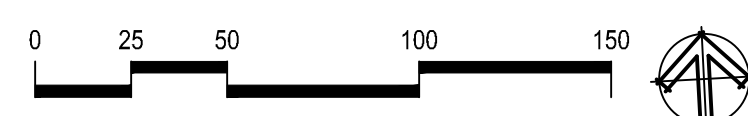


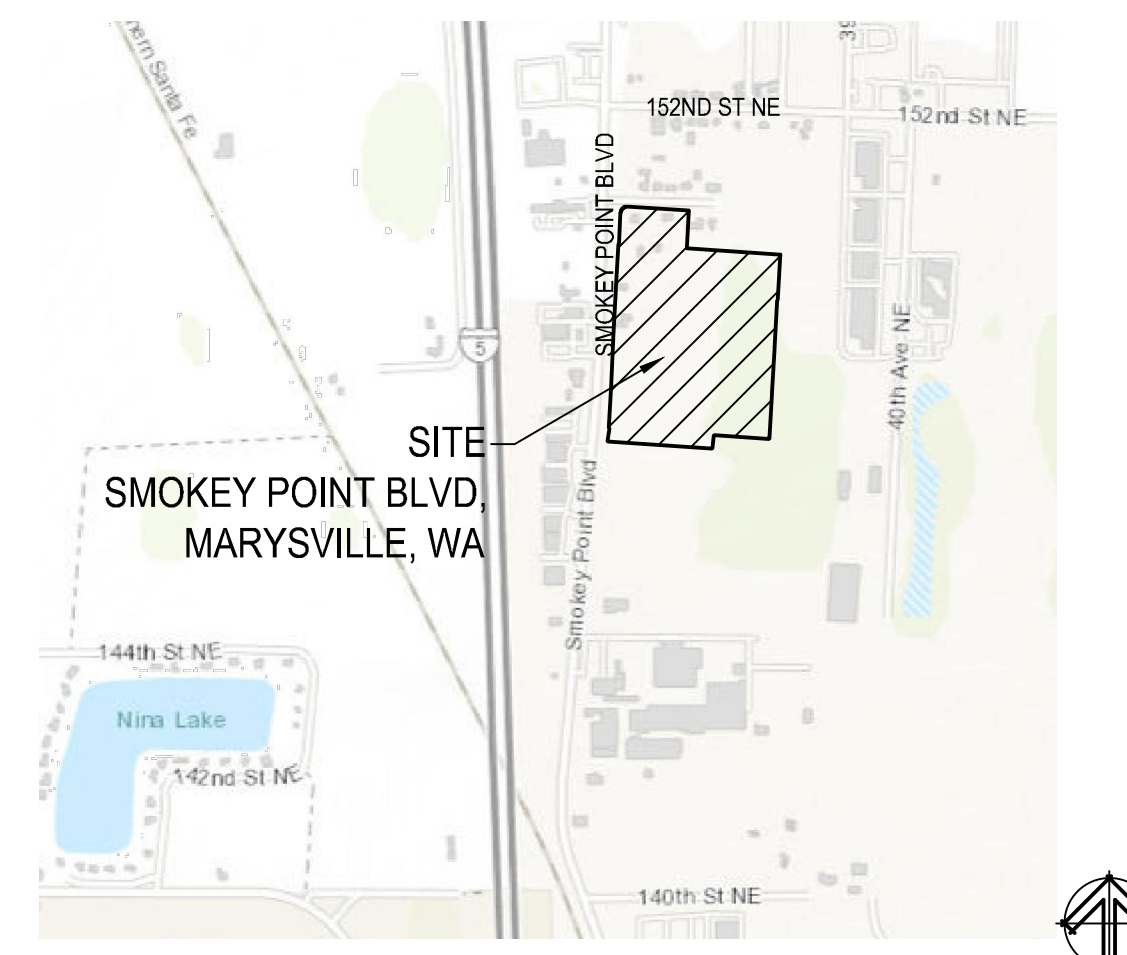
A SITE PLAN
SCALE: 1" = 50'-0"



SITE PLAN NOTES

SITE	
ZONING	LI - LIGHT INDUSTRIAL
SITE AREA	442, 416 S.F.
SITE DEDICATION	1, 020 S.F.
NEW SITE AREA	441, 348 S.F.
MAX IMPERVIOUS AREA	315,188 S.F. (85%)
IMPERVIOUS AREA SHOWN	311,674 S.F. (84.20%)
BUILDING	
CONSTRUCTION TYPE	III-B, SPRINKLERED
OCCUPANCY	WAREHOUSE
BUILDING AREA	5-1
BUILDING A	23, 013 S.F.
BUILDING B	51, 527 S.F.
BUILDING C	106, 930 S.F.
TOTAL BUILDINGS AREA	181, 470 S.F.
PARKING CALCULATION	
REQUIRED PARKING PER (22C.130.030)	1 PER 2,000 S.F. GROSS FLOOR AREA PLUS OFFICE SPACE REQUIREMENTS
WAREHOUSE / STORAGE	
TOTAL REQUIRED PARKING	91 STALLS
BUILDING A	23, 013 S.F.
WAREHOUSE / STORAGE	12 REQUIRED STALLS - 41 PROVIDED
CARPOOL PARKING REQUIRED	41 x .05 = 3 STALLS PER 22C.130.030 (3) (a)
BICYCLE PARKING REQUIRED	12 x .05 = 1 REQUIRED PER 22C.130.060
BUILDING B	51, 527 S.F.
WAREHOUSE / STORAGE	26 REQUIRED STALLS - 106 PROVIDED
CARPOOL PARKING REQUIRED	106 x .05 = 6 STALLS PER 22C.130.030 (3) (a)
BICYCLE PARKING REQUIRED	26 x .05 = 2 REQUIRED PER 22C.130.060
BUILDING C	106, 930 S.F.
WAREHOUSE / STORAGE	55 REQUIRED STALLS - 104 PROVIDED
CARPOOL PARKING REQUIRED	104 x .05 = 6 STALLS PER 22C.130.030 (3) (a)
BICYCLE PARKING REQUIRED	55 x .05 = 3 REQUIRED PER 22C.130.060
PROPOSED PARKING	
STANDARD STALLS	211 STALLS
EV STALLS	24 STALLS
ADA-EV STALLS	4 STALLS
ADA STALLS	12 STALLS
TOTAL PROPOSED PARKING	251 STALLS (31, 213 S.F.)
LANDSCAPING FOR PARKING PER 22C.120.130(5)	
PARKING AREA	31, 213 S.F.
LANDSCAPE REQUIRED (10%)	3, 121 S.F.
LANDSCAPE PROVIDED	5, 546 S.F.

VICINITY MAP



PROJECT CONTACTS

OWNER IDEAL INDUSTRIAL PARK
SMOKEY POINT BLVD
MARYSVILLE, WA

ARCHITECT LANCE MUELLER & ASSOCIATES
lmuel@mueller.com
130 LAKESIDE, SUITE 250
SEATTLE, WA 98122
(206) 325-2553
FAX: (206) 328-0554
CONTACT: LANCE MUELLER

SITE PLAN

PROPOSED BUILDING FOR
IDEAL INDUSTRIAL PARK
SMOKEY POINT BLVD, MARYSVILLE, WA

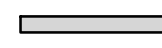



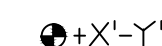



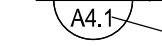

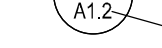
LANCE MUELLER & ASSOCIATES
ARCHITECTS
130 LAKESIDE • SUITE 250 • SEATTLE, WA 98122 • (206) 325-2553

SHEET: **A1.0**

JOB NO. 22-043
DRAWN OWEN K.
CHECKED L.M.
DATE 12/21/22
NO. NO.
REVISION

DATE 04/26/23
PLOT DATE: 4-26-2023

PLAN LEGEND / NOTES

-  NEW CONCRETE WALL
-  NEW DOOR PER SCHEDULE
-
-
-  WINDOW TAG
-  DOOR TAG
-  FLOOR LEVEL / HEIGHT
-  EXIT SIGN WITH BATTERY BACKUP
-  NORTH DIRECTION
-  BUILDING SECTIONS
-  DETAILS
-  ENLARGED PLANS / DETAILS
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DAYLIGHT ZONE CONTROL

PROVIDE DAYLIGHT ZONE CONTROLS PER THE INTERNATIONAL ENERGY CONSERVATION CODE C-405.2.2.3, AND PER WASHINGTON STATE NON-RESIDENTIAL ENERGY CODE AMENDMENTS, WAC 51-11C.

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CONTIGUOUS DAYLIGHT ZONES ADJACENT TO VERTICAL GLAZING ARE ALLOWED TO BE CONTROLLED BY A SINGLE CONTROLLING DEVICE PROVIDED THAT THEY DO NOT INCLUDE ZONES FACING MORE THAN TWO ADJACENT ZONES CARDINAL ORIENTATIONS (I.E. NORTH, EAST, SOUTH, WEST). DAYLIGHT ZONES UNDER OVERHEAD GLAZING MORE THAN 15 FEET FROM THE PERIMETER SHALL BE CONTROLLED SEPARATELY FROM DAYLIGHT ZONES ADJACENT TO VERTICAL GLAZING.

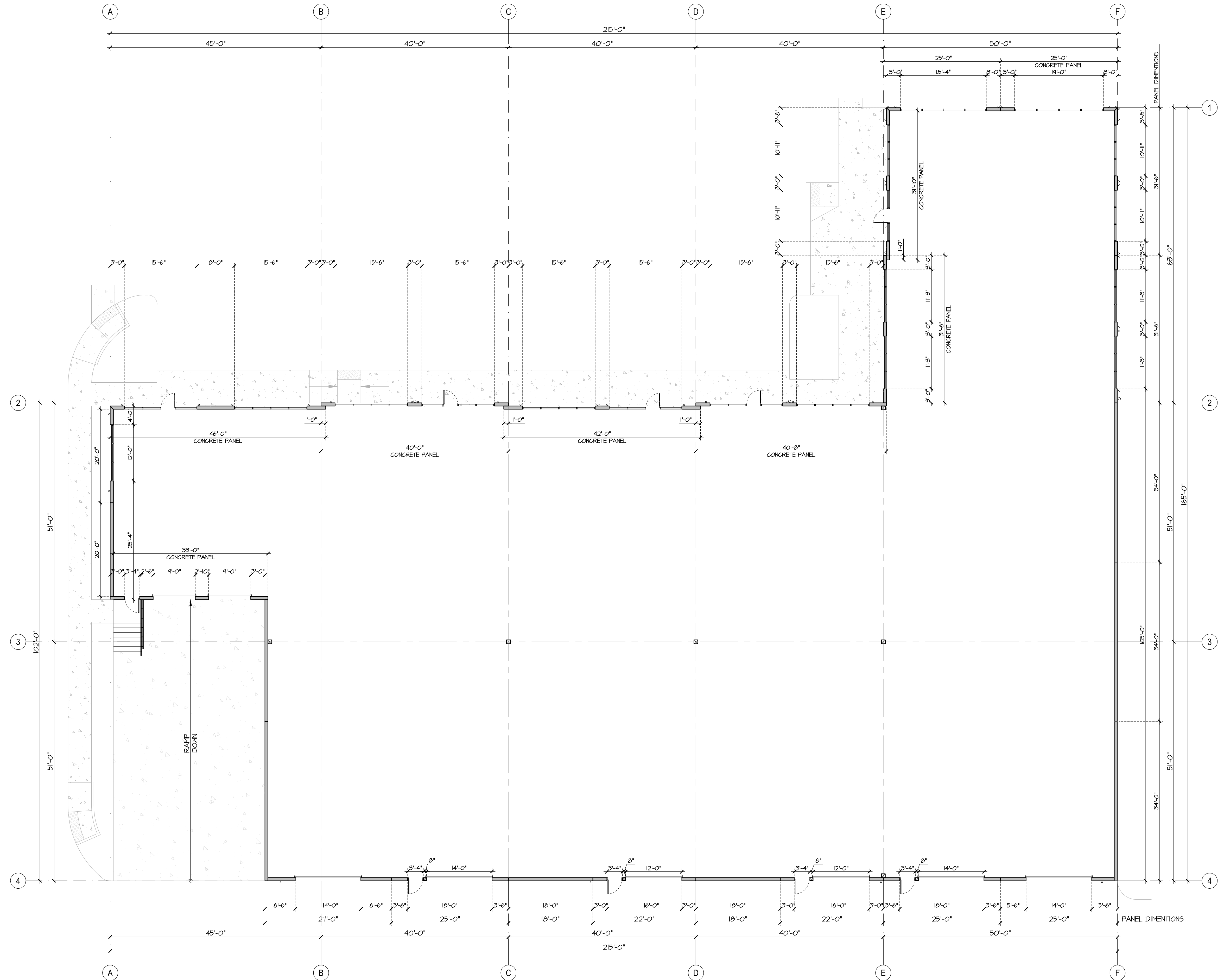
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FLOOR PLAN NOTES

