

A PORTION OF SECTION 33, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.

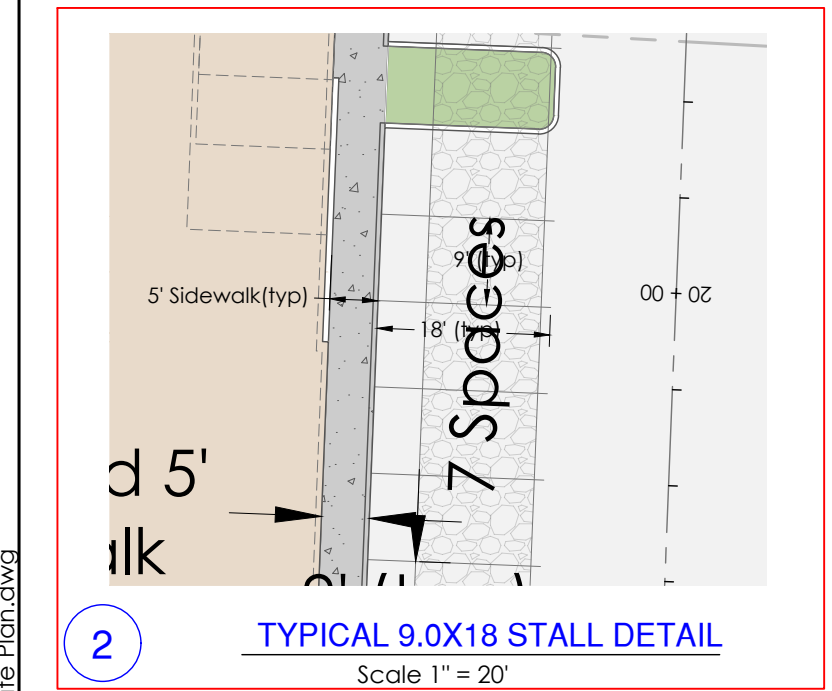
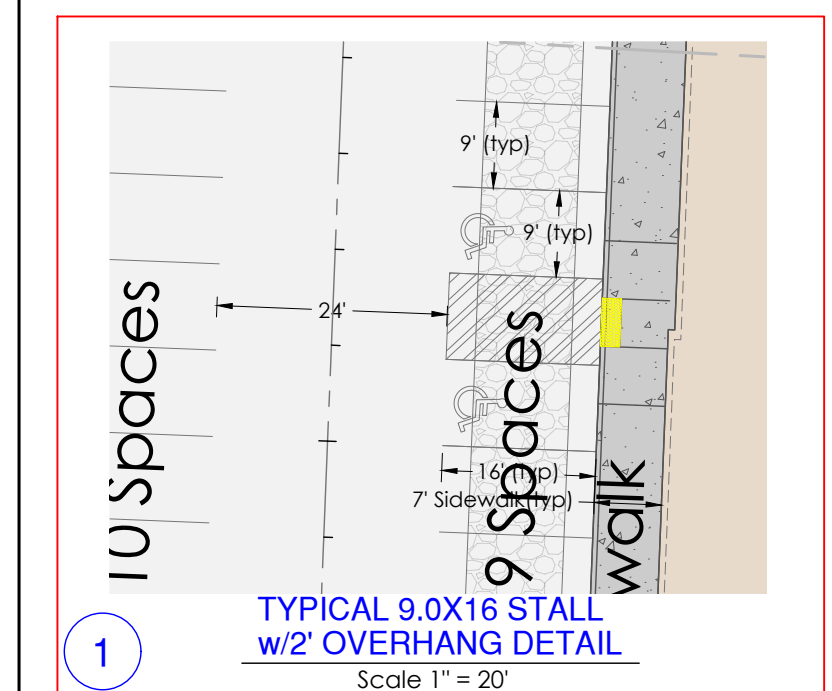
LEGEND

