guidelines



NOTES:

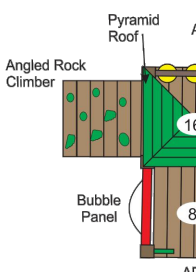
PLAY GROUND EQUIPMENT IS PRELIMINARY IN NATURE, FINAL PRODUCT, FORM, COLOR, AND SIZES TO BE DETERMINED DURING FINAL DESIGN.

DETAIL: SWING SET

SOURCE: PACIFIC OUTDOOR PRODUCTS NOT TO SCALE



PE-7745
Area needed: 20' x 20'
Ages 2-5 years
Capacity: 10-14
Activities: 5



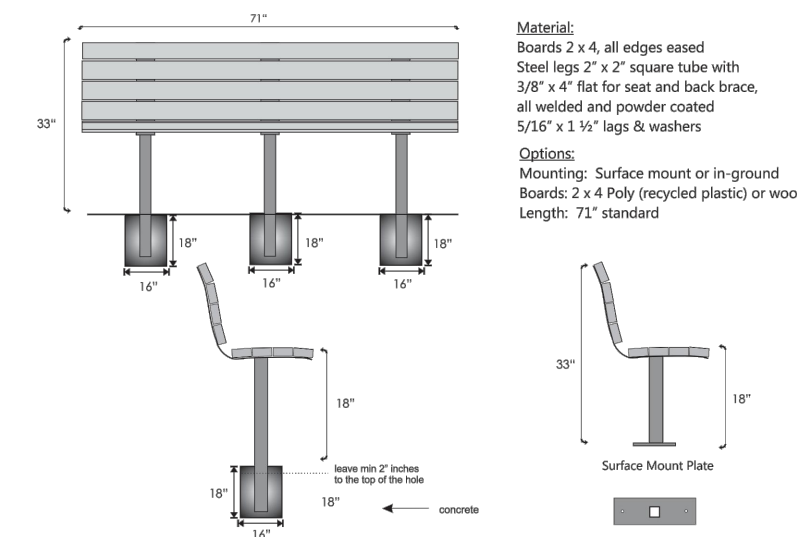
NOTES:

PLAY GROUND EQUIPMENT IS PRELIMINARY IN NATURE, FINAL PRODUCT, FORM, COLOR, AND SIZES TO BE DETERMINED DURING FINAL DESIGN.

DETAIL: PLAY STRUCTURE

SOURCE: PACIFIC OUTDOOR PRODUCTS NOT TO SCALE

SE-5165 Bench Specifications



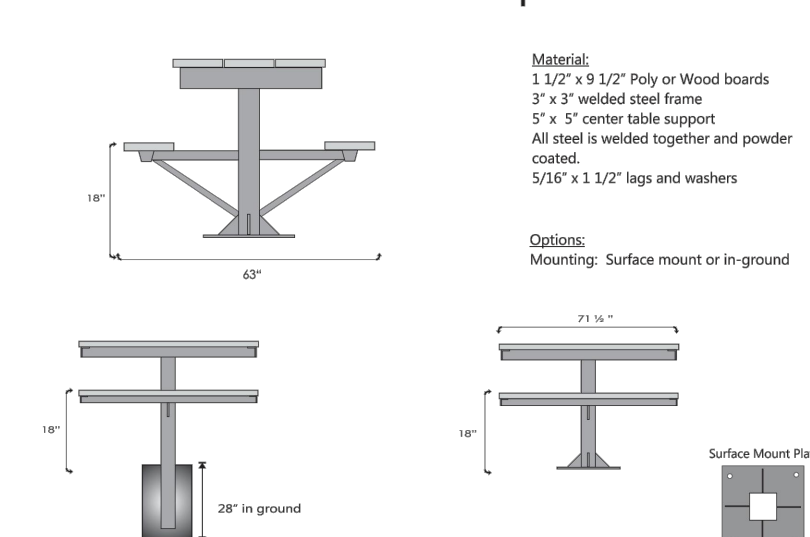
- In-Ground**
- 1) Install the bench frames approximately 28" in the ground, 2 frames for a timber bench and 3 frames for a Poly bench, the third frame is centered between the two outer frames. Level the frames by putting one of the 2x4 bench boards on the frames and using a level to make sure the board is level. Lag the boards on from the bottom of the frames. Make sure the frames are "plumb and level".
 - 2) Pour the concrete in the holes so it is no more than 2" from the top of each hole. Once it has cured up you can lag both the boards to the bench frames. Make sure the top of the seat bench boards is approximately 18" above the finished grade.
 - 3) The bench boards are to be centered on the pre-drilled holes in the bench frames. The timber boards overhang each edge 12" and the poly boards overhang 6" on each edge spaced equally apart.
 - 4) In the poly bench boards, it is necessary to drill a 3/16" pilot hole for each lag before bolting the bench together.
- Surface Mount**
- 1) Assemble the bench by lagging the boards onto the frames. The timber bench frames over hang each bench frame 12" and the poly boards overhang the frames 6". Center the boards on the predrilled holes in the frames, space evenly and lag both them together. Lag them on from the bottom of the frames.
 - 2) Once the bench is assembled place it on the concrete where it is to be installed and mark where the mounting holes are to be drilled on the concrete. Remove the bench and drill the holes and bolt the bench down.
 - 3) In the poly bench boards, it is necessary to drill a 3/16" pilot hole for each lag before bolting the bench together.