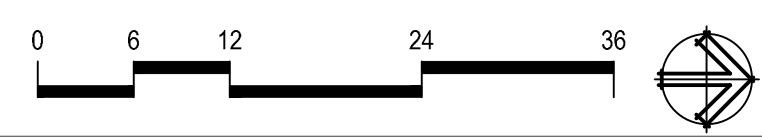
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3. PROVIDE EXIT PATHWAY ILLUMINATION PER IBC SECTION 1008. THE POWER SUPPLY FOR THE MEANS OF EGRESS ILLUMINATION SHALL BE PROVIDED BY THE BUILDING POWER SUPPLY, AND WITH EMERGENCY POWER SUPPLY FOR MIN 40 MINUTES. MEANS OF EGRESS ILLUMINATION SHALL BE PROVIDED AT THE RATE OF 1 FOOT CANDLE AT FLOOR LEVEL.
4. PROVIDE EXTERIOR EGRESS ILLUMINATION WITH EMERGENCY POWER PER IBC SECTION 1008.35. PROVIDE MIN. 40 MINUTES OF POWER, FOR ILLUMINATION PER 1008.35.
5. MECHANICAL CONTRACTOR TO PROVIDE BUILDING 4 TOILET VENTILATION PER THE IMC.
6. ALL THRESHOLDS MAXIMUM 1/2" HIGH ABOVE FINISH FLOOR, EACH SIDE OF DOORS.
7. MECHANICAL & ELECTRICAL PENETRATIONS THROUGH RATED WALL OR FLOOR SYSTEMS TO COMPLY W/ IBC SECTION 714.

CEILING PLAN NOTES

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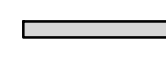

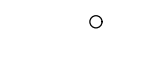
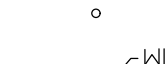

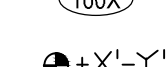



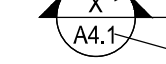
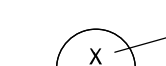

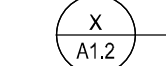


FLOOR PLAN - BUILDING A
SCALE: 3/32" = 1'-0"



JOB NO. 22-043	DRAWN OWEN K.	CHECKED L.M.	DATE 12/21/22	REVISION NO	DATE 04/26/23
REGISTERED ARCHITECT <i>OWEN K. MUELLER</i> STATE OF WASHINGTON			SITE PLAN REVIEW		
PROPOSED BUILDING FOR IDEAL INDUSTRIAL PARK SMOKEY POINT BLVD, MARYSVILLE, WA					
FLOORPLAN BLDG A LANCE MUELLER & ASSOCIATES ARCHITECTS 130 LAKESIDE • SUITE 250 • SEATTLE, WA 98122 • (206) 325-2553					
SHEET: A2.0-A					

PLAN LEGEND / NOTES

-  NEW CONCRETE WALL
-  NEW DOOR PER SCHEDULE
-  NEW 6" DIA. DOWNSPOUT FROM ROOF
-  NEW 3" DIA. DOWNSPOUT FROM CANOPIES
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-  DOOR TAG
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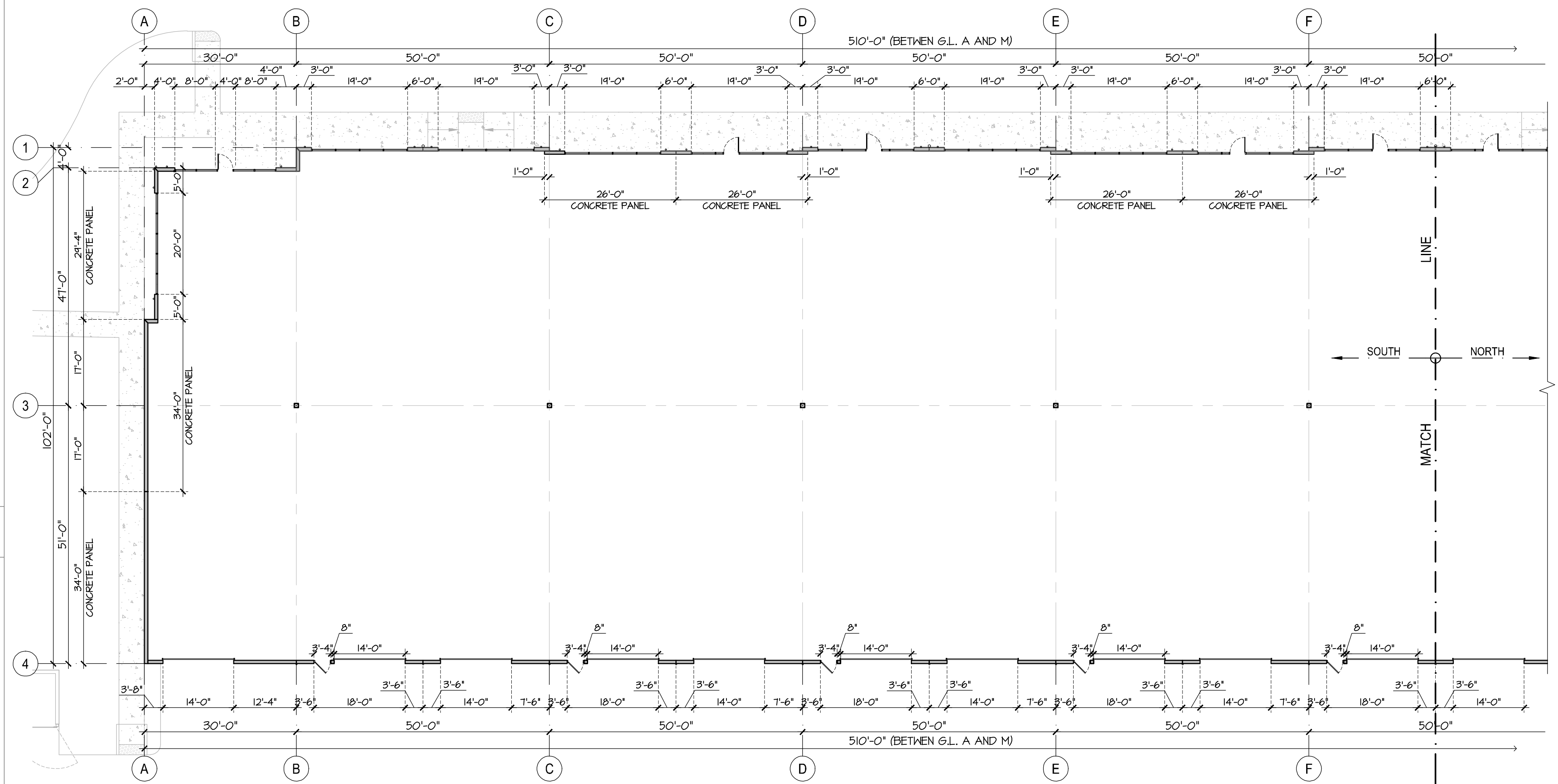
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FLOOR PLAN NOTES

