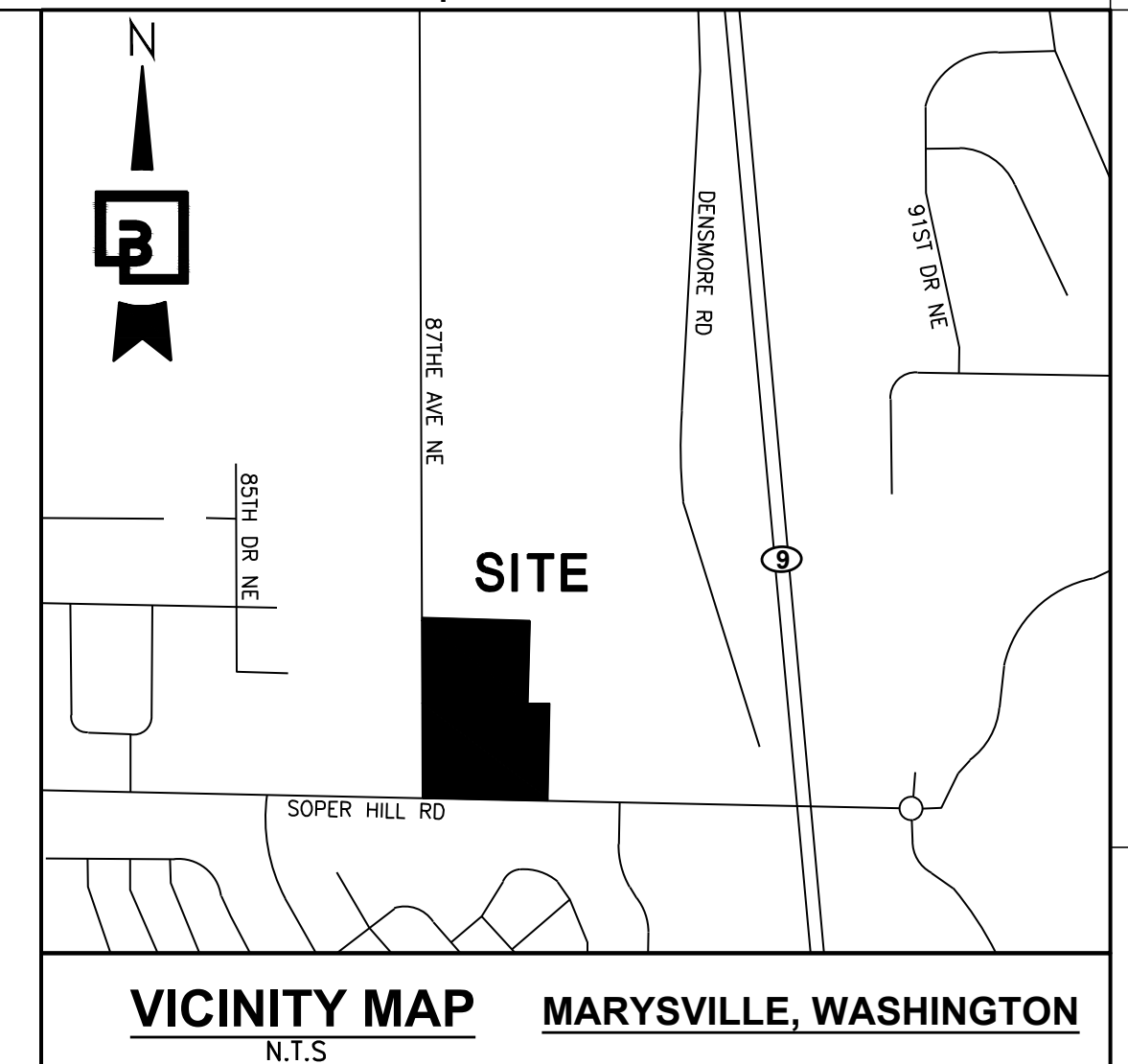
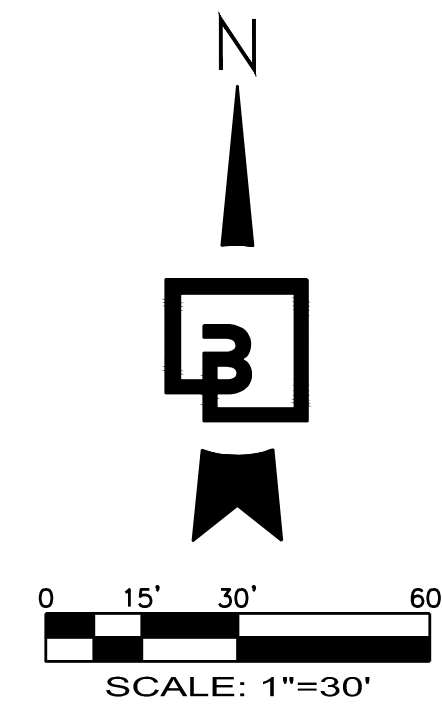
