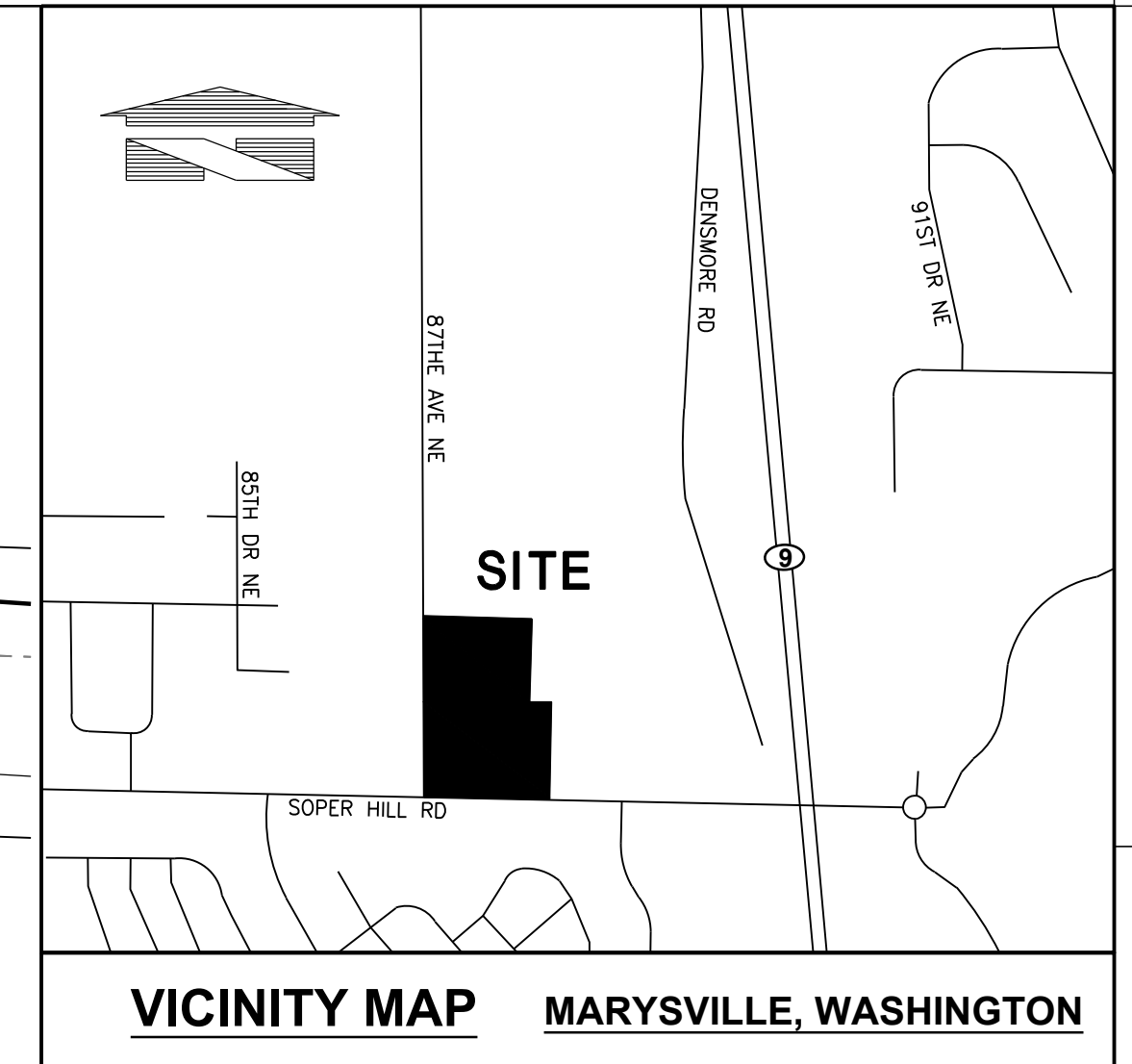
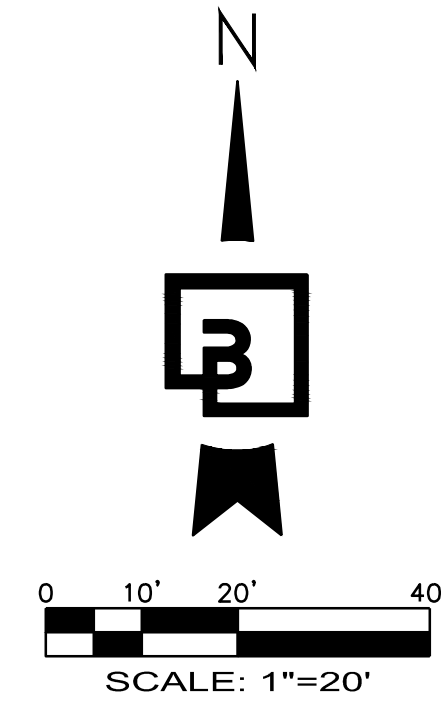


