

PROJECT TEAM

PROJECT CONTACT
 LAND PRO GROUP, INC.
 10515 20TH STREET SE, SUITE 202
 LAKE STEVENS, WA 98258
 (425) 231-2718

LANDSCAPE ARCHITECT
 ORIGIN DESIGN GROUP
 1031 185TH AVENUE NE
 SNOHOMISH, WA 98290
 (425) 346-9105

SURVEYOR
 DARREN J. RIDDLE, PLS
 PACIFIC COAST SURVEYS, INC.
 P.O. BOX 13619
 MILL CREEK, WA 98082(425) 512-7099

APPLICANT
 KM CAPITAL, LLC
 10515 20TH STREET SE, SUITE 202
 LAKE STEVENS, WA 98258

CIVIL ENGINEER
 KIRK MYERS - PE
 KIMLEY-HORN AND ASSOCIATES, INC.
 1201 THIRD AVENUE, SUITE 2500
 SEATTLE, WA 98104
 (206) 207-4210
 KIRK.MYERS@KIMLEY-HORN.COM

GEOTECH
 CAROLYN S. DECKER, PE
 TERRA ASSOCIATES, INC.
 12220 113TH AVENUE NE, SUITE 130
 KIRKLAND, WA 98034
 (425) 821-7777

UTILITY PURVEYORS

WATER, SEWER, & TRASH
 CITY OF MARYSVILLE
 501 DELTA AVE
 MARYSVILLE, WA 98270
 (360) 363-8000

GAS
 PUGET SOUND ENERGY
 355 - 110TH AVENUE NE
 BELLEVUE, WA 98004
 (800) 562-1482

ELECTRICITY
 SNOHOMISH COUNTY PUD NO.1
 2320 CALIFORNIA STREET
 EVERETT, WA 98201
 (425) 783-1000

TELEPHONE
 FRONTIER
 5226 88TH ST NE
 MARYSVILLE, WA 98270
 (409) 275-5612

CABLE TV
 COMCAST
 7725 EVERGREEN WAY I-2
 EVERETT, WA 98203
 (800) 934-6489

LEGAL DESCRIPTION PER TITLE REPORT

LOT 177, SUNNYSIDE FIVE ACRE TRACTS, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 7 OF PLATS, PAGE 19, RECORDS OF SNOHOMISH COUNTY, WASHINGTON.

TOGETHER WITH THAT PART OF TRACT 161, SUNNYSIDE FIVE ACRE TRACTS, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 7 OF PLATS, PAGE 19, LYING SOUTHEASTERLY OF COUNTY ROAD, DESCRIBED AS FOLLOWS:

A STRIP OF LAND 40 FEET IN WIDTH BEING 20 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTER LINE:

BEGINNING AT THE SOUTHWEST CORNER OF SECTION 36, TOWNSHIP 30 NORTH, RANGE 5 EAST, W.M.;
 THENCE NORTH 1°0'27" WEST ALONG THE WEST LINE OF SAID SECTION 36 FOR 585.12 FEET TO THE TRUE POINT OF BEGINNING;
 THENCE NORTH 54°33' EAST FOR 405.9 FEET TO A POINT IN THE CENTER LINE OF THE PRESENT PLATTED ROAD;
 SAID RIGHT OF WAY BEING SITUATED IN LOT 161 OF THE SUNNYSIDE FIVE ACRE TRACTS, SAID CENTER LINE IS AS STAKED UPON THE GROUND AND OF RECORD IN THE COUNTY ENGINEER'S OFFICE AS SURVEY NO. 1168, AND DEED TO SNOHOMISH COUNTY BY AUDITOR'S FILE NUMBER 527307;

TOGETHER WITH ALL THAT PORTION OF VACATED ROAD LYING THEREIN.

ALSO TOGETHER WITH TRACT 186, SUNNYSIDE FIVE ACRE TRACTS, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 7 OF PLATS, PAGE 19, RECORDS OF SNOHOMISH COUNTY, WASHINGTON.

SITUATE IN THE COUNTY OF SNOHOMISH, STATE OF WASHINGTON.