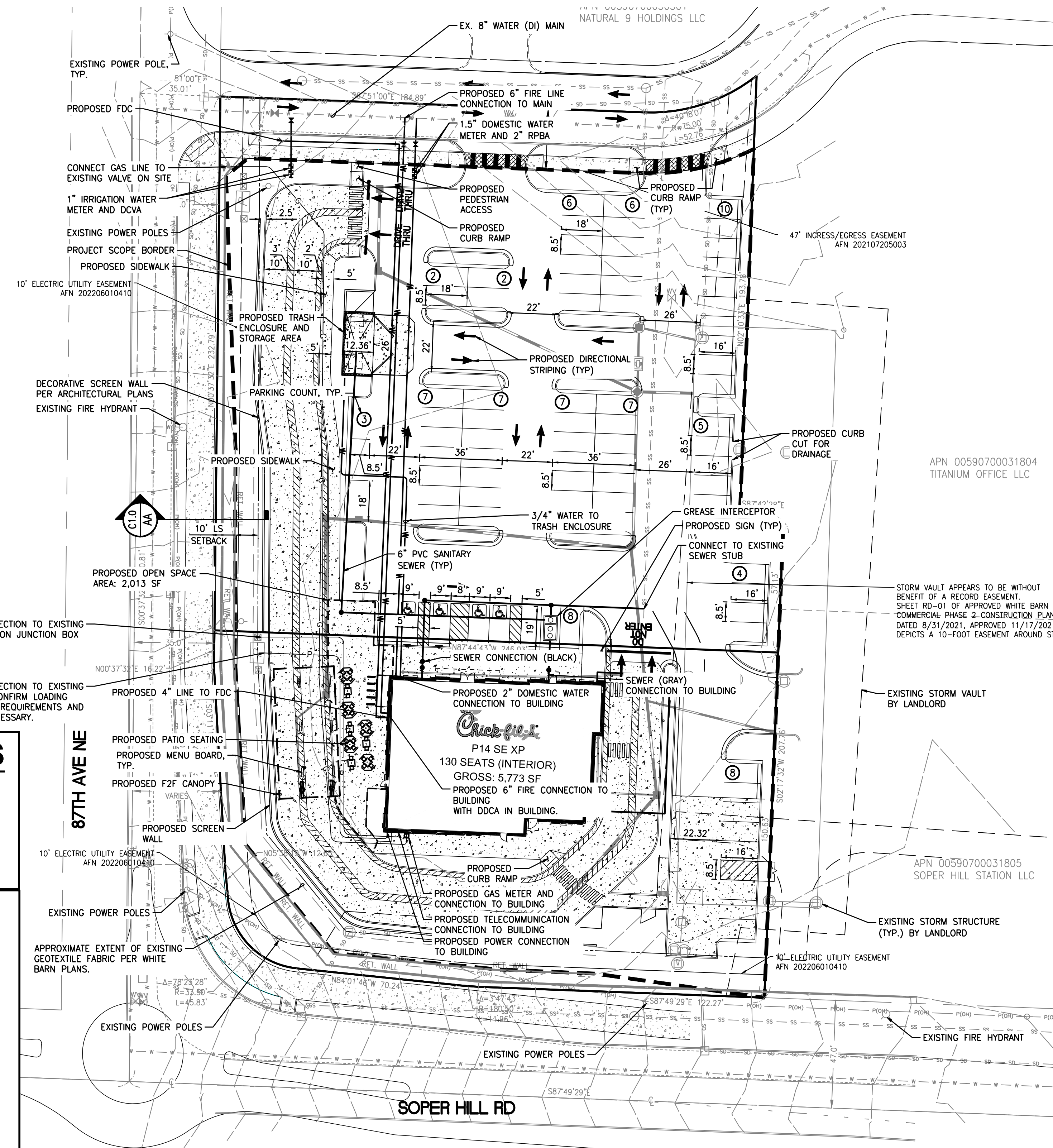