- PROJECT BOUNDARY
- PROPOSED R/W DEDICATION
- EXIST R/W LINE
- 1/4 SECTION LINE
- EXIST. PARCEL LINE
- EXIST. PAVEMENT
- PROPOSED CONTOUR MAJOR
- PROPOSED CONTOUR MINOR
- CONTOUR MAJOR, EXIST
- CONTOUR MINOR, EXIST
- CLEARING LIMIT
- TEMPORARY SILT FENCE
- EXIST FENCE
- EXIST SEWERLINE
- EXIST WATERLINE
- EXIST POWERLINE
- EXISTING BUILDING
- ROAD MONUMENT
- POWER POLE, EXIST
- EXIST. TREES TO REMAIN
- EXIST. TREES TO BE REMOVED

PARKING CALCULATIONS

Building	Required	Provided
Office Building (1 space/400sf)	21,413 sf	54 Spaces
Manufacturing/Industrial (1 space/750 sf)	63,827 sf	85 Spaces
Warehouse Use (1 space/2,000)	96,230 sf	48 Spaces

Building	Stalls	Stalls
Building A	35 Stalls	41 Stalls
Office	8 Stalls	
Manufacturing/Industrial	27 Stalls	
Carpool Parking Required	2 Stalls	4 Stalls
Bicycle Parking Required	2 Stalls	2 Stalls
Building B	79 Stalls	106 Stalls
Office	20 Stalls	
Manufacturing/Industrial	59 Stalls	
Carpool Parking Required	4 Stalls	6 Stalls
Bicycle Parking Required	4 Stalls	4 Stalls
Building C	76 Stalls	104 Stalls
Office	27 Stalls	
Manufacturing/Industrial	49 Stalls	
Carpool Parking Required	4 Stalls	6 Stalls
Bicycle Parking Required	4 Stalls	4 Stalls
Total Required Parking	190 Stalls	
Total Proposed Parking		251 Stalls



BICYCLE PARKING CALCULATIONS

Building	Required	Provided
Bicycle Parking (5% of Vehicle Spaces)	9.6 Stalls	
Bicycle Parking Provided		10 Bicycle Stalls

NOTE

Construction of the Midblock Pedestrian Crossing, shared driveway, Bus Stop relocation, and RRB installation shall be provided by the Ideal Industrial Park (PA23-010) or Urdi Commerce Park (PA22-008).

CALL AT LEAST 2 BUSINESS DAYS BEFORE YOU DIG
1-800-424-5555



ADMINISTRATIVE SITE PLAN BUILDING DESIGNATIONS (Interior Area)

Building	Office	Warehouse	Total
Building A	3,013 sf	20,000 sf	23,013 sf
Building B	7,700 sf	43,827 sf	51,527 sf
Building C	10,700 sf	96,230 sf	106,930 sf

LAND DISTURBING AREA

Area	Total
Impervious Area	150,239 sf
Walkways	14,124 sf
Concrete Trash Pads	879 sf
PGIS Total	165,242 sf

Notes:

- *Note: Areas tabulated are for the interior portion of the buildings consistent with architectural plans. Building Footprint Areas are represented on site plan for stormwater management calculations.
- Note: Per MMC 22C.020.340(2) any mechanical equipment located on roof or external portions of a building shall be architecturally screened.

NOTES

- Where illuminated signs and illuminated areas are permitted, such illuminating devices shall be shaded and/or directed so as not to visibly create a nuisance to any property in a residential zone classification. Residential zoning is located to the east of the proposed development.
- Mechanical equipment located on the roof, facade or exterior portions of a building shall be architecturally screened so as not to be visible from adjacent properties at street level or the public street.
- Equipment or vents which generate noise or air emissions shall be located on the opposite side of the building from adjoining residentially designated properties.
- Industrial and exterior lighting shall not be used in such a manner that it produces glare on public highways, Arc welding, acetylene-torch cutting, or similar processes shall be performed so as not to be seen from any point beyond the outside of the property.
- The storage and handling of inflammable liquids, liquefied petroleum gases, and explosives shall comply with rules and regulations falling under the jurisdiction of the city's fire chief, and the laws of the state of Washington. Bulk storage of inflammable liquids below ground shall be permitted, and the tanks shall be located not closer to the property line than the greatest dimension (diameter, length or height) of the tank.
- Provisions shall be made for necessary shielding or other preventive measures against interference as occasioned by mechanical, electrical and nuclear equipment, and uses or processes with electrical apparatus in nearby buildings or land uses.
- Liquid and solid wastes and storage of animal or vegetable waste which attract insects or rodents or otherwise create a health hazard shall be prohibited. No waste products shall be exposed to view from eye level from any property line in an industrial district.