VERTICAL DATUM

DATUM: NAVD88
 FOUND CASED CONC. MON. W/3" BRASS DISK & PUNCH
 ELEVATION: 359.09'
 PER GPS OBSERVATIONS

BENCHMARK NOTE

PROJECT BENCHMARK:
 FOUND CASED CONC. MON. W/3" BRASS DISK & PUNCH
 FOUND CASED CONC. MON. W/ 1-3/4" BRASS DISK & PUNCH. DOWN 0.5'. VISITED 6-2-23
 FOUND 2" IRON PIPE 0.6'(N) & 0.3'(W) OF CORNER. FENCE 0.5'(W) AT CORNER
 FOUND CASED CONC. MON. W/ 1-3/4" BRASS DISK & PUNCH. DOWN 0.5'. VISITED 6-2-23
 FOUND CASED CONC. MON. W/3" BRASS DISK & PUNCH DOWN 0.4'. VISITED 6-11-23
 ELEVATION: 359.09 FEET
 DATUM: NAVD88

BASIS OF BEARINGS NOTE

SNOHOMISH COUNTY BOUNDARY LINE ADJUSTMENT RECORDED UNDER RECORDING NUMBER 200010110472 AS DETERMINED FROM THE MONUMENTED EAST-WEST CENTER OF SECTION LINE AS THE BEARING OF N 89°34'45" W.

EQUIPMENT & PROCEDURES

METHOD OF SURVEY:
 SURVEY PERFORMED BY FIELD TRAVERSE AND REAL TIME KINEMATIC GPS POSITIONING UTILIZING THE HxGN SMARTNET NETWORK.

INSTRUMENTATION:
 LEICA TS15 ROBOTIC ELECTRONIC TOTAL STATION
 LEICA VIVA GNSS G508 RECEIVER
 ALL EQUIPMENT HAS BEEN MAINTAINED IN ADJUSTMENT TO MANUFACTURER'S SPECIFICATIONS AS REQUIRED BY WAC 331-130-100.

PRECISION:
 MEETS OR EXCEEDS STATE STANDARDS SET BY WAC 332-130-080 THROUGH 332-130-110.