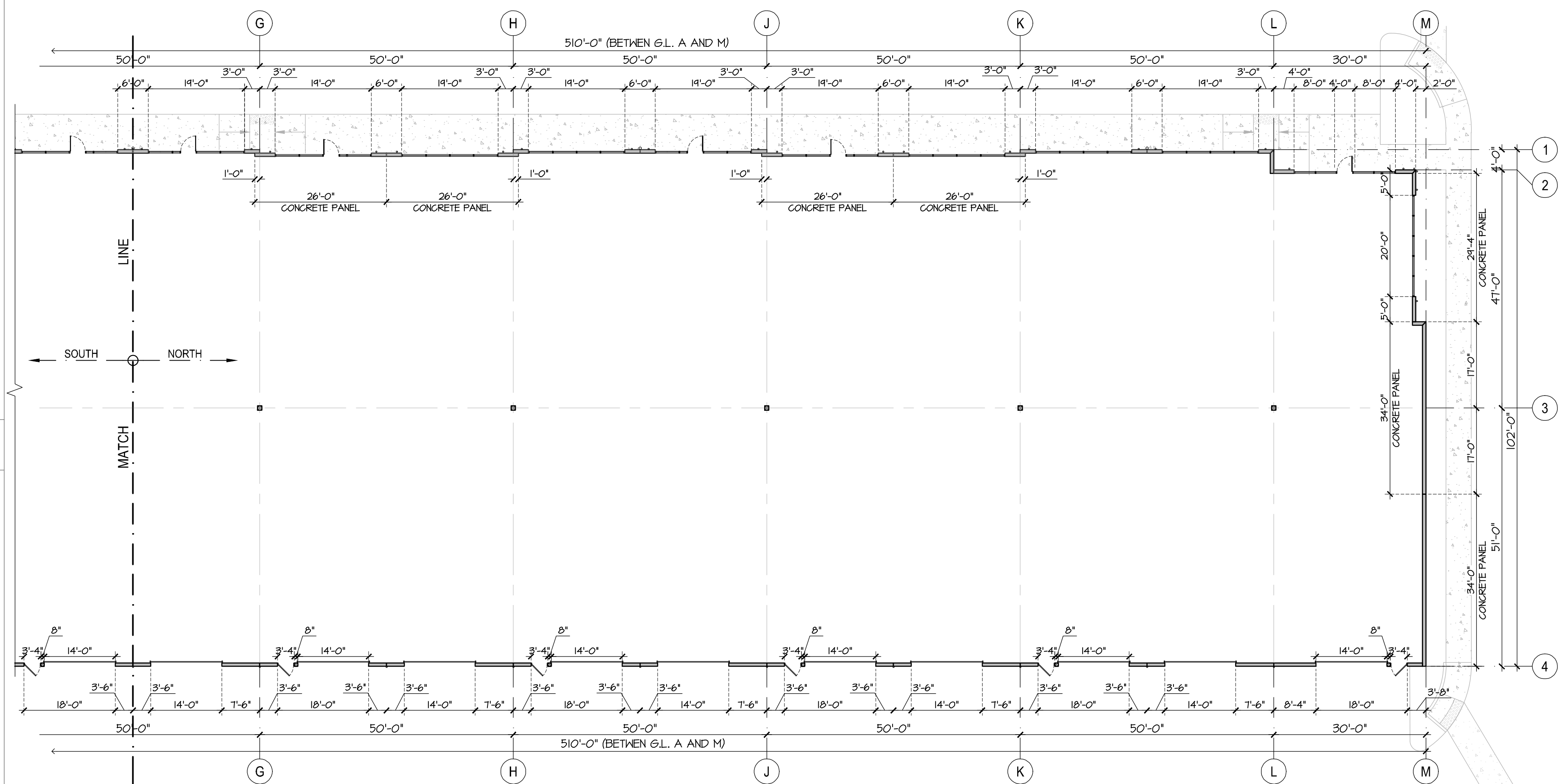
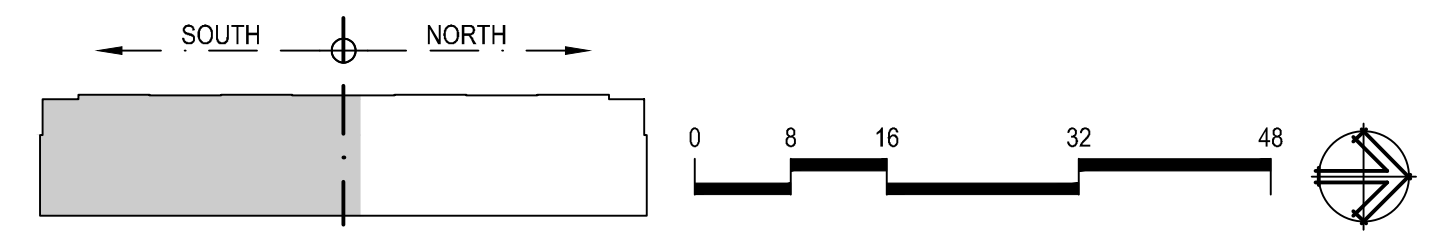
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4. PROVIDE EXTERIOR EGRESS ILLUMINATION WITH EMERGENCY POWER PER IBC SECTION 1008. PROVIDE MIN. 90 MINUTES OF POWER, FOR ILLUMINATION PER 1008.3.5
5. MECHANICAL CONTRACTOR TO PROVIDE BUILDING 4 TOILET VENTILATION PER THE IMC.
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CEILING PLAN NOTES

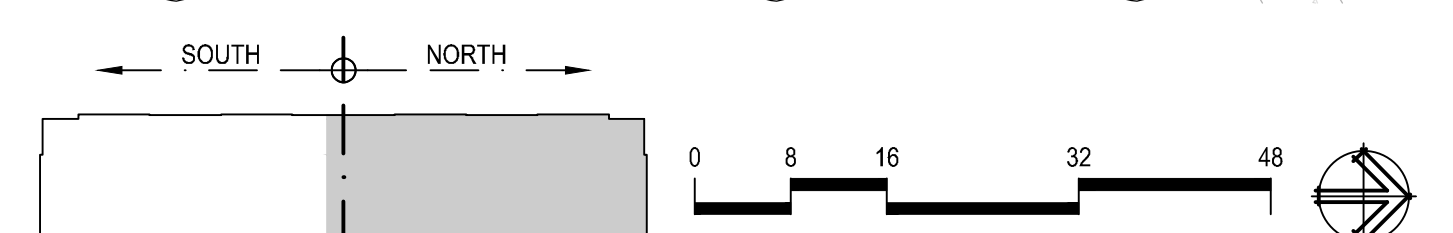
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(B) FLOOR PLAN - BUILDING B (SOUTH HALF)
SCALE: 1/16" = 1'-0"



(A) FLOOR PLAN - BUILDING B (NORTH HALF)
SCALE: 1/16" = 1'-0"



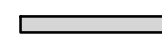

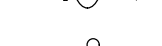



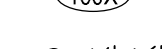
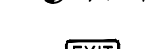





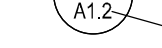

JOB NO. 22-043	DRAWN OWEN K. L.M.	CHECKED L.M.	DATE 12/21/22	REVISION NO	DATE 04/26/23
REGISTERED ARCHITECT OWEN K. L.M. STATE OF WASHINGTON			SITE PLAN REVIEWER		

PROPOSED BUILDING FOR
IDEAL INDUSTRIAL PARK
SMOKEY POINT BLVD, MARYSVILLE, WA

FLOORPLAN BLDG B
LANCIE MUELLER & ASSOCIATES
ARCHITECTS
130 LAKESIDE • SUITE 250 • SEATTLE, WA 98122 • (206) 325-2553

SHEET:
A2.0-B

PLAN LEGEND / NOTES

-  NEW CONCRETE WALL
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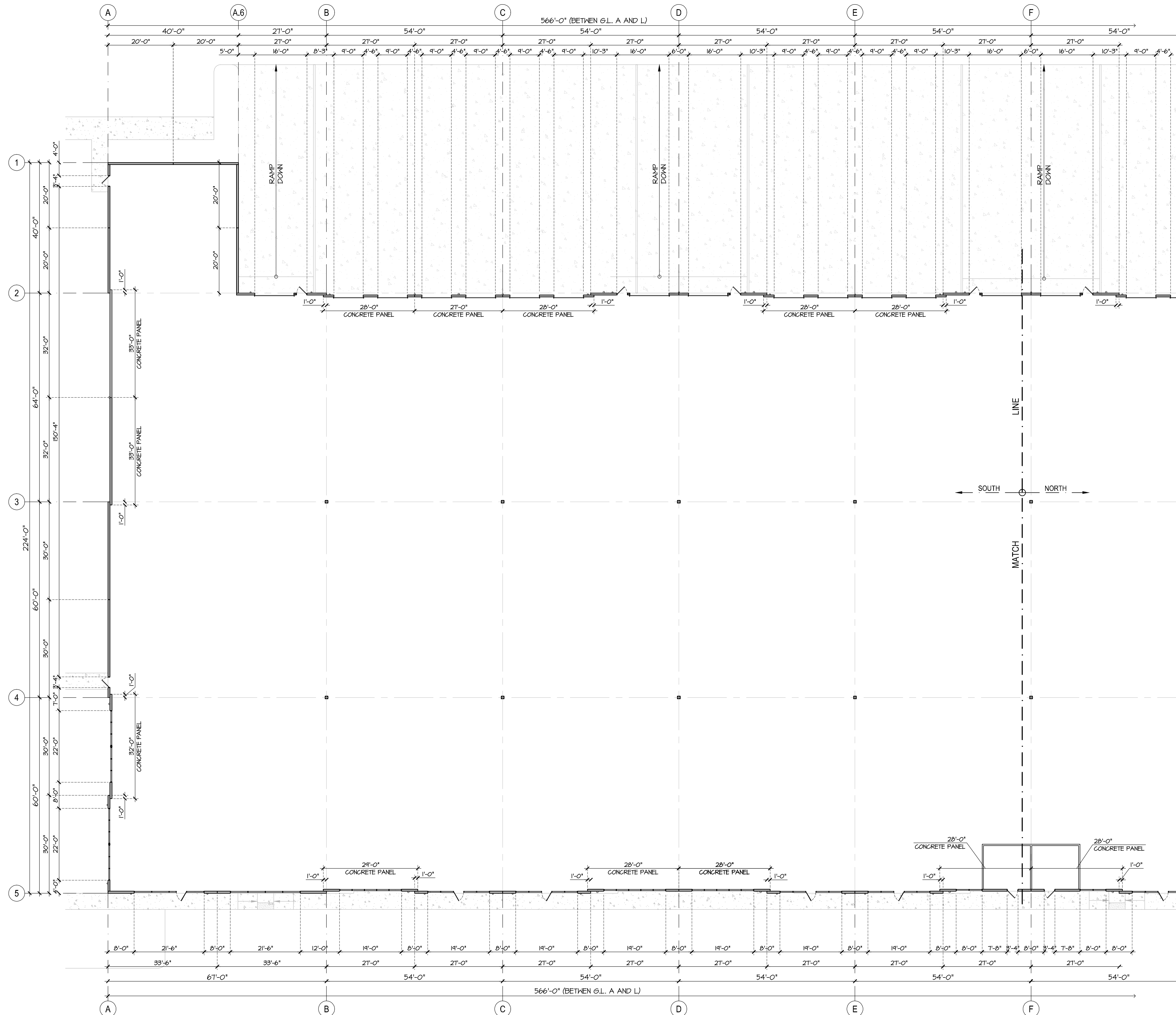
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FLOOR PLAN NOTES

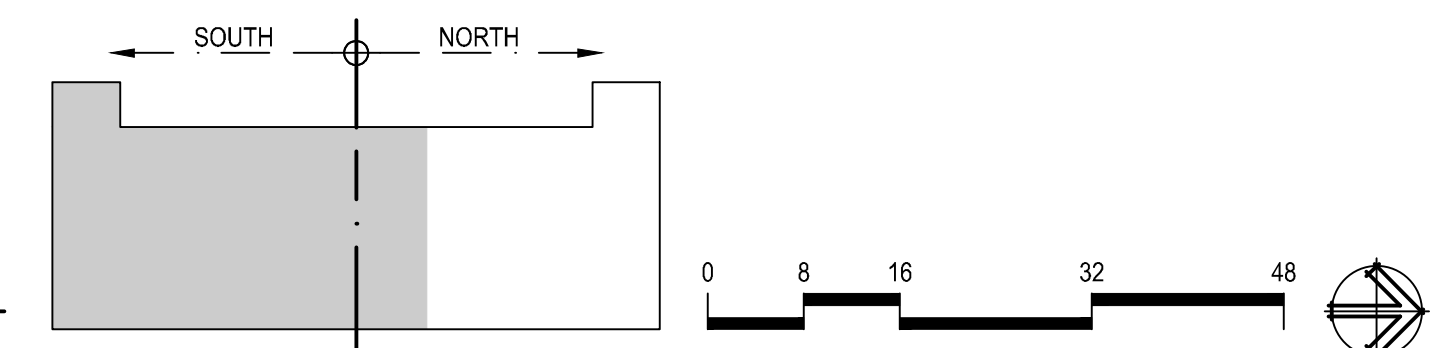
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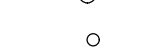
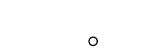


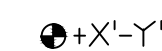



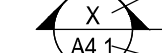

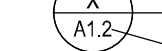

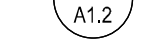


FLOOR PLAN - BUILDING C (SOUTH HALF)
SCALE: 1/16" = 1'-0"