LEGAL DESCRIPTION

PARCEL A
THE SOUTH HALF OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 33, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M., IN SNOHOMISH COUNTY, WASHINGTON;
EXCEPT THE EAST 311.5 FEET THEREOF; AND
EXCEPT STATE RIGHT OF WAY ON WEST LINE OF SAID TRACT;
EXCEPT THE WEST 18.00 FEET FOR ROAD RIGHT-OF-WAY CONVEYED TO THE CITY OF MARYSVILLE PER DEED RECORDING NO. 200709250285.
SITUATE IN THE COUNTY OF SNOHOMISH, STATE OF WASHINGTON.

PARCEL B
TRACT 2 OF SNOHOMISH COUNTY SHORT PLAT NO. SP 89 (5-73) RECORDED UNDER AUDITOR'S FILE NUMBER 2295163, RECORDS OF SNOHOMISH COUNTY, WASHINGTON, BEING A PORTION OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 33, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M., IN SNOHOMISH COUNTY, WASHINGTON;
EXCEPT THE WEST 8.00 FEET FOR ROAD RIGHT-OF-WAY CONVEYED TO THE CITY OF MARYSVILLE PER DEED RECORDING NO. 200709180474.
SITUATE IN THE COUNTY OF SNOHOMISH, STATE OF WASHINGTON.

PARCEL C
TRACT 1 OF SNOHOMISH COUNTY SHORT PLAT NO. SP 89 (5-73) RECORDED UNDER AUDITOR'S FILE NUMBER 2295163, RECORDS OF SNOHOMISH COUNTY, WASHINGTON, BEING A PORTION OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 33, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M., IN SNOHOMISH COUNTY, WASHINGTON;
EXCEPT THE WEST 8.00 FEET FOR ROAD RIGHT-OF-WAY CONVEYED TO THE CITY OF MARYSVILLE PER DEED RECORDING NO. 200709180474.
SITUATE IN THE COUNTY OF SNOHOMISH, STATE OF WASHINGTON.

PARCEL D
BEGINNING AT THE NORTHWEST CORNER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 33, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M., IN SNOHOMISH COUNTY, WASHINGTON;
THENCE EAST ALONG THE NORTH LINE OF THE ABOVE SUBDIVISION FOR 660 FEET;
THENCE SOUTH ALONG THE EAST LINE OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 33, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M., IN SNOHOMISH COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:
THE NORTH HALF OF THE FOLLOWING DESCRIBED TRACT:
BEGINNING AT THE NORTHWEST CORNER OF THE NORTH HALF OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER;
THENCE SOUTH 98 FEET;
THENCE EAST 430 FEET;
THENCE NORTH 98 FEET;
THENCE WEST 430 FEET TO THE POINT OF BEGINNING;
EXCEPT 35TH AVENUE NORTHEAST.
EXCEPT THE WEST 20.00 FEET FOR ROAD RIGHT-OF-WAY CONVEYED TO CITY OF MARYSVILLE PER DEED RECORDING NO. 200709250285.
SITUATE IN THE COUNTY OF SNOHOMISH, STATE OF WASHINGTON.

PARCEL E
LOT 1 OF BOUNDARY LINE ADJUSTMENT FILE NO. BLA19-008 RECORDED UNDER AUDITOR'S FILE NO. 201911215001, RECORDS OF SNOHOMISH COUNTY, WASHINGTON, BEING A PORTION OF THE SOUTHWEST QUARTER AND LOTS 8 AND 9 OF SEARS ADDITION TO THE PLAT THEREOF RECORDED IN VOLUME 28 OF PLATS, PAGE 72.
SITUATE IN THE COUNTY OF SNOHOMISH, STATE OF WASHINGTON.