REFERENCES

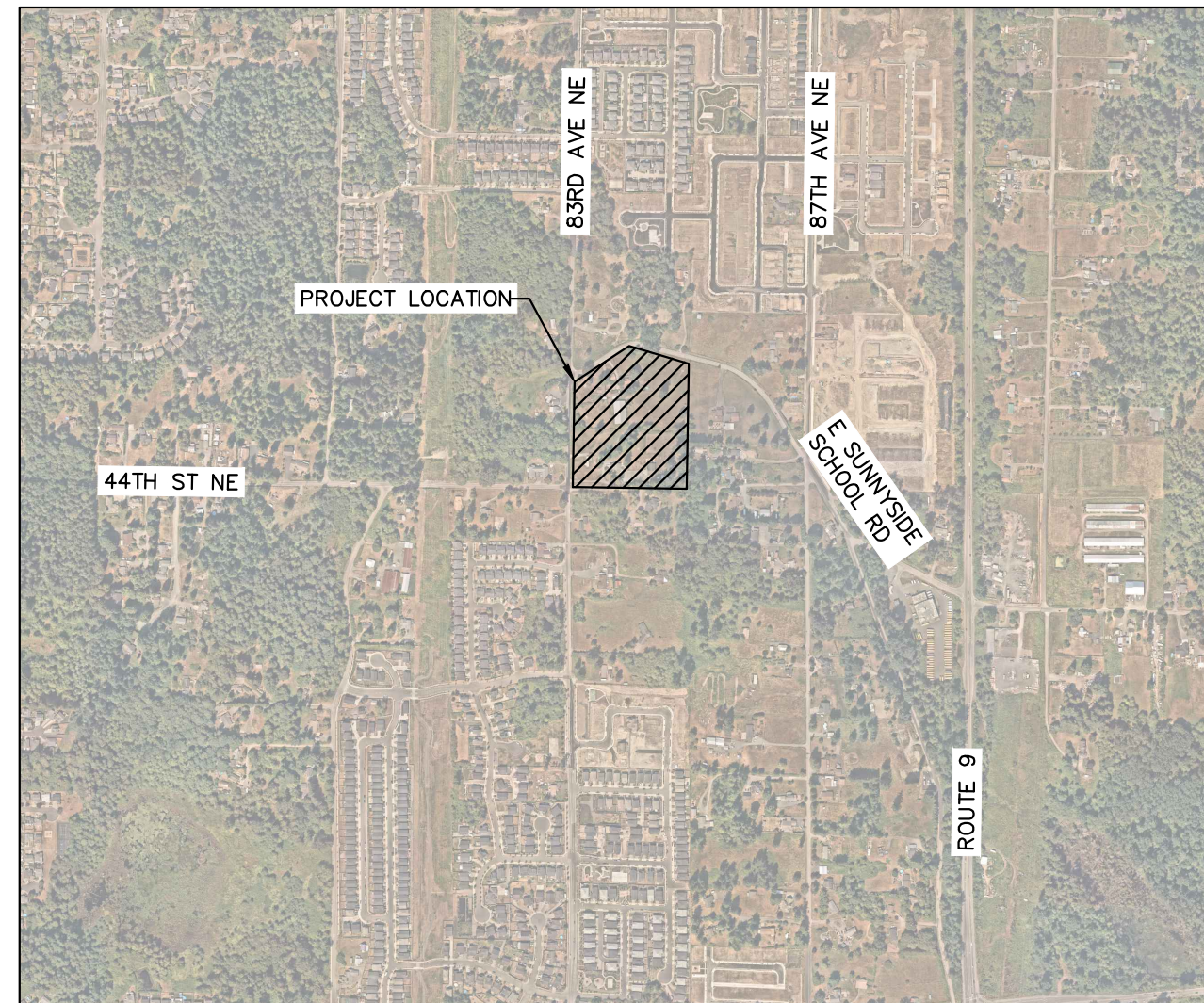
1. PLAT OF SUNNYSIDE FIVE ACRE TRACTS - VOL. 7, PG. 19
2. SNO. CO. BOUNDARY LINE ADJUSTMENT - A.F.#200010110472

BINDING SITE PLAN

FOR

CORNELIUS AND LACEY PROPERTY

8310 E SUNNYSIDE SCHOOL RD. MARYSVILLE, WA 98270



VICINITY MAP
 SCALE: 1"=1000'



PROJECT INFORMATION

SITE ADDRESS: 8310 E SUNNYSIDE SCHOOL RD.
 4427 83RD AVE NE
 MARYSVILLE, WA 98270

APN: 00590700017700
 00590700016102
 00590700018600

TOTAL SITE AREA: 10.3 AC
 ZONING CLASSIFICATION: WR-R-6-18
 CURRENT LAND USE: SINGLE FAMILY
 PROPOSED LAND USE: SINGLE FAMILY
 PROPOSED LOTS: 67
 AVERAGE LOT SIZE: 3,918 SF
 MINIMUM LOT SIZE: 3,500 SF

SHEET INDEX	
SHEET NO.	TITLE
1	TITLE SHEET
2	BINDING SITE PLAN

IMPERVIOUS AREA

GROSS SITE AREA: 448,583 SF (10.3 AC)
 TOTAL SITE IMPERVIOUS AREA: 288,890 SF (6.63 AC)
 INTERNAL ROW, TRACTS, & ADDITIONAL SIDEWALK: 105,310 SF (2.42 AC)
 IMPERVIOUS FOR LOTS: 183,580 SF (4.21 AC)
 AVG IMPERVIOUSNESS PER LOT: 2,740 SF

OPEN SPACE AREA

PER MMC 22G.080.100
 REQUIRED OPEN SPACE : 53,829 SF (1.24 AC) = 15% OF NET SITE AREA
 REQUIRED ACTIVE OPEN SPACE: 18,840 SF (0.43 AC) = 35% OF REQUIRED OPEN SPACE
 OPEN SPACE PROVIDED: 70,796 SF (1.63 AC)
 ACTIVE OPEN SPACE PROVIDED: 22,466 SF (0.52 AC)