PRELIMINARY SITE PLAN FOR CHICK-FIL-A MARYSVILLE

PTN OF THE SE 1/4, OF THE SW 1/4 OF SEC. 1, TWP. 29 N, RGE 5 E., W. M.
CITY OF MARYSVILLE, SNOHOMISH COUNTY, STATE OF WASHINGTON



VICINITY MAP MARYSVILLE, WASHINGTON
N.T.S.



OWNER/DEVELOPER:
CHICK-FIL-A INC
105 PROGRESS
IRVINE, CA 92618
CONTACT: STEVE SCHWARTZ
EMAIL: STEVE.SCHWARTZ@CFACORP.COM
TEL: (303) 519-7206

ARCHITECT:
WARE MALCOMB
3015 112TH AVE NE #205
BELLEVUE, WA 98004
TEL: (310) 903-4021
CONTACT: NONY RIVERA
EMAIL: NRIVERA@WAREMALCOMB.COM

ENGINEER:
BARGHAUSEN CONSULTING ENGINEERS, INC.
18215 72ND AVE. S.
KENT, WA 98032
TEL: (425) 251-6222
FAX: (425) 251-8782
CONTACT: JASON CAREY

SETBACK NOTES:
1. 10' L2 SETBACK WITH SCREENWALL ON 87TH AND SOPER HILL ROAD.

INTERIOR LANDSCAPE NOTES:
1. LANDSCAPE AREA MUST MAKE UP AT LEAST 15% OF SITE.
2. A MINIMUM OF 10% OF THE PARKING AREA SHALL BE LANDSCAPED.

LAND COVER DATA:
PROPOSED PERVIOUS AREA: 20,836 SF (0.48 AC) (22.9%)
PROPOSED IMPERVIOUS AREA: 69,757 SF (1.60 SF) (77.1%)

OPEN SPACE CALCULATIONS

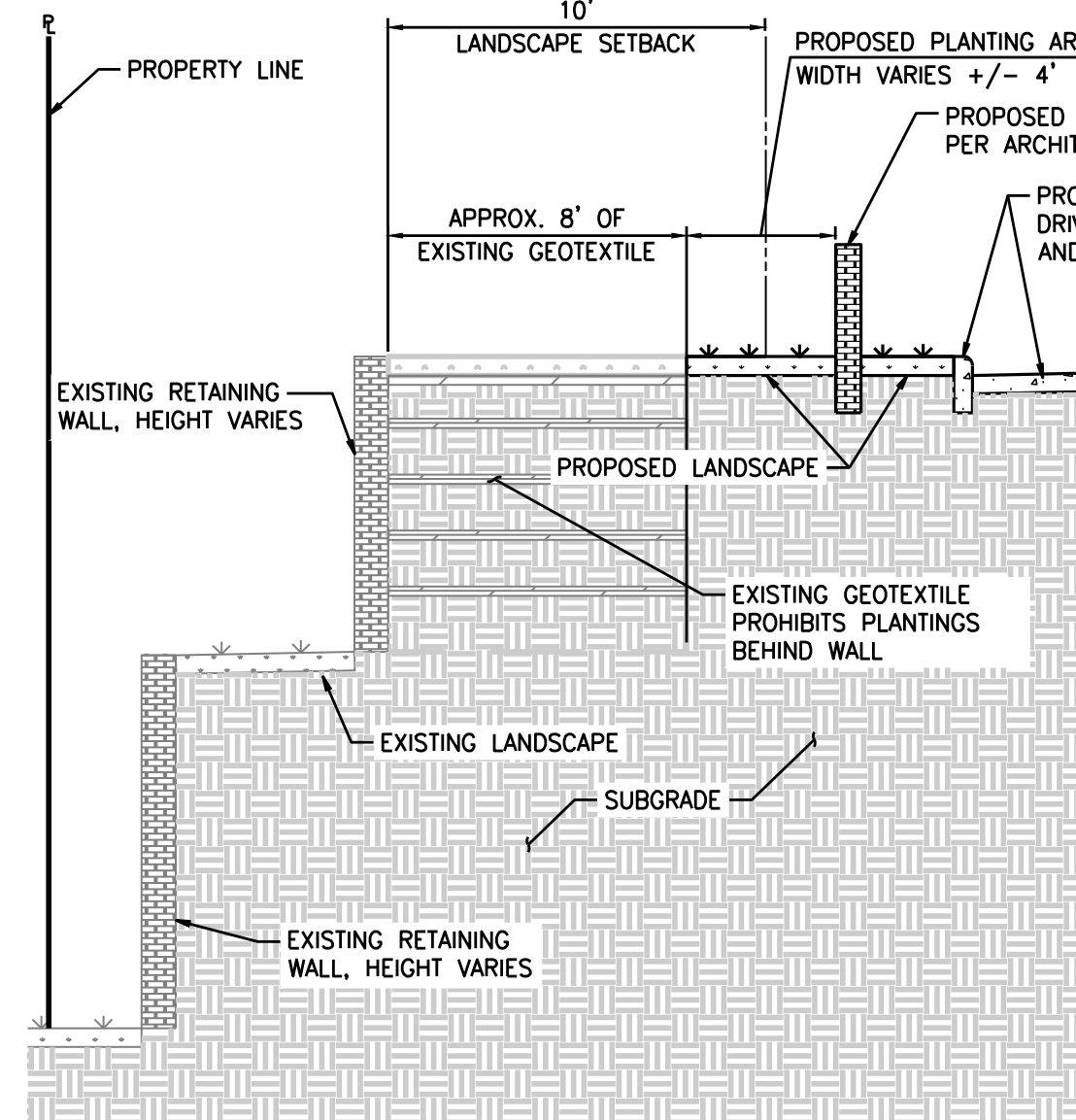
- MINIMUM REQUIRED:
- 2% SITE = .02 * 90,602 SF = 1,812 SF
 - 1% BUILDING FLOOR AREA = .01 * 5,773 SF = 58 SF
 - TOTAL REQUIRED = 1,870 SF
 - TOTAL PROVIDED: 2,013 SF

