

LAND TECHNOLOGIES, INC.

PLANNING • PERMITTING • ENGINEERING



Date: March 6, 2024

To:

City of Marysville
 Development Services
 80 Columbia Avenue
 Marysville, WA 98270

Response to Comments

Project Name: Ideal Industrial Park
 Project File Number: PA23010
 Review Completion: July 20, 2023

CITY COMMENTS	LAND TECH RESPONSE
Community Development – Planning Division: Reviewer: Chris Holland, Planning Manager	
1. Provide File Number PA23010 on all future site, civil and landscape plan submittals.	PA 23-010 has been updated to all plans
2. See comments from Morgan Krueger, Habitat Biologist, with Washington State Department of Fish and Wildlife (WDFW), stating that the south ditch is regulated and has known anadromous fish use and should be regulated as a critical area. CD staff has requested WDFW take an additional review of the ditches upstream of the fish screen.	Established fish screen per WDFW is downstream of the site. Not a fish bearing ditch.
3. Developments within 150' of Smokey Point Boulevard are required to comply with the design standards outlined in MMC 22C.020.245 Industrial site and building design standards . The following design standards are applicable to this development: a. Define the street edge with	A. See Response in LMA Response Letter.

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<p>buildings, landscaping or other features. Since a portion of Building A and Building B are not located along the street edge, enhanced landscaping shall be required, including use of ornamental and other decorative features such as boulders to enhance the streetscape.</p> <p>b. Parking should be located behind or to the side of buildings.</p> <p>c. Amenities for employees and visitors such as benches, weather protected seating areas, covered walkways, or other features shall be integrated into the site design. On-site open space is encouraged to be provided. The number and type of amenities shall be approved by the director based on site acreage, layout, and end users.</p> <p>d. Attractive landscape transition to adjoining properties shall be provided.</p> <p>e. See MMC 22C.020.245(4)(a) & (b) for landscape and site treatment and street landscaping requirements.</p> <p>f. An illumination plan shall be provided that complies with MMC 22C.020.245(4)(c).</p> <p>g. See MMC 22C.020.245 (6), (7) & (9) related to building design, material and entrance requirements.</p> <p>h. See MMC 22C.020.245 (8) for blank wall requirements.</p> <p>The applicant shall be required to submit a narrative demonstrating compliance with all of the applicable provisions outlined in MMC 22C.020.245.</p>	<p>B. See Response in LMA Response Letter.</p> <p>C. See Response in LMA Response Letter.</p> <p>D. See Response in LMA Response Letter.</p> <p>E. See Response in LMA Response Letter.</p> <p>F. See Response in LMA Response Letter.</p> <p>G. See Response in LMA Response Letter.</p> <p>H. See Response in LMA Response Letter.</p>

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<p>4. Sheet P1 shall be amended as follows:</p> <ul style="list-style-type: none"> a. The minimum parking stall depth shall be 18' (16' proposed). A 2' overhang is not allowed adjacent to a public sidewalk. A 2' overhang is allowed adjacent to landscaped areas. b. Ten (10) bicycle stalls shall be provided (4 proposed). c. The proposed pedestrian pathways traversing the parking areas shall be constructed with decorative concrete and not striped. d. Amend Note to read: "Per MMC 22C.020.340(2) any mechanical. . e. Amend Notes to include all of the following: <ul style="list-style-type: none"> . Where illuminated signs and illuminated areas are permitted, such illuminating devices shall be shaded and/or directed so as not to visibly create a nuisance to any property in a residential zone classification. Residential zoning is located to the east of the proposed development. . Mechanical equipment located on the roof, facade or external portions of a building shall be architecturally screened so as not to be visible from adjacent properties at street level or the public street. . Equipment or vents which generate noise or air emissions shall be located on the opposite 	<p>See Response in LMA Response Letter.</p> <ul style="list-style-type: none"> a. Building A and B are provided with 7-ft sidewalk and 16-ft stalls as detailed. Building C has 18-ft stalls and 5-ft sidewalk. A second parking detail will be added to show this configuration for Building C. b. Table will be updated to 10-stalls. c. Note added to Sheet P1. d. Note has been updated to 22C. e. Notes are updated/added.

