

February 29, 2024

Mr. Ryan Larsen
Land Pro Group, Inc.
10515 20th St SE, STE 116
Woodinville, WA 98258

Re: PA23-026 – Cornelius Lacey PRD – Technical Review 2

Ryan,

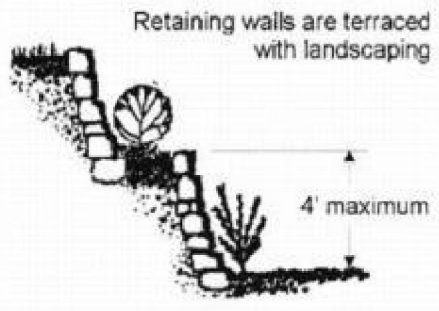
After review of the above referenced proposal, the Planning Division has the following comments:

1. Is item 5 listed in schedule B of the title report proposed to be relinquished?
2. Please depict adjacent property septic systems and water wells to ensure there are no conflicts.
3. Kacey Simon, Civil Plan Reviewer, has no further comments at this time. Additional comments will be provided once civil construction plan submittal has been made.

BINDING SITE PLAN / PLANNED RESIDENTIAL DEVELOPMENT COMMENTS

1. Pursuant to [MMC 22D.050.030\(4\)\(e\)](#), if retaining walls taller than four feet are used, and are visible from the street or adjacent property, they shall be terraced so that no individual segment is taller than four feet. Any walls ultimately permitted exceeding 4 feet shall comply with these requirements. Walls on lots 4, 38-43, 18, 10, 57, and 5, as well as some others, have walls exceeding 4 feet. ***These will need to be terraced per the standard below***, and depicted on the plans. The landscape plan does not depict plantings that will screen many of these proposed walls.

Figure 1. Tall retaining walls must be terraced with landscaping as depicted below.