PARKING CALCULATIONS

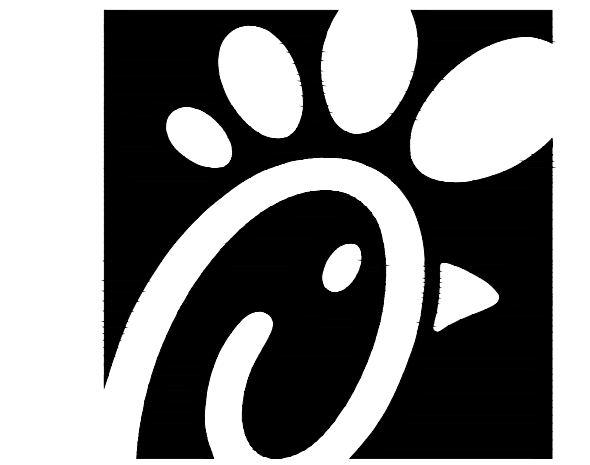
STANDARD SPACES	20 PLUS 1 PER 100 SF OVER 4,000 SF
REQUIRED PROVIDED	38
ADA STALLS:	4 (1 VAN)
STANDARD STALLS:	75
PARALLEL STALLS:	3
TOTAL:	82
BIKE RACKS REQUIRED	5% OF PARKING STALLS
	6
BIKE RACKS PROVIDED	6

BUILDING DATA

CONSTRUCTION TYPE	NEW
SITE AREA	90,528 SF
BUILDING AREA	5,773 SF
BUILDING HEIGHT	25 FT
ZONING	CB-WR (COMMUNITY BUSINESS - WHISKEY RIDGE SUBURB AREA)

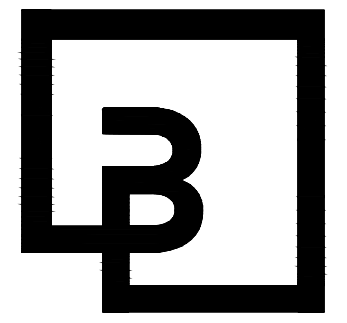


SECTION VIEW
SCALE: N.T.S.



Chick-fil-A

Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998



Barghausen Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222
barghausen.com

CHICK-FIL-A
MARYSVILLE, WA
SOPER HILL RD & SR 9
MARYSVILLE, WA 98258

FSR#05328

BUILDING TYPE / SIZE:
RELEASE:
REVISION SCHEDULE
NO. DATE DESCRIPTION

CONSULTANT PROJECT # 22579
PRINTED FOR
DATE 06-24-2024
DRAWN BY WHO

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SHEET PRELIMINARY SITE PLAN

SHEET NUMBER C1.0



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