JOB NO. 22-043	DRAWN OWEN K.	CHECKED L.M.	DATE 12/21/22	NO.	REVISION	DATE 04/26/23
PROPOSED BUILDING FOR IDEAL INDUSTRIAL PARK SMOKEY POINT BLVD, MARYSVILLE, WA						
REGISTERED ARCHITECT LANCE MUELLER & ASSOCIATES LANCE MUELLER STATE OF WASHINGTON						
FLOORPLAN BLDG C (SOUTH HALF) LANCE MUELLER & ASSOCIATES ARCHITECTS 130 LAKESIDE • SUITE 250 • SEATTLE, WA 98122 • (206) 325-2553						
SHEET: A2.0-C						

PLAN LEGEND / NOTES

-  NEW CONCRETE WALL
-  NEW DOOR PER SCHEDULE
-  NEW 6" DIA. DOWNSPOUT FROM ROOF
-  NEW 3" DIA. DOWNSPOUT FROM CANOPIES
-  WINDOW TAG
-  DOOR TAG
-  FLOOR LEVEL / HEIGHT
-  EXIT SIGN WITH BATTERY BACKUP
-  NORTH DIRECTION
-  BUILDING SECTIONS
-  SHEET NUMBER
-  DETAIL
-  SHEET NUMBER
-  ENLARGED PLANS / DETAILS
-  REVISIONS

DAYLIGHT ZONE CONTROL

PROVIDE DAYLIGHT ZONE CONTROLS PER THE INTERNATIONAL ENERGY CONSERVATION CODE C-405.2.2.3, AND PER WASHINGTON STATE NON-RESIDENTIAL ENERGY CODE AMENDMENTS, WAC 51-11C.

ALL DAYLIGHTED ZONES, AS DEFINED IN CHAPTER 2, BOTH UNDER OVERHEAD GLAZING AND ADJACENT TO VERTICAL GLAZING, SHALL BE PROVIDED WITH INDIVIDUAL CONTROLS, OR DAYLIGHT OR OCCUPANT-SENSING AUTOMATIC CONTROLS, WHICH CONTROL THE LIGHTS INDEPENDENT OF GENERAL AREA LIGHTING.

CONTIGUOUS DAYLIGHT ZONES ADJACENT OF VERTICAL GLAZING ARE ALLOWED TO BE CONTROLLED BY A SINGLE CONTROLLING DEVICE PROVIDED THAT THEY DO NOT INCLUDE ZONES FACING MORE THAN TWO ADJACENT ZONES CARDINAL ORIENTATIONS (I.E. NORTH, EAST, SOUTH, WEST). DAYLIGHT ZONES UNDER OVERHEAD GLAZING MORE THAN 15 FEET FROM THE PERIMETER SHALL BE CONTROLLED SEPARATELY FROM DAYLIGHT ZONES ADJACENT TO VERTICAL GLAZING.

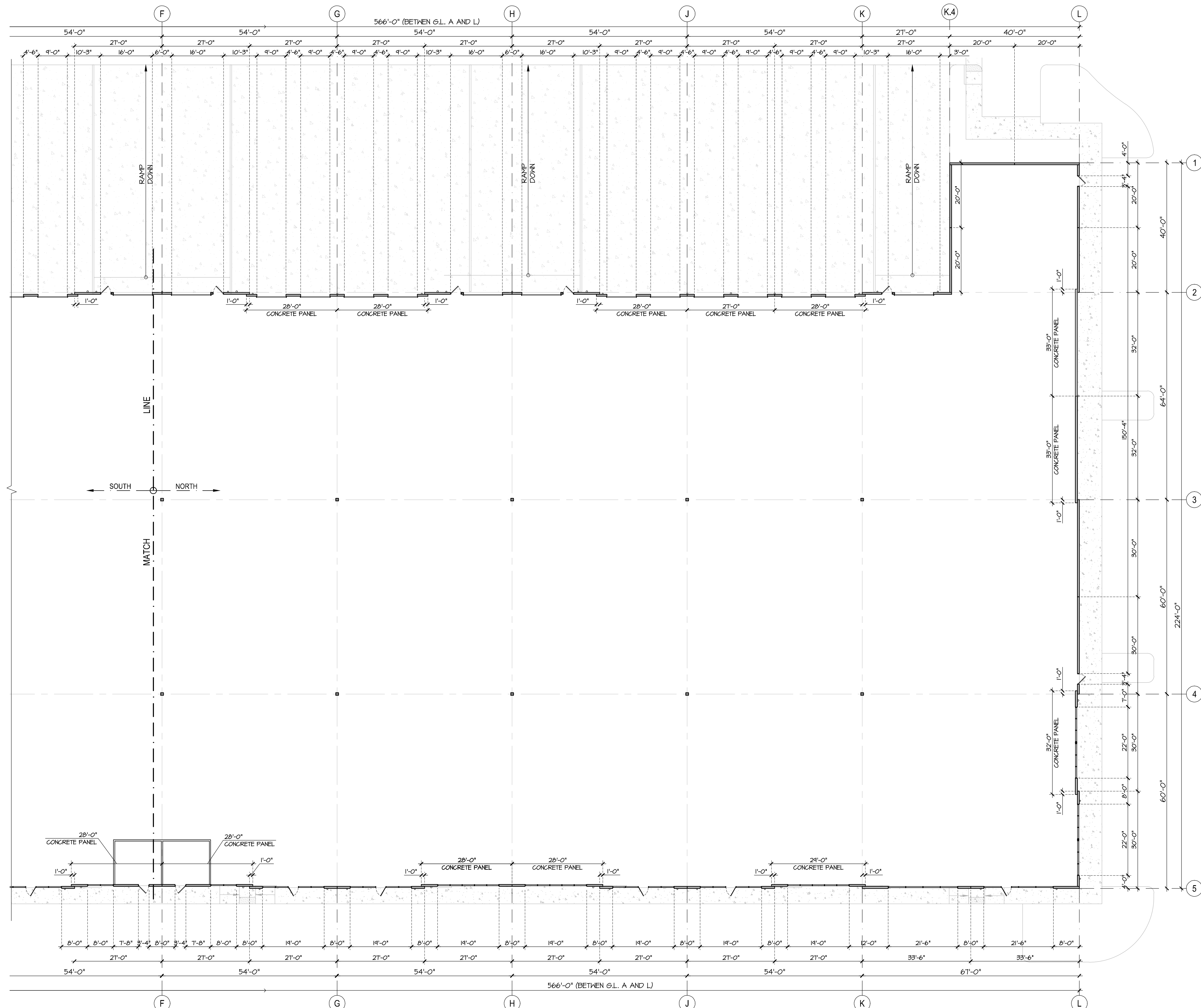
EXCEPTION: DAYLIGHT SPACES ENCLOSED BY WALLS OR CEILING HEIGHT PARTITIONS AND CONTAINING 2 OR FEWER LIGHT FIXTURES ARE NOT REQUIRED TO HAVE A SEPARATE SWITCH FOR GENERAL AREA LIGHTING.

FLOOR PLAN NOTES

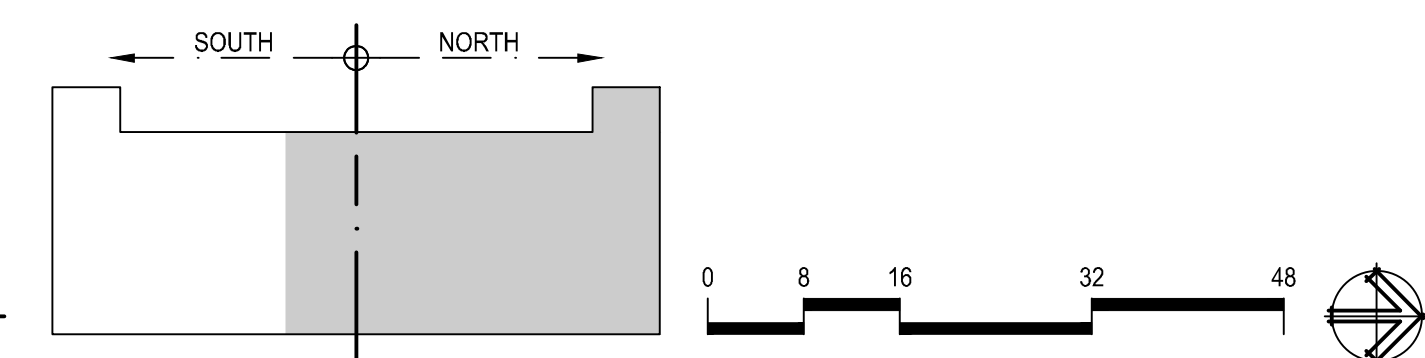
1. PROVIDE 2A/10BC FIRE EXTINGUISHERS 1/3000 SF. MAX. WITH MAX. 75' TRAVEL DISTANCE. COORD. LOCATIONS W/ FIRE MARSHAL.
2. PROVIDE EXIT SIGNAGE PER IBC 1013. SIGNS SHALL BE ILLUMINATED AT ALL TIMES. PROVIDE BATTERY BACKUP POWER FOR ILLUMINATION FOR MINIMUM OF 90 MINUTES. PROVIDE TACTILE EXIT SIGNS COMPLYING WITH ICC-A117.1-2011 ADJACENT TO EACH STAIRWAY.
3. PROVIDE EXIT PATHWAY ILLUMINATION PER IBC SECTION 1008. THE POWER SUPPLY FOR THE MEANS OF EGRESS ILLUMINATION SHALL BE PROVIDED BY THE BUILDING POWER SUPPLY, AND WITH EMERGENCY POWER SUPPLY FOR MIN 90 MINUTES. MEANS OF EGRESS ILLUMINATION SHALL BE PROVIDED AT THE RATE OF 1 FOOT CANDLE AT FLOOR LEVEL.
4. PROVIDE EXTERIOR EGRESS ILLUMINATION WITH EMERGENCY POWER PER IBC SECTION 1008.3.5. PROVIDE MIN. 90 MINUTES OF POWER, FOR ILLUMINATION PER 1008.3.5
5. MECHANICAL CONTRACTOR TO PROVIDE BUILDING 4 TOILET VENTILATION PER THE IMC.
6. ALL THRESHOLDS MAXIMUM 1/2" HIGH ABOVE FINISH FLOOR, EACH SIDE OF DOORS.
7. MECHANICAL & ELECTRICAL PENETRATIONS THROUGH RATED WALL OR FLOOR SYSTEMS TO COMPLY W/ IBC SECTION 714.