LOT YIELD CALCULATIONS

GROSS SITE AREA: 448,583 SF (10.3 AC)
 LESS:
 R/W DEDICATION: 118,819 SF (2.73 AC)
 TRACT 999: 70,796 SF (1.63 AC)
 *NET SITE AREA: 358,866 SF (8.24 AC)

BASE DENSITY: 6 UNITS / ACRE
 BASE YIELD: 8.24 AC x 6 UNITS/ACRE = 49 UNITS
 RDI DENSITY: 18 UNITS/ ACRE
 RDI YIELD: 8.24 AC x 18 UNITS/ACRE = 148 UNITS
 PROPOSED DENSITY: 8.13 UNITS/ACRE
 PROPOSED YIELD: 67 UNITS

*NET SITE AREA CALCULATED AS GROSS AREA REDUCED BY 20% PER MMC DEFINITION OF NET AREA.

DISCLAIMER

THE TOPOGRAPHIC SURVEY WAS PERFORMED BY PACIFIC COAST SURVEYS, INC. IN SEPTEMBER 2023. ANY CHANGES TO THE SITE AFTER THIS DATE WILL NOT BE REFLECTED IN THE PLANS. ANY DISCREPANCIES FOUND BETWEEN WHAT IS SHOWN ON THE PLANS AND WHAT IS NOTED IN THE FIELD SHOULD BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ENGINEER.

ESTIMATED EARTHWORK QUANTITIES

CUT: 29,300 CY
 FILL: 30,000 CY
 NET: 700 CY (FILL)
 STRIP & OFFHAUL: 8,000 CY
 DISTURBED AREA: 434,802 SF (9.98 AC)

NOTE: THE ABOVE QUANTITIES ARE APPROXIMATE IN PLACE VOLUMES CALCULATED FROM THE EXISTING GROUND TO THE PROPOSED FINISHED GRADE. EXISTING GROUND IS DEFINED BY THE CONTOURS AND SPOT GRADES ON THE BASE SURVEY. PROPOSED FINISHED GRADE IS DEFINED AS THE FINAL GRADE AS INDICATED ON THE GRADING PLAN(S).

THE EARTHWORK QUANTITIES ABOVE ARE FOR PERMIT PURPOSES ONLY. THEY HAVE NOT BEEN FACTORED TO ACCOUNT FOR CHANGES IN VOLUME DUE TO BULKING, CLEARING AND GRUBBING, SHRINKAGE, OVER- EXCAVATION AND RE-COMPACTION, AND CONSTRUCTION METHODS. NOR DO THEY ACCOUNT FOR THE THICKNESS OF PAVEMENT SECTIONS, FOOTINGS, SLABS, REUSE OF PULVERIZED MATERIALS THAT WILL UNDERLIE NEW PAVEMENTS, ETC. THE CONTRACTOR SHALL RELY ON THEIR OWN EARTHWORK ESTIMATES FOR BIDDING PURPOSES.

LEGEND

- PROPOSED CL
- . - . - . SECTION LINE
- PROPOSED BOUNDARY
- ROAD RIGHT OF WAY
- LOT LINE
- ROCKERY WALL
- LOCK-N-LOAD WALL
- EASEMENT
- PROPOSED SEWER
- PROPOSED WATER
- PROPOSED CURB
- ⊙ PROPOSED STORM DRAIN MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED SEWER MANHOLE
- PROPOSED FIRE HYDRANT
- PROPOSED GATE VALVE
- PROPOSED SIDEWALK RAMP
- PROPOSED STORM DRAIN
- PROPOSED STORM DETENTION VAULT
- EXISTING SEWER MAIN
- EXISTING WATER MAIN
- EOP EXISTING EDGE OF PAVEMENT
- EGR EXISTING EDGE OF GRAVEL ROAD
- X EXISTING FENCE
- OP EXISTING OVERHEAD POWER
- G EXISTING GAS LINE
- PAVEMENT
- EXISTING PAVEMENT
- ALLEYWAY
- MAINTENANCE PATH
- EXISTING DRIVEWAY
- CONCRETE SIDEWALK/DRIVEWAY