DEVELOPMENT STANDARDS

Setting	LI
Minimum Street Setback	None
Minimum Interior Setback	None
Maximum Base Height	65'
Maximum Impervious Surface	85%

LANDSCAPE DATA

Category	Value
Total Site Area	442,419 sf (10.16 ac)
Walkways	14,124 sf (0.33 ac)
Landscaping Required (15% of Total Area)	66,363 sf (1.52 ac)
Landscaping Provided	97,485 sf (2.24 ac)

LANDSCAPE SETBACKS:
Public Right-of-Way & Private Access 15'
Public Arterial Right-of-Way 15'

LANDSCAPE SETBACKS:
Public Right-of-Way & Private Access 15'
Public Arterial Right-of-Way 15'

LANDSCAPE DATA

Category	Value
Total Site Area	442,419 sf (10.16 ac)
Walkways	14,124 sf (0.33 ac)
Landscaping Required (15% of Total Area)	66,363 sf (1.52 ac)
Landscaping Provided	97,485 sf (2.24 ac)

LANDSCAPE SETBACKS:
Public Right-of-Way & Private Access 15'
Public Arterial Right-of-Way 15'

LANDSCAPE DATA

Category	Value
Total Site Area	442,419 sf (10.16 ac)
Walkways	14,124 sf (0.33 ac)
Landscaping Required (15% of Total Area)	66,363 sf (1.52 ac)
Landscaping Provided	97,485 sf (2.24 ac)

LANDSCAPE SETBACKS:
Public Right-of-Way & Private Access 15'
Public Arterial Right-of-Way 15'

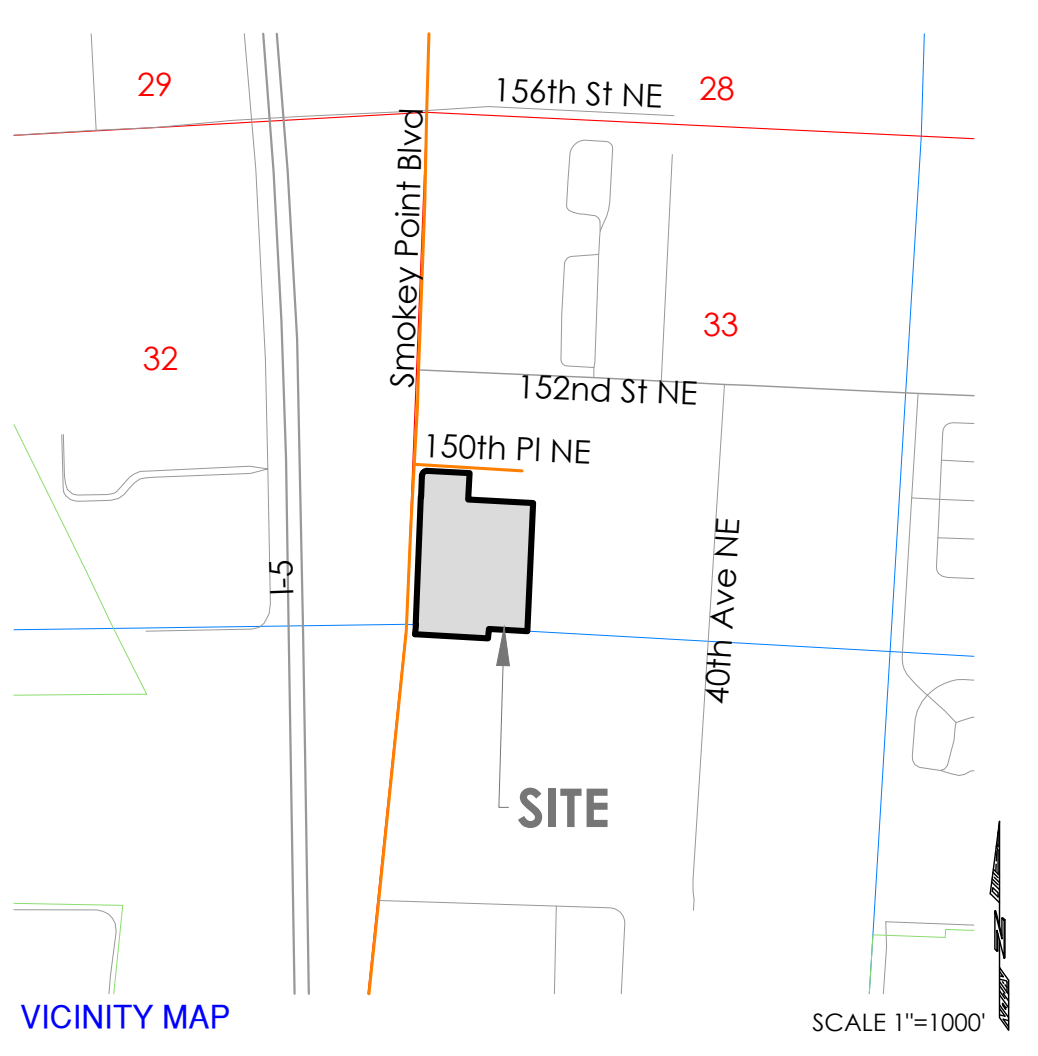
SIGNS
All signs are to comply with MMC 22C.160.16(1)