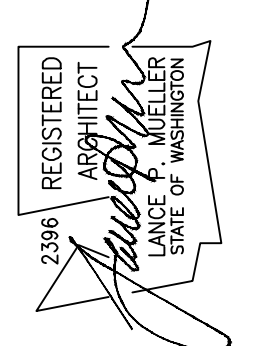
CEILING PLAN NOTES

1. PLANS AND FIXTURES ARE LISTED FOR DESIGN INTENT ONLY. FINAL FIXTURE SCHEDULE AND LAYOUT PER ELECTRICAL DESIGN BUILD DOCUMENTS.
2. PROVIDE EXIT SIGNAGE PER IBC 1013. SIGNS SHALL BE ILLUMINATED AT ALL TIMES. PROVIDE BATTERY BACKUP POWER FOR ILLUMINATION FOR MINIMUM OF 90 MINUTES. PROVIDE TACTILE EXIT SIGNS COMPLYING WITH ICC-A117.1-2011 ADJACENT TO EACH STAIRWAY.
3. PROVIDE EXIT PATHWAY ILLUMINATION PER IBC SECTION 1008. THE POWER SUPPLY FOR THE MEANS OF EGRESS ILLUMINATION SHALL BE PROVIDED BY THE BUILDING POWER SUPPLY, AND WITH EMERGENCY POWER SUPPLY LASTING 90 MINUTES MINIMUM. MEANS OF EGRESS ILLUMINATION SHALL BE PROVIDED AT THE RATE OF 1 FOOT CANDLE AT FLOOR LEVEL.
4. MECHANICAL & ELECTRICAL PENETRATIONS THROUGH RATED WALL OR FLOOR SYSTEMS TO COMPLY W/ IBC SECTION 714.
5. PROVIDE EXTERIOR EGRESS ILLUMINATION WITH EMERGENCY POWER PER IBC SECTION 1008.3.5. PROVIDE MIN. 90 MINUTES OF POWER, FOR ILLUMINATION PER 1008.3.5



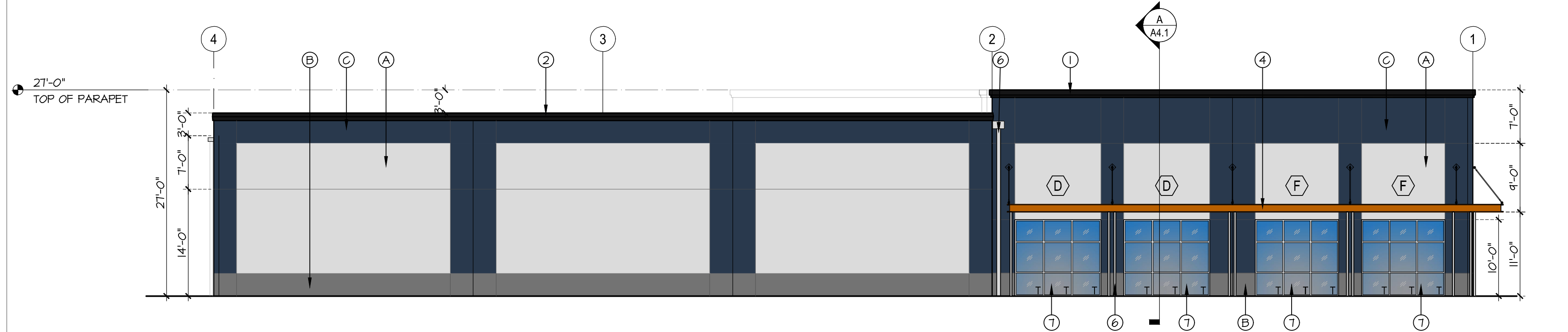
FLOOR PLAN - BUILDING C (NORTH HALF)
SCALE: 1/16" = 1'-0"



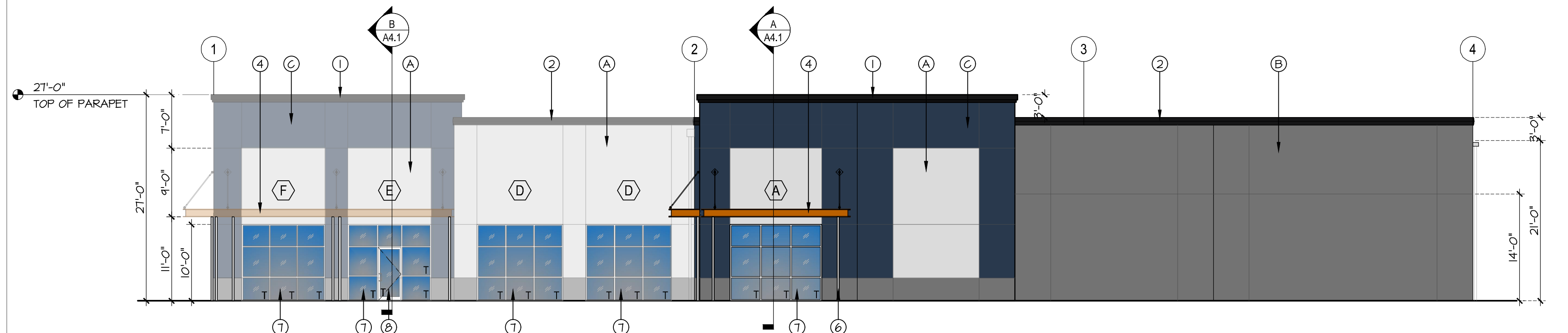
JOB NO. 22-043	DRAWN OWEN K.	CHECKED L.M.	DATE 12/21/22	REVISION NO	DATE 04/26/23
REGISTERED ARCHITECT  LANCE MUELLER STATE OF WASHINGTON					
PROPOSED BUILDING FOR IDEAL INDUSTRIAL PARK SMOKEY POINT BLVD, MARYSVILLE, WA					
FLOORPLAN BLDG C (NORTH HALF) LANCE MUELLER & ASSOCIATES ARCHITECTS 130 LAKESIDE • SUITE 250 • SEATTLE, WA 98122 • (206) 325-2553					
SHEET: A2.1-C					

ELEVATION KEYNOTES	
①	CAP FLASHING TYPE 1, PER DET.1 / A5.0
②	CAP FLASHING TYPE 2, PER DET.11 / A5.0
③	CAP FLASHING TYPE 3, PER DET.19 / A5.0
④	STEEL CHANNEL CANOPY, FACTORY PRIMED, ALIPHATIC FIELD PAINT TYPE "D" w/ LIGHT UNDER. UNO.
⑤	COPING PRE-FINISHED GALV. METAL AEP-SPAN COOL. METALLIC PAINT TYPE "E" OR APPROVED
⑥	DOWNSPOUT. PAINT TO MATCH w/ BLDG WALL COLOR BEHIND.
⑦	STOREFRONT ANOD. BLACK ALUM. FRAMES, THERMALLY BROKEN, 1" INSULATED LOW-E GLAZING, CLEAR OR APPROVED
⑧	PASS THROUGH WINDOW & SHELF ANOD. CLEAR ALUM.
⑨	HOLLOW METAL DOOR & FRAME. PAINT BLACK OR APPROVED
⑩	OVER-HEAD METAL DOOR & FRAME. PAINT BLACK OR APPROVED
⑪	METAL DOCK-DOOR & FRAME. PAINT BLACK OR APPROVED

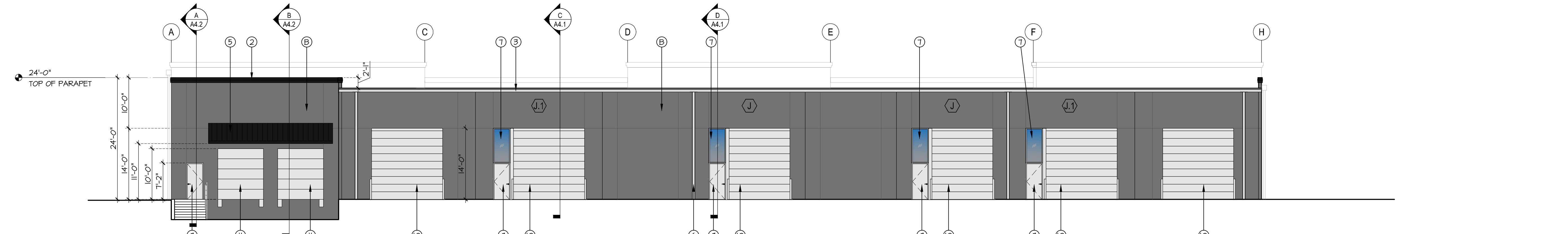
COLOR LEGEND	
(A)	COLOR #1
(B)	COLOR #2
(C)	COLOR #3
(D)	ACCENT COLOR #1
(E)	ACCENT COLOR #2



D NORTH ELEVATION
SCALE: 3/32" = 1'-0"



C SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



B EAST ELEVATION
SCALE: 3/32" = 1'-0"



A WEST ELEVATION
SCALE: 3/32" = 1'-0"