ABBREVIATIONS

- AB - AGGREGATE BASE
- AC - ASPHALT
- AHJ - AUTHORITY HAVING JURISDICTION
- B - BOTTOM OF WALL
- BC - BACK OF CURB
- BS - BOTTOM OF STAIR
- BLDG - BUILDING
- BV - BOTTOM OF EXPOSED VAULT
- BW - BACK OF WALK
- CAB - COMPACTED AGGREGATE BASE
- CB - CATCH BASIN
- CF - CURB FACE
- C/L - CENTERLINE
- CONC. - CONCRETE
- CONST. - CONSTRUCT, CONSTRUCTION
- CSG - COMPACTED SUBGRADE
- DF - DEEPENED FOOTING
- DI - DRAIN INLET
- DW - DOMESTIC WATER
- E - EAST
- EG - EDGE OF GUTTER
- ELEC - ELECTRIC
- EP - EDGE OF PAVEMENT
- ESMT - EASEMENT
- EV - END OF EXPOSED VAULT
- EW - END OF WALL
- FF - FINISHED FLOOR
- FG - FINISHED GRADE
- FL - FLOW LINE
- FS - FINISHED SURFACE
- FW - FIRE WATER
- G - GAS
- GB - GRADE BREAK
- HP - HIGH POINT
- INV - INVERT
- IRR - IRRIGATION WATER
- JSS - JUNCTION STRUCTURE
- LP - LOW POINT
- ME - MATCH EXISTING
- MMC - MARYSVILLE MUNICIPAL CODE
- MH - MANHOLE
- N - NORTH
- PCC - PORTLAND CEMENT CONCRETE
- P/L - PROPERTY LINE
- PU - PUBLIC UTILITY EASEMENT
- PVC - POLYVINYL CHLORIDE
- PVMT - PAVEMENT
- R - RADIUS OR RIDGE
- RD - ROOF DRAIN
- RW - RECLAIMED WATER
- R/W - RIGHT-OF-WAY
- S - SEWER OR SOUTH
- SD - STORM DRAIN
- STA - STATION
- SS - SANITARY SEWER
- SPPWC - STANDARD PLANS FOR PUBLIC WORKS CONSTRUCTION
- SW - SIDE WALK
- SQ FT - SQUARE FEET
- T - TOP OF WALL
- TC - TOP OF CURB
- TS - TOP OF STAIR
- TV - TOP OF EXPOSED VAULT
- VF - VERIFY IN FIELD
- W - WATER OR WEST
- XXX.XX - PROPOSED ELEVATION
- (XXX.XX) - EXISTING ELEVATION

DISCLAIMER

THE TOPOGRAPHIC SURVEY WAS PERFORMED BY PACIFIC COAST SURVEYS, INC. IN SEPTEMBER 2023. ANY CHANGES TO THE SITE AFTER THIS DATE WILL NOT BE REFLECTED IN THE PLANS. ANY DISCREPANCIES FOUND BETWEEN WHAT IS SHOWN ON THE PLANS AND WHAT IS NOTED IN THE FIELD SHOULD BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ENGINEER.

UTILITY NOTE

THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. AGENCIES INVOLVED SHALL BE NOTIFIED WITHIN A REASONABLE TIME PRIOR TO THE START OF CONSTRUCTION.