# PRELIMINARY SITE PLAN FOR CHICK-FIL-A MARYSVILLE

PTN OF THE SE 1/4, OF THE SW 1/4 OF SEC. 1, TWP. 29 N, RGE 5 E., W. M.  
CITY OF MARYSVILLE, SNOHOMISH COUNTY, STATE OF WASHINGTON



### SETBACK NOTES:

1. NO SETBACKS.

### INTERIOR LANDSCAPE NOTES:

1. LANDSCAPE AREA MUST MAKE UP AT LEAST 15% OF SITE.

### UTILITY NOTES:

1. ALL NECESSARY POWER LINES, TELEPHONES WIRES, TELEVISION CABLES, FIRE ALARM SYSTEMS AND OTHER COMMUNICATION WIRES, CABLES OR LINES SHALL BE PLACED IN UNDERGROUND LOCATION EITHER BY DIRECT BURIAL OR BY MEANS OF CONDUIT OR DUCT. ALL SUCH UNDERGROUND INSTALLATIONS OR SYSTEMS SHALL BE APPROVED BY THE APPROPRIATE UTILITY COMPANY AND SHALL ADHERE TO ALL GOVERNING APPLICABLE REGULATIONS INCLUDING, BUT NOT LIMITED TO, THE APPLICABLE CITY AND STATE REGULATIONS AND SPECIFIC REQUIREMENTS OF THE APPROPRIATE UTILITY PURSUANT TO MMC 22G.120.270;
2. WHERE LIGHTED SIGNS AND ILLUMINATED AREAS ARE PERMITTED, SUCH ILLUMINATING DEVICES SHALL BE SHADED AND/OR DIRECTED SO AS NOT TO VISIBLY CREATE A NUISANCE TO ANY PROPERTY IN A RESIDENTIAL ZONING CLASSIFICATION. RESIDENTIAL ZONING IS LOCATED EAST OF THE PROPOSED SITE;
3. MECHANICAL EQUIPMENT LOCATED ON THE ROOF, FACADE OR EXTERNAL PORTIONS OF A BUILDING SHALL BE ARCHITECTURALLY SCREENED SO AS NOT TO BE VISIBLE FROM ADJACENT PROPERTIES AT STREET LEVEL OR THE PUBLIC STREET; AND
4. EQUIPMENT OR VENTS WHICH GENERATE NOISE OR AIR EMISSIONS SHALL BE LOCATED ON THE OPPOSITE SIDE OF THE BUILDING FROM ADJOINING RESIDENTIALLY DESIGNATED PROPERTIES.

### LEGEND

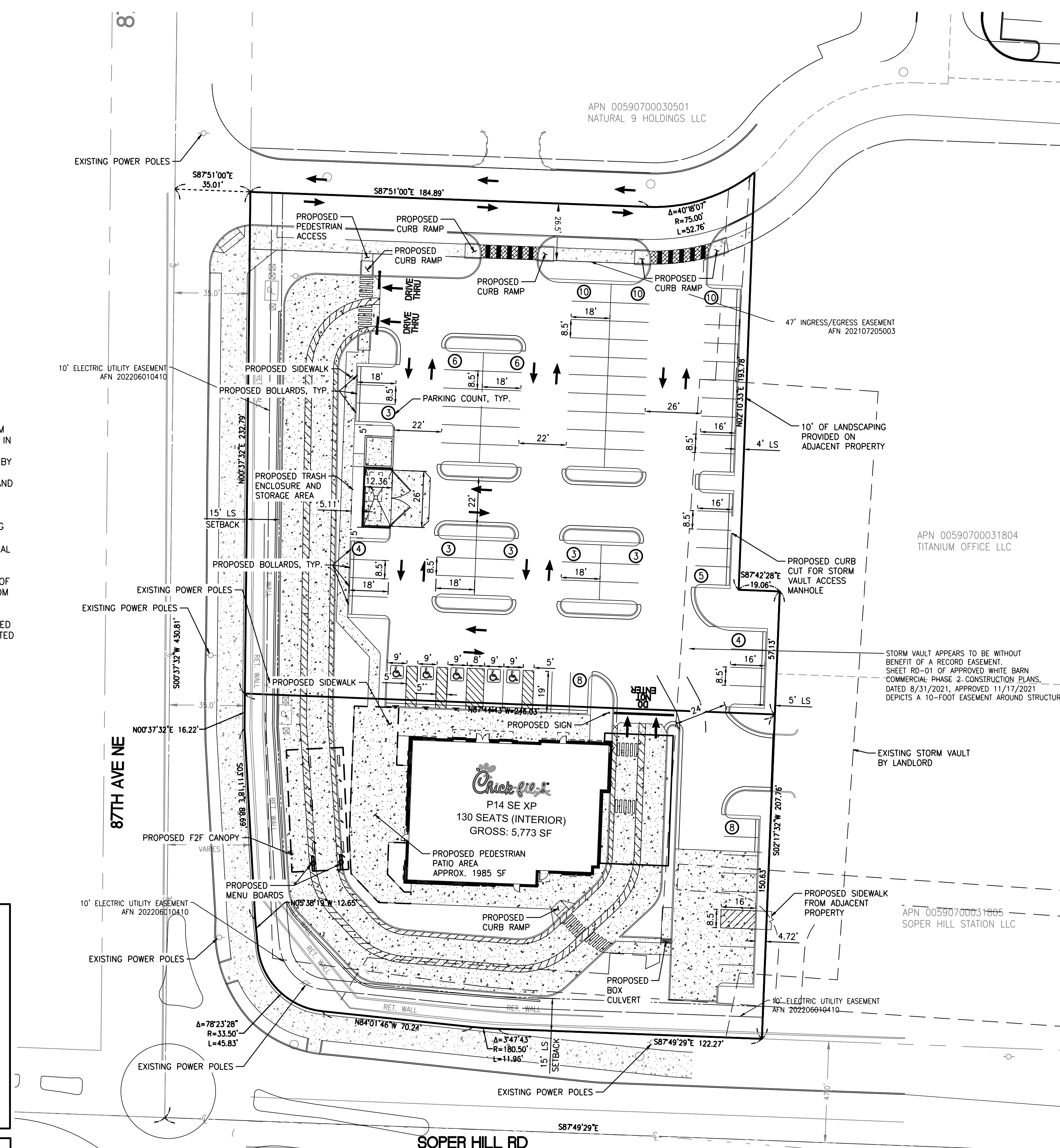
PROPOSED ASPHALT	
PROPOSED STAMPED CONCRETE	
PROPOSED CONCRETE	
PROPOSED LANDSCAPING	