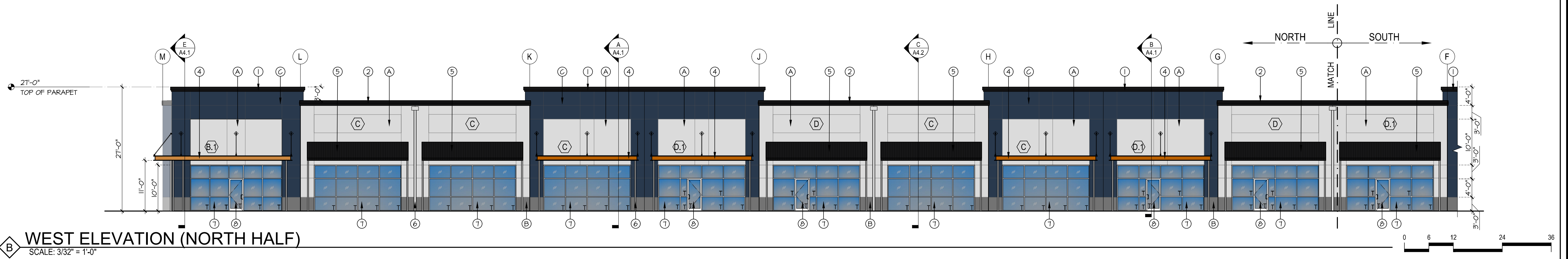
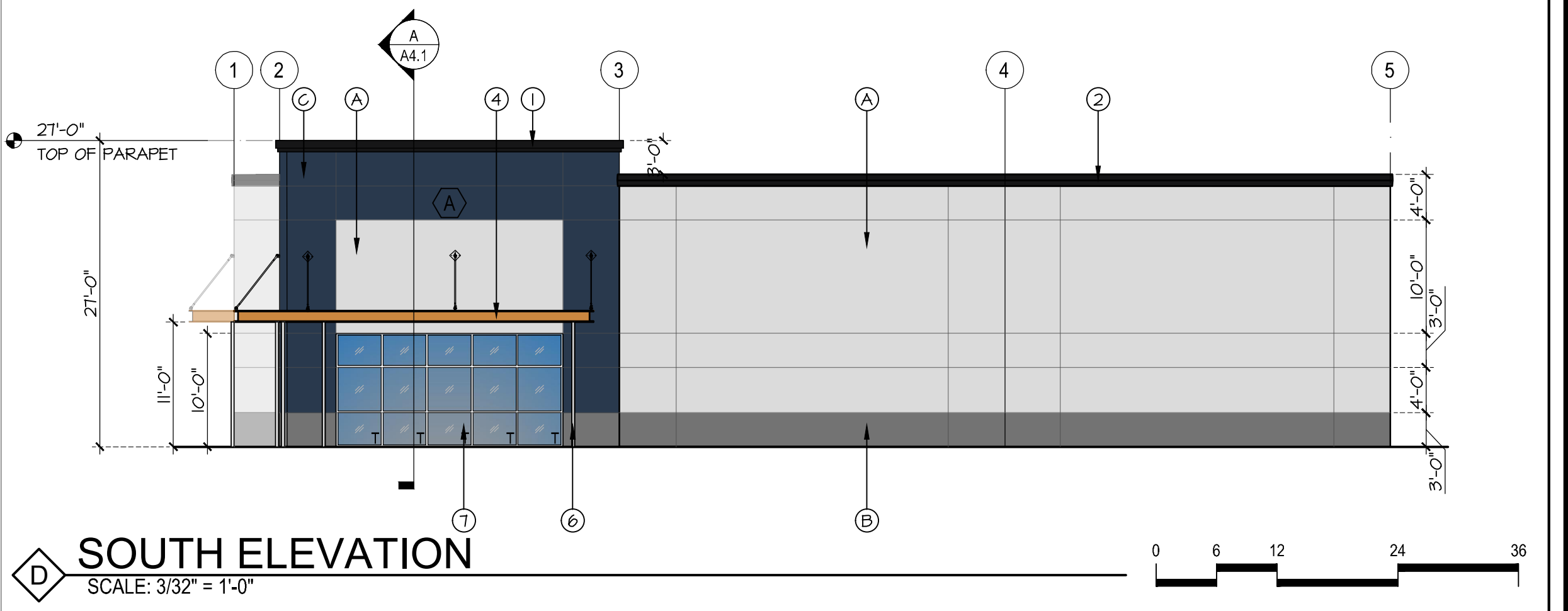
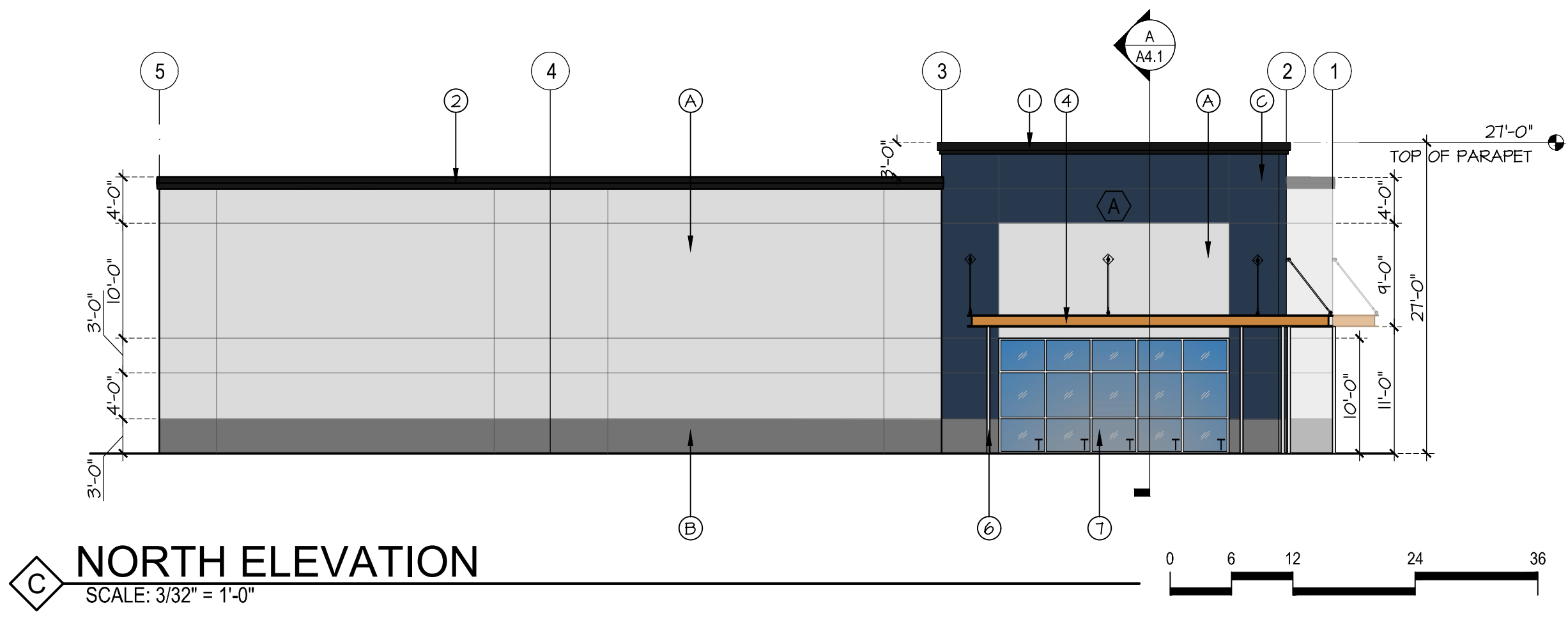
JOB NO.	22-043	DATE	04/26/23
DRAWN	OWEN K. L.M.	REVISION	
CHECKED		NO	
SITE PLAN REVIEWER		NO	
DATE	12/21/22	NO	

PROPOSED BUILDING FOR
IDEAL INDUSTRIAL PARK
SMOKEY POINT BLVD, MARYSVILLE, WA

ELEVATIONS BLDG A
LANCIE MUELLER & ASSOCIATES
ARCHITECTS
130 LAKESIDE • SUITE 250 • SEATTLE, WA 98122 • (206) 325-2553
SHEET: **A3.0-A**

ELEVATION KEYNOTES	
①	CAP FLASHING TYPE 1, PER DET.A / A5.0
②	CAP FLASHING TYPE 2, PER DET.II / A5.0
③	CAP FLASHING TYPE 3, PER DET.III / A5.0
④	STEEL CHANNEL CANOPY, FACTORY PRIMED, ALIPHATIC FIELD PAINT TYPE "D" w/ LIGHT UNDER. UNO.
⑤	COPINGS PRE-FINISHED GALV. METAL AEP-SPAN COOL METALLIC PAINT TYPE "E" OR APPROVED
⑥	DOWNSPOUT, PAINT TO MATCH w/ BLDG WALL COLOR BEHIND.
⑦	STOREFRONT ANOD. BLACK ALUM. FRAMES, THERMALLY BROKEN, 1" INSULATED LOW-E GLAZING, CLEAR OR APPROVED
⑧	PASS THROUGH WINDOW & SHELF ANOD. CLEAR ALUM.
⑨	HOLLOW METAL DOOR & FRAME, PAINT BLACK OR APPROVED
⑩	OVER-HEAD METAL DOOR & FRAME, PAINT BLACK OR APPROVED
⑪	METAL DOCK-DOOR & FRAME, PAINT BLACK OR APPROVED

COLOR LEGEND	
(A)	COLOR #1
(B)	COLOR #2
(C)	COLOR #3
(D)	ACCENT COLOR #1
(E)	ACCENT COLOR #2

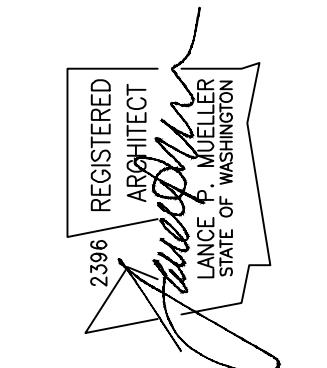


JOB NO.	22-043	DATE	12/21/22
DRAWN	OWEN K. L.M.	REVISION	
CHECKED	L.M.	NO	
SITE PLAN REVIEWER		DATE	04/26/23

PROPOSED BUILDING FOR
IDEAL INDUSTRIAL PARK
 SMOKEY POINT BLVD, MARYSVILLE, WA

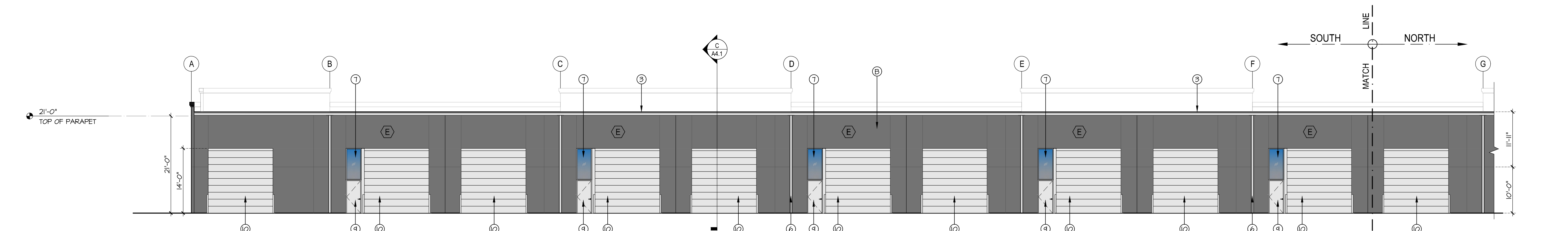
NORTH, SOUTH AND WEST ELEVATIONS BLDG B
 LANCE MUELLER & ASSOCIATES
 ARCHITECTS
 130 LAKESIDE • SUITE 250 • SEATTLE, WA 98122 • (206) 325-2553
 SHEET:
A3.0-B

JOB NO.	22-043	DATE	12/21/22
DRAWN	OWEN K.	CHECKED	L.M.
ARCHITECT	LANCE MUELLER	DATE	04/26/23
REGISTERED ARCHITECT	STATE OF WASHINGTON	REVISION	NO
SITE PLAN REVIEWER		NO	DATE

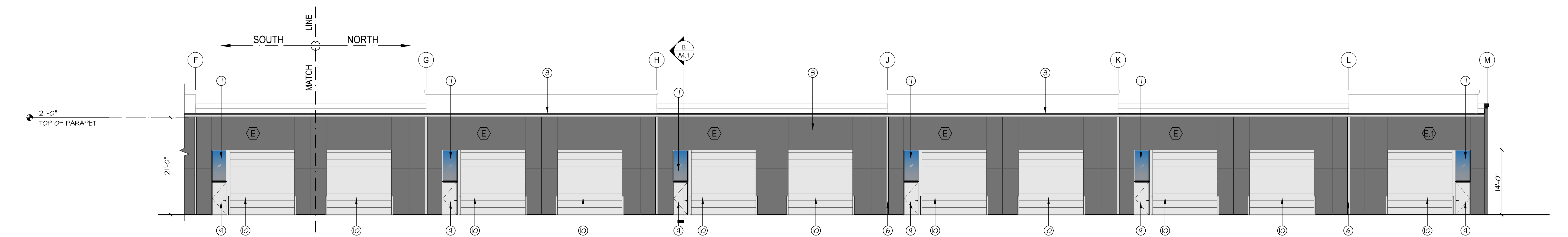


ELEVATION KEYNOTES	
①	CAP FLASHING TYPE 1. PER DET.A / A5.0
②	CAP FLASHING TYPE 2. PER DET.II / A5.0
③	CAP FLASHING TYPE 3. PER DET.III / A5.0
④	STEEL CHANNEL CANOPY, FACTORY PRIMED, ALIPHATIC FIELD PAINT TYPE "D" w/ LIGHT UNDER. UNO.
⑤	COPING PRE-FINISHED GALV. METAL AEP-SPAN COOL METALLIC PAINT TYPE "E" OR APPROVED
⑥	DOWNSPOUT. PAINT TO MATCH w/ BLDG WALL COLOR BEHIND.
⑦	STOREFRONT ANOD. BLACK ALUM. FRAMES, THERMALLY BROKEN. 1" INSULATED LOW-E GLAZING, CLEAR OR APPROVED
⑧	PASS THROUGH WINDOW & SHELF ANOD. CLEAR ALUM.
⑨	HOLLOW METAL DOOR & FRAME. PAINT BLACK OR APPROVED
⑩	OVER-HEAD METAL DOOR & FRAME. PAINT BLACK OR APPROVED
⑪	METAL DOCK-DOOR & FRAME. PAINT BLACK OR APPROVED