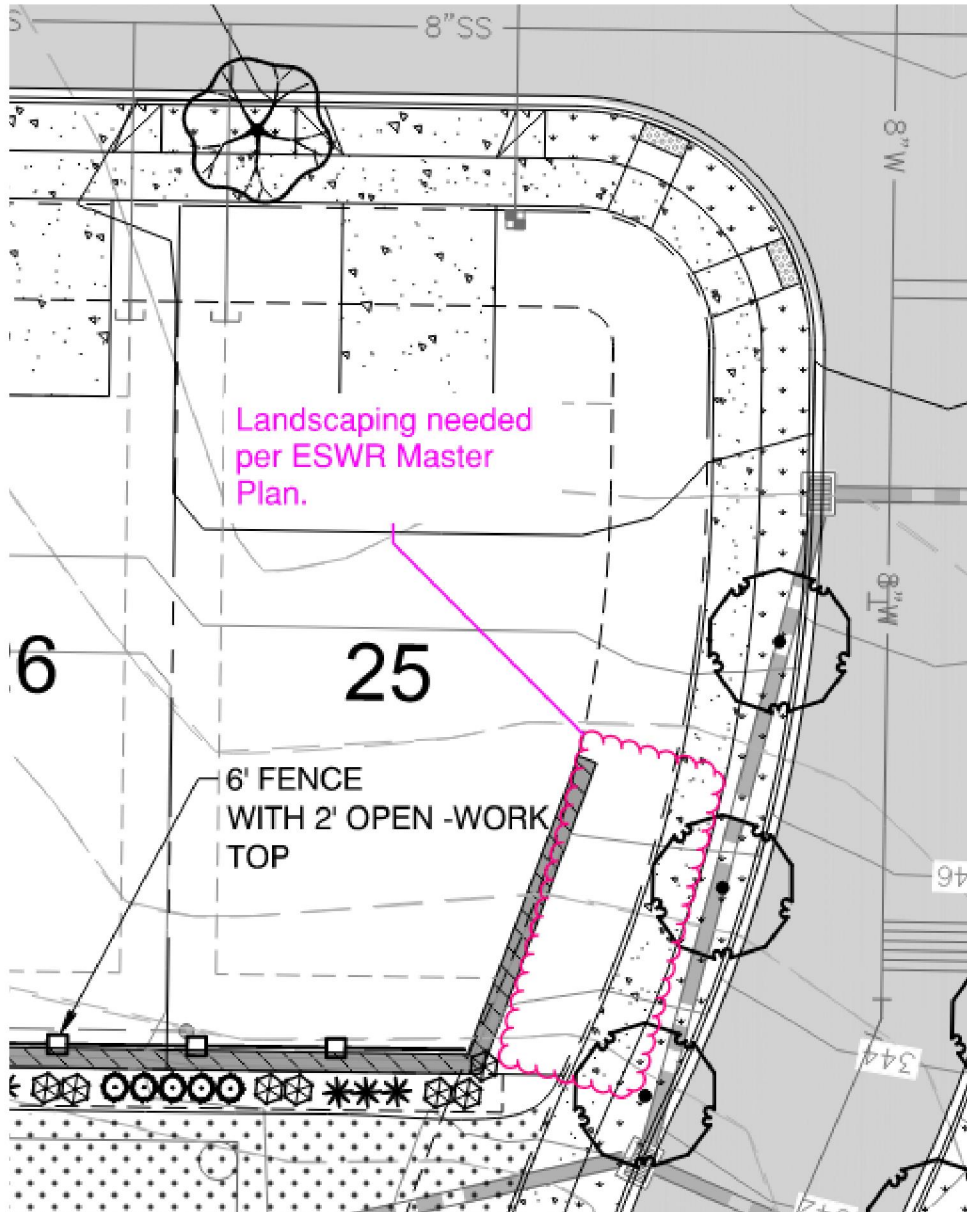


OPEN SPACE COMMENTS

2. Prior to civil construction plan approval, please provide a detail of the 5-foot asphalt walking path.

LANDSCAPING COMMENTS

3. In development configurations where side yards abut a street, fences taller than 3-1/2 feet shall be setback at least 5 feet from the sidewalk to allow for landscaping to soften the view of the fence. Provisions for long-term maintenance of this landscaping shall be addressed on the plat. **Additional landscaping is needed along the wall on the southern portion of lot 25.**



Enclosed are copies of comments received from other City departments, and reviewing agencies. Revised application materials must be accompanied with a written response detailing how each of the items outlined above and attached hereto have been addressed, and what sheet the change(s) can be found on.

After you have had an opportunity to review, please let me know what technical review comments you need clarification on, or reach out to a particular staff person. Once received, I can set up a conference meeting with all of the applicable city and agency representatives, if needed. If you have any questions, please do not hesitate to contact me at 360.363.8215, or by e-mail at ahess@marysvillewa.gov.

Sincerely,

Amy Hess

Amy Hess
Senior Planner

ecc: Chris Holland, Planning Manager



MARYSVILLE
PUBLIC WORKS

MEMORANDUM

TO: Amy Hess – Senior Planner
FROM: Jesse Hannahs, P.E. – Traffic Engineering Manager
DATE: February 28, 2024
SUBJECT: PA 23-026 – Cornelius Lacey PRD

I have reviewed the Site Plan for the proposed Cornelius Lacey PRD at 8310 E Sunnyside School RD and 4427 83rd Ave NE and have the following comments:

- 1) Traffic impact fees will be required from the City and depending on trip generation/distribution, may be required from the County and State.
- 2) A Traffic Impact Analysis (TIA) will be required.
 - a. Single family homes Trip Generation shall be 1 PM peak Hour trip per unit consistent with development of Traffic Impact Fee (TIF) calculations.
 - i. 67 Single Family Home generate 67 PM Peak Hour Trips.
 - b. Trip Distribution shall follow representations to be provided for neighboring areas developed based upon Comprehensive Plan Traffic Model to be provided.
 - i. Horizon Year map shown within TIA is incorrect as existing Sunnyside School RD alignment will become a multi-use trail with 44th ST NE extended through development(s) to 87th Ave NE including a full 4-leg intersection at 83rd Ave NE & 44th ST NE.
 1. This affects Horizon Year Intersection analysis as intersections analyzed will be combined into single intersection.
 - c. TIA update or Addendum shall be required to address TIA comments.
- 3) Frontage improvements shall be required upon 83rd Ave NE frontage.
 - a. Roadway cross-section shall be 70' ROW three lane roadway with bike lanes per EDDS Standard Plan 3-201-004.
 - i. Cross-section shall be site specific and identify with dimensions existing and proposed pavement width with channelized lane widths to ensure that roadway will be constructed to standard.
- 4) Per the Comprehensive Plan, 44th ST NE shall be extended east from 83rd Ave NE to 87th Ave NE as a relocation of the E Sunnyside School RD minor arterial.
 - a. Roadway cross-section shall be 70' ROW three lane roadway with bike lanes per EDDS Standard Plan 3-201-004.
 - i. Define intent/purpose of temporary extruded curbing on half street of 44th ST NE? This is not typically installed nor desirable.

(360) 363-8100

Public Works
80 Columbia Avenue
Marysville, WA 98270

- ii. ROW shall be provided on the Northeast corner of intersection of 83rd Ave NE & 44th ST NBE to enable potential for future traffic signal installation.
 - 1. Suggested ROW shall be recommended as 5' behind sidewalk around radius from outside extent of curb ramps.
- 5) Per EDDS 3-506, street lighting will be required.
 - a. Roadways:
 - i. Street Lighting upon public residential streets shall be PUD installed fiberglass pole installation type street lighting utilizing 100 watt equivalent LED fixtures.
 - ii. Street Lighting upon Arterial Streets of 83rd Ave NE and 44th ST NE shall be PUD installed fiberglass pole installation type street lighting utilizing 250 watt equivalent LED fixtures.
 - b. Spacing of fixtures should be approximately 180'-220'.
 - c. As part of civil construction approval proposed PUD street lighting locations will be provided by the City to the developer for submission to PUD and incorporation into the PUD site electrical plans.
 - d. Snohomish County PUD Process:
 - i. For specific questions regarding street lighting, contact Eddie Haugen of Snohomish County PUD at (425) 783-8276 or wehaugen@snopud.com for more information.
- 6) A signing and channelization plan shall be required as part of civil construction plans.