AQUIFER RECHARGE/WELL HEAD PROTECTION
Low, Over 100

SOILS
Custer fine sandy loam;
Hydrologic Soil Group: C/D
Compact Fill Area to 95% Modified Proctor

Sheet List Table

Sheet Number	Sheet Title
P1	Administrative Site Plan
P2	Existing Conditions Map
C23	Civil Site Plan
C2	Construction Notes
C3	Cleaning & TESC Plan
C4	Grading Plan
C5	Paving Sections
C6	Grading & TESC Details
C7	Paving Plan
C8	Site Cross Sections - West to East
C9	Site Cross Sections - North to South
C10	Drive Aisle A Plan and Profile - Sta 10+50 to 16+47
C11	Drive Aisle A Plan and Profile - Sta 16+47 to 23+24
C12	Shared Driveway Plan and Profile
C13	Drive Aisle B Plan and Profile
C14	Drive Aisle C Plan and Profile
C15	150th Place NE Frontage Improvements Plan
C16	Stormwater Management Overview Plan
C17	Stormwater Management Plan and Profile
C18	Stormwater Management Details
C19	Sewer and Water Plan
C20	Water Details
C21	Lighting Plan
C22	Characterization Plan & Signage Plan
C23	Frontage Modification Plan



DATUM & BENCHMARK

DATUM: NAVD 88 (INGVD 29 = NAVD 88-3.71)

BENCHMARK: FOUND CASED CONC. MON. W/1-3" 4" BRASS DISK & PUNCH ON CENTERLINE. SMOKEY POINT BLVD. WGS SURVEY DATA WAREHOUSE I.D.#22645. ELEV. = 104.98

BASIS OF BEARING: THE MONUMENTED CENTERLINE OF SMOKEY POINT BLVD, AS THE BEARING OF N 02°16'15" E.

SURVEYOR NOTES

- ALL EXISTING STRUCTURES TO BE DEMOLISHED.
- NO RECORDS OF WELLS WERE FOUND ON THIS PROPERTY OR WITHIN 150' OF ITS BORDERS.

Line Table

Line #	Length	Direction
L1	49.00	N05° 56' 19" E
L2	1.80	N86° 46' 38" W
L4	2.05	N79° 26' 52" E
L11	49.00	S05° 56' 15" W

Curve Table

Curve #	Length	Radius	Delta
C1	39.63	25.00	090.825

PROJECT INFORMATION

Tax Parcel Numbers: 310533-002-022-00, 310533-002-024-00, 310533-002-025-00, 310533-002-023-00, 310533-002-015-00, 310533-003-006-00
442,244 sf (10.15 ac)

Total Area: 442,244 sf (10.15 ac)
GPP Designation: LI (Light Industrial)
Existing Zoning: Auto Repair, Single Family Residence, Lumber Yard, Vacant
Existing Land Use: General Industrial