### PARKING CALCULATIONS

STANDARD SPACES	20 PLUS 1 PER 100 SF OVER 4,000 SF
REQUIRED	38
TOTAL PROVIDED	5 ADA (1 VAN) 86 STANDARD
BIKE RACKS REQUIRED	5% OF PARKING STALLS
	6
BIKE RACKS PROVIDED	6

### BUILDING DATA

CONSTRUCTION TYPE	NEW
SITE AREA	90,528 SF
BUILDING AREA	5,773 SF
BUILDING HEIGHT	25 FT
ZONING	CB-WR (COMMUNITY BUSINESS - WHISKEY RIDGE SUBURB AREA)



### OWNER/DEVELOPER:

CHICK-FIL-A INC  
101 PROGRESS, SUITE 100  
IRVINE, CA 92618  
CONTACT: STEVE SCHWARTZ  
EMAIL: STEVE.SCHWARTZ@CFACORP.COM

### ARCHITECT:

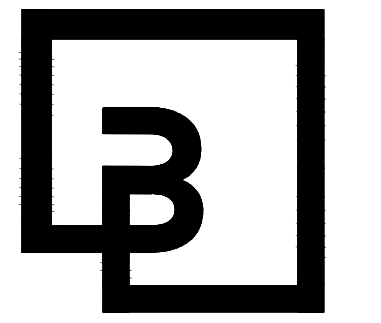
WARE MALCOMB  
3015 112TH AVE NE #205  
BELLEVUE, WA 98004  
TEL: (310) 903-4021  
CONTACT: NONY RIVERA  
EMAIL: NRIVERA@WAREMALCOMB.COM

### ENGINEER:

BARGHAUSEN CONSULTING ENGINEERS, INC.  
18215 72ND AVE. S.  
KENT, WA 98032  
TEL: (425) 251-6222  
FAX: (425) 251-8782  
CONTACT: ALEX BELL, P.E.

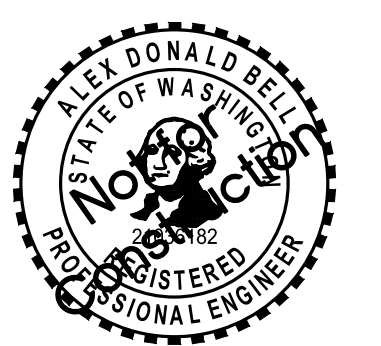


**Chick-fil-A**  
5200 Buffington Road  
Atlanta, Georgia 30349-2998



**Barghausen Consulting Engineers, Inc.**

18215 72nd Avenue South  
Kent, WA 98032  
425.251.6222  
[barghausen.com](http://barghausen.com)



4/9/24

**CHICK-FIL-A**  
MARYSVILLE, WA

SOPER HILL RD & SR 9  
MARYSVILLE, WA 98258

**FSR#05328**

BUILDING TYPE / SIZE:  
RELEASE:

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

CONSULTANT PROJECT #	22579
PRINTED FOR	
DATE	07-24-2023
DRAWN BY	CMH

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SHEET  
**PRELIMINARY SITE PLAN**

SHEET NUMBER

**C1.0**



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PA23-019

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