TITLE SHEET

KIMLEY-HORN AND ASSOCIATES, INC.
 1201 THIRD AVENUE, SUITE 2800
 SEATTLE, WA 98101

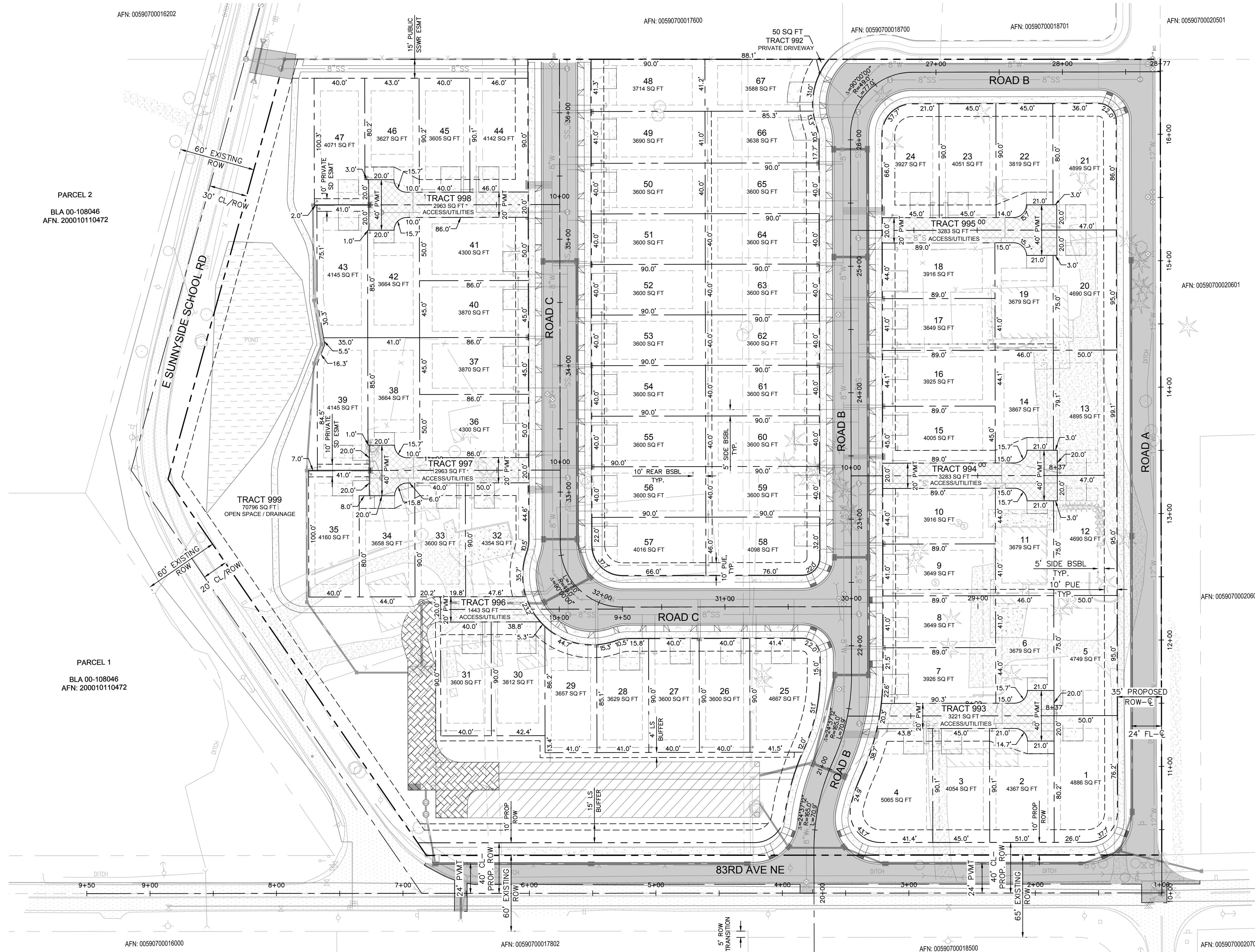
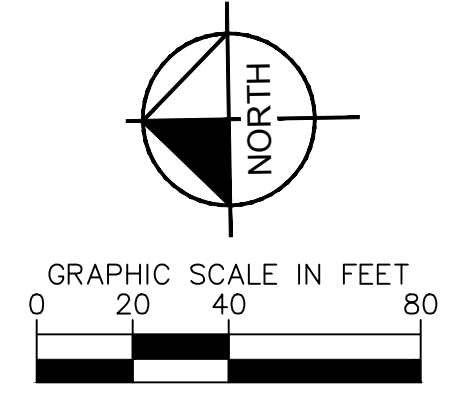
KIMLEY-HORN AND ASSOCIATES, INC.
 PREPARED FOR
 KM CAPITAL, LLC
 10515 20TH STREET SE, SUITE 202
 LAKE STEVENS, WA 98258
 (425) 231-2718