COLOR LEGEND	
(A)	COLOR #1
(B)	COLOR #2
(C)	COLOR #3
(D)	ACCENT COLOR #1
(E)	ACCENT COLOR #2



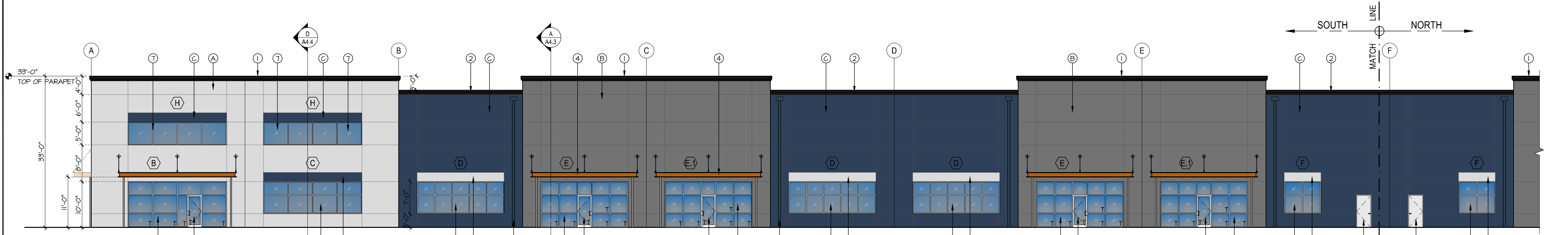
B EAST ELEVATION (SOUTH HALF)
SCALE: 3/32" = 1'-0"



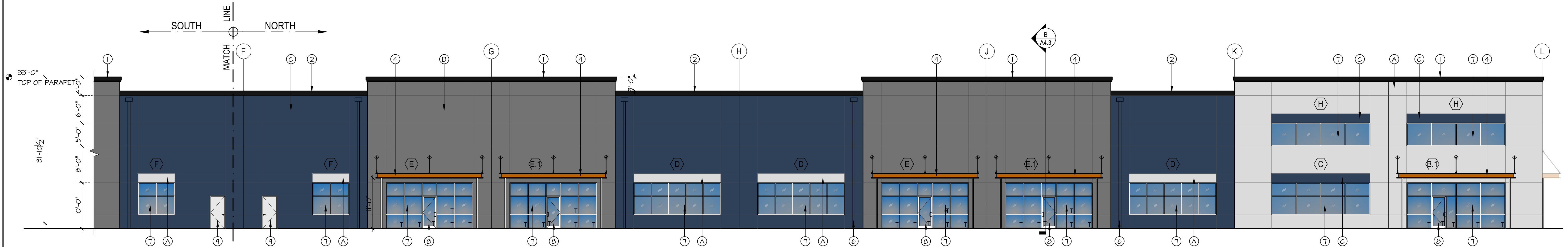
A EAST ELEVATION (NORTH HALF)
SCALE: 3/32" = 1'-0"

PROPOSED BUILDING FOR
IDEAL INDUSTRIAL PARK
SMOKEY POINT BLVD, MARYSVILLE, WA

EAST ELEVATIONS BLDG B
LANCE MUELLER & ASSOCIATES
ARCHITECTS
130 LAKESIDE • SUITE 250 • SEATTLE, WA 98122 • (206) 325-2553
SHEET: **A3.1-B**
PERMIT



EAST ELEVATION (SOUTH HALF)
SCALE: 3/32" = 1'-0"

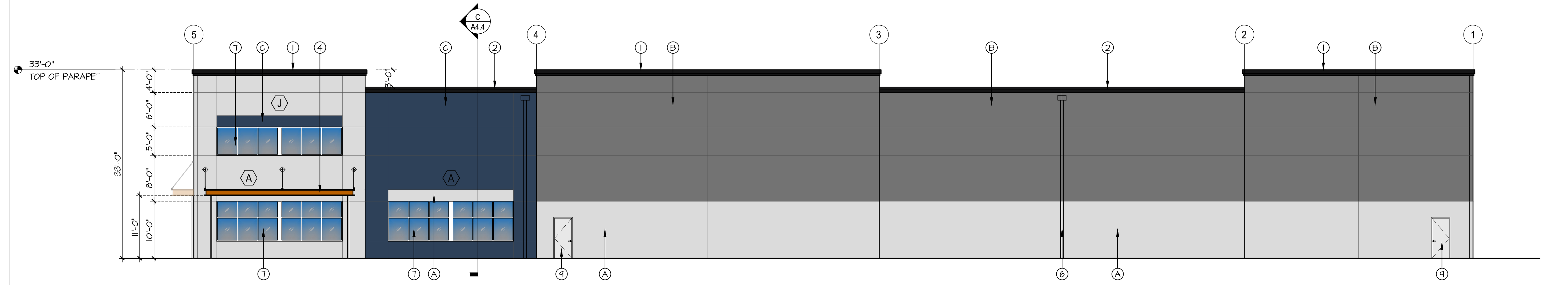


EAST ELEVATION (NORTH HALF)
SCALE: 3/32" = 1'-0"

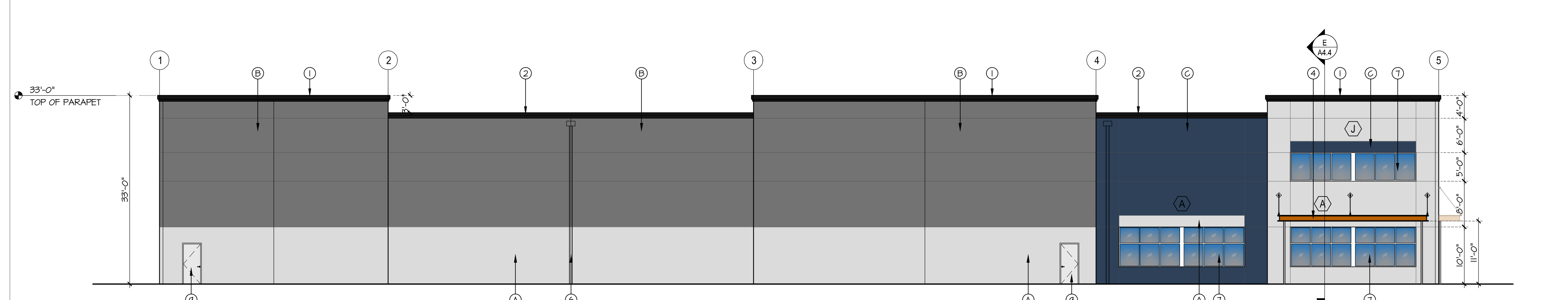


COLOR LEGEND	
(A)	COLOR #1
(B)	COLOR #2
(C)	COLOR #3
(D)	ACCENT COLOR #1
(E)	ACCENT COLOR #2

ELEVATION KEYNOTES	
1	CAP FLASHING TYPE 1, PER DET.1 / A5.0
2	CAP FLASHING TYPE 2, PER DET.11 / A5.0
3	CAP FLASHING TYPE 3, PER DET.14 / A5.0
4	STEEL CHANNEL CANOPY, FACTORY PRIMED, ALIPHATIC FIELD PAINT TYPE "D" w/ LIGHT UNDER, U.N.O.
5	COPING PRE-FINISHED GALV. METAL AEP-SPAN COOL METALLIC PAINT TYPE "E" OR APPROVED
6	DOWNSPOUT, PAINT TO MATCH w/ BLDG WALL COLOR BEHIND.
7	STOREFRONT ANOD. BLACK ALUM. FRAMES, THERMALLY BROKEN, 1" INSULATED LOW-E GLAZING, CLEAR OR APPROVED
8	PASS THROUGH WINDOW & SHELF ANOD. CLEAR ALUM.
9	HOLLOW METAL DOOR & FRAME, PAINT BLACK OR APPROVED
10	OVER-HEAD METAL DOOR & FRAME, PAINT BLACK OR APPROVED
11	METAL DOCK-DOOR & FRAME, PAINT BLACK OR APPROVED



NORTH ELEVATION
SCALE: 3/32" = 1'-0"



SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



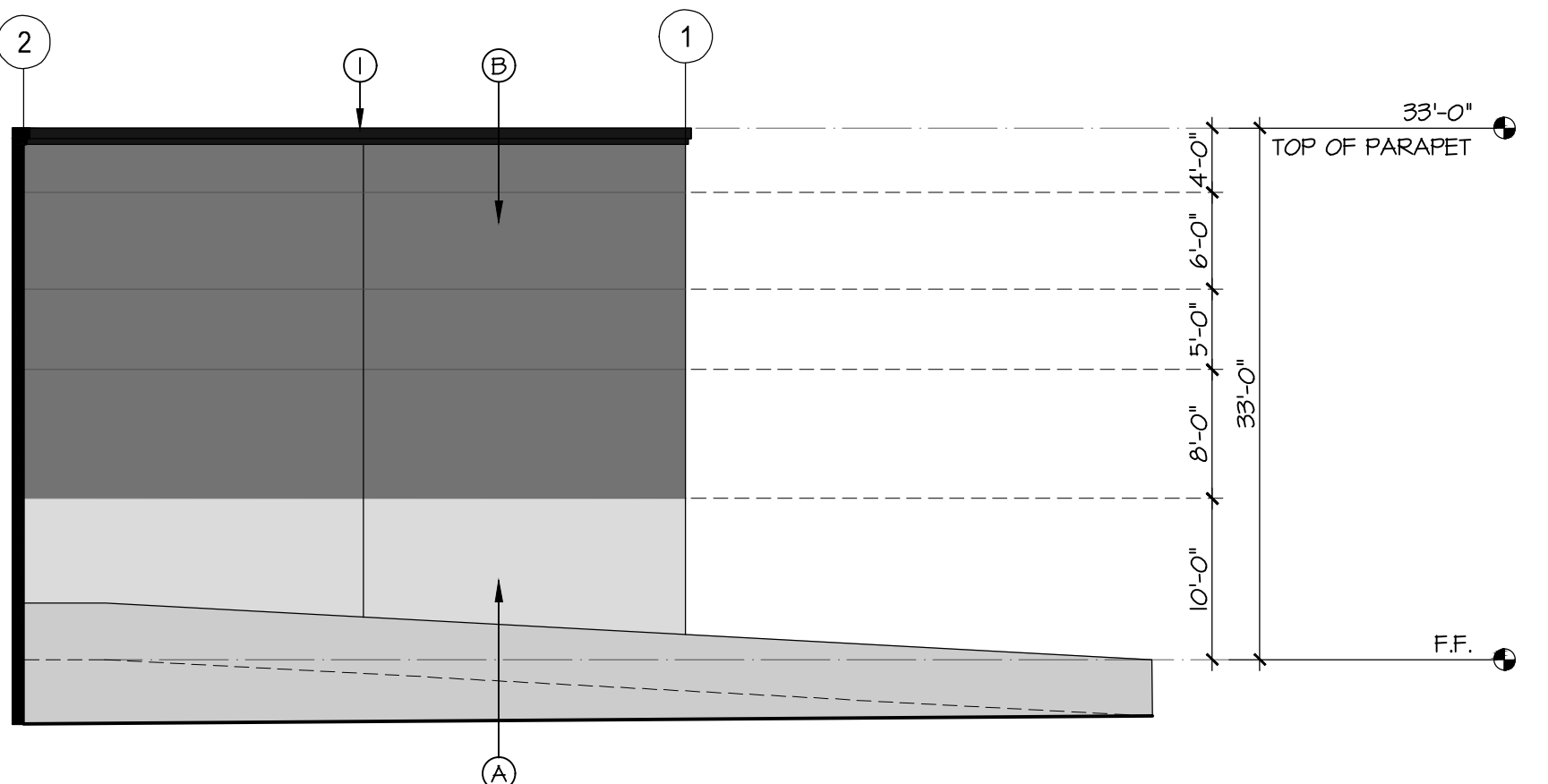
JOB NO.	22-043	DATE	04/26/23
DRAWN	OWEN K. L.M.	REVISION	
CHECKED		NO	
REGISTERED ARCHITECT LANCE MUELLER STATE OF WASHINGTON			