Proposed Land Use: General Industrial

LOCAL SERVICES

Sewage Disposal: City Of Marysville
Water District: City Of Marysville
School District: Marysville School District No.25
Fire District: City Of Marysville
Post Office: City Of Marysville
Electric: Snohomish County PUD
Phone: Verizon
Cable: Comcast
Gas: Comcast

CONTACT PERSON
Land Technologies Inc.
Merle Ash
18820 3rd Ave. NE
Arlington, WA 98223
360.652.9727
merle@landtechway.com

SITE ADDRESS
14805, 14821, 14919 & 1425 Smokey Pt Blvd, Marysville, WA 98270

ENGINEER
Land Technologies Inc.
Tyler S. Foster, P.E.
18820 3rd Ave NE
Arlington, WA 98223
360.652.9727
tyler@landtechway.com

APPLICANT
Ryan Wear
2732 Grand Ave, Suite 122
Everett, WA 98201
360.652.9727

SURVEYOR
Pacific Coast Surveys, Inc
Darren J. Riddle, PLS
P.O. Box 13619
Mill Creek, WA 98082
425.512.7099

CERTIFIED EROSION CONTROL SPECIALIST

LAND TECHNOLOGIES
18820 Third Avenue, N.E.
Arlington, WA 98223
360-652-9727

ADMINISTRATIVE SITE PLAN

PROJECT LEAD: Merle Ash
CHECKED BY: Tyler S. Foster
DRAWN BY: Merle Ash
APPLICATION DATE: 11/15/2024
SITE APPROVAL: 11/15/2024
REVISION DATE: 11/15/2024
LDA APPROVAL: 11/15/2024
AS BUILT: 11/15/2024

14805, 14821, 14919 & 1425 Smokey Pt Blvd, Marysville, WA 98270
A PORTION OF SECTION 33, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.

Ryan Wear
2732 Grand Ave, Suite 122, Everett, WA 98201

SHEET P1 of P2
24x36
PA23-010

A PORTION OF SECTION 33, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.

LEGEND	
	PROJECT BOUNDARY
	PROPOSED R/W DEDICATION
	EXIST R/W LINE
	SECTION LINE
	EXIST. PARCEL LINE
	EXIST PAVEMENT
	CONTOUR MAJOR, EXIST
	CONTOUR MINOR, EXIST
	EXIST FENCE
	EXIST SEWERLINE
	EXIST WATERLINE
	EXIST POWERLINE
	EXISTING BUILDING
	ROAD MONUMENT
	POWER POLE, EXIST
	EXIST. TREES TO REMAIN
	EXIST. TREES TO BE REMOVED



EXISTING CONDITIONS MAP

Note: All Onsite Existing Structures and Hardscape to be removed with Early Grading LDA Application xx-xxxxx LDA.

**AQUIFER RECHARGE/
WELL HEAD PROTECTION**
Low, Over 100

SOILS
Cluster fine sandy loam;
Hydrologic Soil Group: C/D
Compact Fill Area to 95% Modified Proctor

CALL AT LEAST 2
BUSINESS DAYS
BEFORE YOU DIG
1-800-424-5555

LAND TECHNOLOGIES
18820 Third Avenue, N.E.
Arlington, WA 98223
360-652-9727

LAND TECHNOLOGIES
MAKING A WAY OUT OF NO WAY

PROJECT LEAD: Merie
CHECKED BY: Tyler
DRAWN BY: Mer, Alex
APPLICATION DATE: -
SITE APPROVAL: -
REVISION DATE: -
LDA APPROVAL: -
AS BUILT: -

Ideal Industrial Park
14805, 14821, 14919 & 14925 Smokey Pt Blvd, Marysville, WA 98270
A PORTION OF SECTION 33, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.

Ryan Wear
2732 Grand Ave., Suite 122, Everett, WA 98201

SHEET
P2 of P2
24x36
PA23-010

Z:\Ideal Property Investments - Ideal Industrial Park Smokey Pt Blvd\Sheets\Y2 Existing Conditions Map.dwg 3/16/2024 2:36 PM