KHA PROJECT 090014000
 DATE 2/14/2024
 SCALE AS SHOWN
 DESIGNED BY HEK
 DRAWN BY DAM
 CHECKED BY KPM
 DATE: 2/14/2024

SHEET
1 OF 2

Plotted By: Kennedy, Hilary. Sheet: Site PRELIM - Cornelius and Lacey - Marysville. Date: February 14, 2024. 08:35:17pm. K:\SEA_CAD\090014000 - Cornelius and Lacey - Marysville\CAD\PlanSheets\PRELIM PLAT\COVER - PP.dwg
 This document, together with the concepts and designs presented herein, is an instrument of service, and its use is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

A PORTION OF SW ¼ OF SW ¼ SEC 36, TWN 30 N, RGE 5 E, W.M. CITY OF MARYSVILLE, SNOHOMISH COUNTY, WASHINGTON



PARCEL 2
BLA 00-108046
AFN: 200010110472

PARCEL 1
BLA 00-108046
AFN: 200010110472

RDİ CALCULATIONS

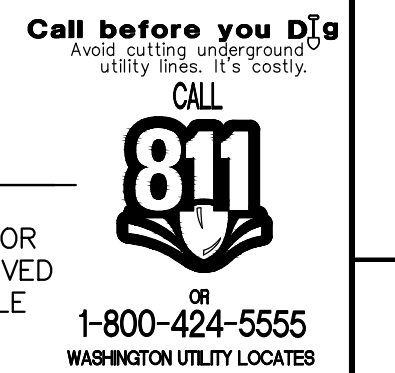
INCENTIVE	INCENTIVE BONUS	AMOUNT PROVIDED	ACHIEVED UNITS
3. Community Image & Identity a. Contribution towards an identified capital improvement project, including, but not limited to, parks, roadways, bicycle facilities, pedestrian facilities, multi-use trails, gateway sign, etc	\$25,000 per bonus unit. Bonus units may only be claimed in whole numbers or 0.5 bonus unit increments	\$450,000	18 units

DISCLAIMER

TOPOGRAPHIC SURVEY INFORMATION CONTAINED ON THESE PLANS PROVIDED BY PACIFIC COAST SURVEYS, KIMLEY-HORN ASSUMES NO LIABILITY AS TO THE ACCURACY AND COMPLETENESS OF THIS DATA. ANY DISCREPANCIES FOUND BETWEEN WHAT IS SHOWN ON THE PLANS AND WHAT IS NOTED IN THE FIELD SHOULD BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ENGINEER.

UTILITY NOTE

THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. AGENCIES INVOLVED SHALL BE NOTIFIED WITHIN A REASONABLE TIME PRIOR TO THE START OF CONSTRUCTION.



CORNELIUS AND LACEY PROPERTY
PREPARED FOR
KM CAPITAL LLC
10515 20TH STREET SE, SUITE 202
LAKE STEVENS, WA 98258
(425) 231-2718

BINDING SITE PLAN
MARYSVILLE WASHINGTON

Kimley-Horn
© 2023 KIMLEY-HORN AND ASSOCIATES, INC.
1201 THIRD AVENUE, SUITE 2800
SEATTLE, WA 98101

LICENSED PROFESSIONAL
KIMLEY-HORN AND ASSOCIATES, INC.
KIMLEY-HORN AND ASSOCIATES, INC.
KIMLEY-HORN AND ASSOCIATES, INC.
KIMLEY-HORN AND ASSOCIATES, INC.

KHA PROJECT 090014000
DATE 2/14/2024
SCALE AS SHOWN
DESIGNED BY HEK
DRAWN BY DAM
CHECKED BY KPM
KPM DATE: 2/14/2024

NO. _____ REVISIONS _____ DATE _____

SHEET 2 OF 2

This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.