PROPOSED BUILDING FOR
IDEAL INDUSTRIAL PARK
SMOKEY POINT BLVD, MARYSVILLE, WA

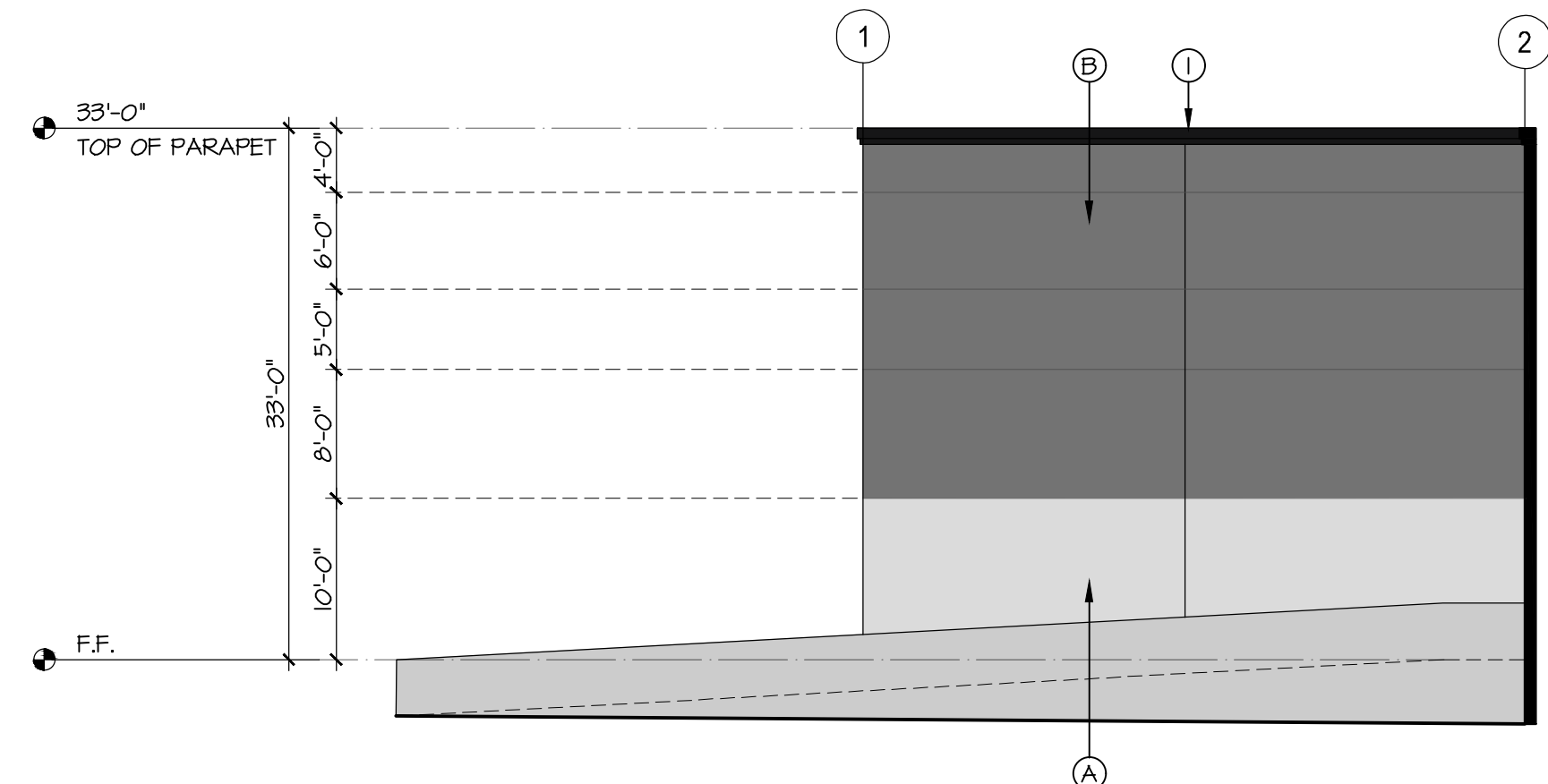
NORTH, SOUTH AND EAST ELEVATIONS BLDG C
LANCE MUELLER & ASSOCIATES
ARCHITECTS
130 LAKESIDE • SUITE 250 • SEATTLE, WA 98122 • (206) 325-2553
SHEET: **A3.0-C**

ELEVATION KEYNOTES	
①	CAP FLASHING TYPE 1, PER DET.A / A5.0
②	CAP FLASHING TYPE 2, PER DET.II / A5.0
③	CAP FLASHING TYPE 3, PER DET.IV / A5.0
④	STEEL CHANNEL CANOPY, FACTORY PRIMED, ALIPHATIC FIELD PAINT TYPE "D" w/ LIGHT UNDER. UNO.
⑤	COPINGS PRE-FINISHED GALV. METAL AEP-SPAN COOL METALLIC PAINT TYPE "E" OR APPROVED
⑥	DOWNSPOUT. PAINT TO MATCH w/ BLDG WALL COLOR BEHIND.
⑦	STOREFRONT ANOD. BLACK ALUM. FRAMES, THERMALLY BROKEN, 1" INSULATED LOW-E GLAZING, CLEAR OR APPROVED
⑧	PASS THROUGH WINDOW & SHELF ANOD. CLEAR ALUM.
⑨	HOLLOW METAL DOOR & FRAME. PAINT BLACK OR APPROVED
⑩	OVER-HEAD METAL DOOR & FRAME. PAINT BLACK OR APPROVED
⑪	METAL DOCK-DOOR & FRAME. PAINT BLACK OR APPROVED

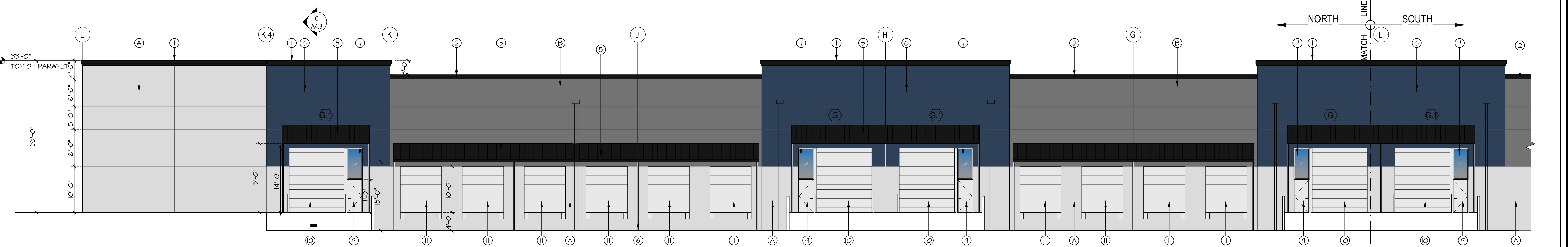
COLOR LEGEND	
(A)	COLOR #1
(B)	COLOR #2
(C)	COLOR #3
(D)	ACCENT COLOR #1
(E)	ACCENT COLOR #2



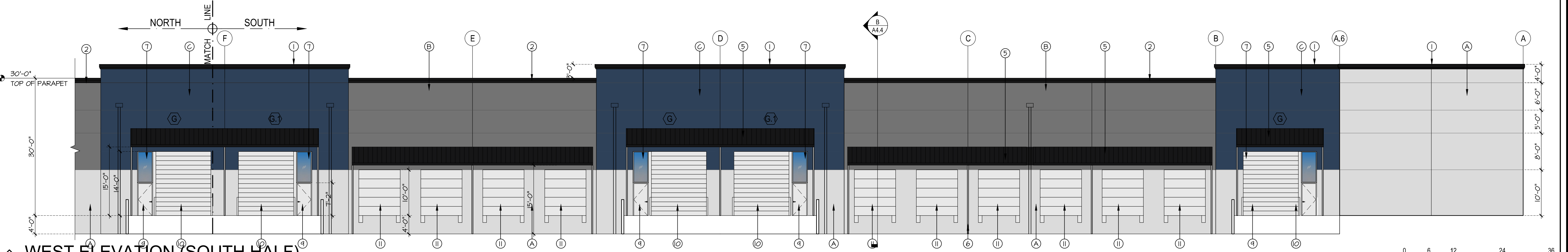
SOUTH ELEVATION @ GRID A.6
SCALE: 3/32" = 1'-0"



NORTH ELEVATION @ GRID K.4
SCALE: 3/32" = 1'-0"



WEST ELEVATION (NORTH HALF)
SCALE: 3/32" = 1'-0"



WEST ELEVATION (SOUTH HALF)
SCALE: 3/32" = 1'-0"



JOB NO.	22-043	DATE	12/21/22
DRAWN	OWEN K. L.M.	CHECKED	L.M.
ARCHITECT	LANCE MUELLER & ASSOCIATES	PERMIT	
REGISTERED ARCHITECT	LANCE MUELLER	NO.	
STATE OF WASHINGTON		REVISION	
SITE PLAN REVIEWER		DATE	04/26/23

PROPOSED BUILDING FOR
IDEAL INDUSTRIAL PARK
SMOKEY POINT BLVD, MARYSVILLE, WA

WEST ELEVATIONS BLDG C
LANCE MUELLER & ASSOCIATES
ARCHITECTS
130 LAKESIDE • SUITE 250 • SEATTLE, WA 98122 • (206) 325-2553
SHEET: **A3.1-C**
PERMIT