- NOTES:
1. EQUIPMENT IS PRELIMINARY IN NATURE, FINAL PRODUCT, FORM, COLOR, AND SIZES TO BE DETERMINED DURING FINAL DESIGN.

DETAIL: BENCH

SOURCE: PACIFIC OUTDOOR PRODUCTS NOT TO SCALE

SE-5345 Table Specifications



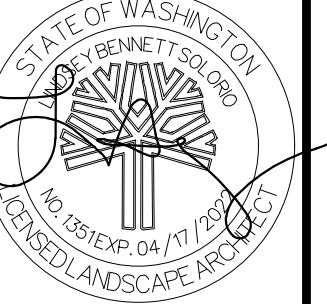
- In-Ground Installation**
- 1) Place the table where you want to install it and mark the ground.
 - 2) Dig a 16" diameter x 28" deep hole and place the table in the hole making sure the seats are approximately 17" to 18" off the ground.
 - 3) Make sure the table is "plumb and level" in the hole. Fill the hole with pre-mix concrete leaving 2" from the top of the hole.
 - 4) Once the concrete has hardened place the table boards evenly on the frame and lag them to the frame from the bottom into the board.
 - 5) If the table boards are poly you need to drill a 3/16" pilot hole in each board prior to lagging the board to the frame.
- Surface Mount**
- 1) Set on the concrete where it is to be installed and mark where the mounting holes are to be drilled on the concrete through the mounting plate.
 - 2) Remove the table, drill the holes, with a 5/8" concrete drill bit.
 - 3) Place the table back on the marks and tighten the anchor bolts.

- NOTES:
1. EQUIPMENT IS PRELIMINARY IN NATURE, FINAL PRODUCT, FORM, COLOR, AND SIZES TO BE DETERMINED DURING FINAL DESIGN.

DETAIL: PICNIC TABLE

SOURCE: PACIFIC OUTDOOR PRODUCTS NOT TO SCALE

NO.	REVISIONS	DATE



12100 NE 195th St, Suite 300
Bellevue, Washington 98011
425.885.7977 Fax 425.885.7963



PRELIMINARY LANDSCAPE DETAILS
COLVIN PRD
MAINVUE WA, LLC
1110 112TH AVE NE, STE 202
BELLEVUE, WA 98004

DATE	SEE STAMP DATE
DESIGNED	DANNY N. VILLAGRANA
DRAWN	DANNY N. VILLAGRANA
APPROVED	LINDSEY B. SOLORIO, P.L.L.C. BENJAMIN MADEO, A.I.C.P.
	PROJECT MANAGER

SHEET	OF
L2.32	7
PROJECT NUMBER	
21387	

ENGINEERING • PLANNING • SURVEYING

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