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<p>side of the building from adjoining residentially designated properties.</p> <p>Industrial and exterior lighting shall not be used in such a manner that it produces glare on public highways. Arc welding, acetylene-torch cutting, or similar processes shall be performed so as not to be seen from any point beyond the outside of the property.</p> <p>The storage and handling of inflammable liquids, liquefied petroleum, gases, and explosives shall comply with rules and regulations falling under the jurisdiction of the city's fire chief, and the laws of the state of Washington. Bulk storage of inflammable liquids below ground shall be permitted, and the tanks shall be located not closer to the property line than the greatest dimension (diameter, length or height) of the tank.</p> <p>Provisions shall be made for necessary shielding or other preventive measures against interference as occasioned by mechanical, electrical and nuclear equipment, and uses or processes with electrical apparatus in nearby buildings or land uses.</p> <p>Liquid and solid wastes and storage of animal or</p>	

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<p>vegetable waste which attract insects or rodents or otherwise create a health hazard shall be prohibited. No waste products shall be exposed to view from eye level from any property line in an industrial district.</p>	
<p>5. Sheet P2 shall be amended to i depict all encumbrances outlined in Schedule B of the Title Report prepared by Chicago Title Insurance Company, dated April 18, 2023. If the encumbrances cannot be depicted they shall be referenced.</p>	<p>See Response in LMA Response Letter. The site is now under common ownership. Updated Title Report will be provided.</p>
<p>6. A preliminary landscape plan, designed in accordance with MMC 22C.120.030, shall be provided for review. It appears that the landscape buffers are proposed within biofiltration swales. The applicant shall be required to demonstrate the required landscape buffer can co-exist within the proposed biofiltration swales.</p>	<p>LA has addressed. Bioretention cells may be planted with trees, shrubs, etc. to provide screening consistent with buffer requirements. Type L3 Buffers are identified on Sheet P1. Landscaping Planting plan shows trees and shrubs within the landscape buffer which satisfy the criteria of an L3 buffer per Landscape Architect.</p>
<p>7. A joint access easement and maintenance agreement between Ideal Industrial Park and Undi Commerce Park shall be recorded with the Snohomish County Auditor, prior to issuing occupancy permits.</p>	<p>Thank you.</p>
<p>Public Works – Engineering Services: Reviewer: Kacey Simon, Civil Plan Reviewer</p>	
<p>8. Drainage: All projects in the city of Marysville must comply with requirements stipulated under the MMC 14.15.040 and 14.15.050. a. Stormwater drainage: The city has adopted the 2019 Ecology Manual. Projects above the 2,000 square feet and/ or 5,000</p>	<p>A. Thank you B. See ESNW geotechnical report for groundwater levels. Mounding analysis is only required in the SMMWW for infiltration facilities and design</p>

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<p>square feet threshold must comply with requirements stipulated in Volume I of the Stormwater Management Manual for Western Washington.</p> <p>b. Please provide the seasonal high groundwater level. If less than 5 feet of separation exists to the seasonal high water table, a mounding analysis will be required. The mounding analysis shall be performed during the wet season.</p>	<p>following BMP T7.10 Infiltration Basins. BMP T7.30 Bioretention is afforded a prescriptive 3-ft separation and Infiltration Trench BMP T5.10A is afforded a 1-ft separation value to groundwater.</p> <p>Further, stormwater is distributed along the perimeter of the site and is not a singular facility accepting all of the stormwater from the entire site at a concentrated point following the intent of BMPs T5.10A and T7.30.</p>
<p>9. Survey control datum NAVD-88 and NAD-83 are required to be used. Civil construction plans will not be accepted in any other datum.</p>	<p>Yes, NAVD-88 and NAD83 are used by surveyor and civil plans follow this. Internally, we also require all surveys to be in state plane before starting a project.</p>
<p>10. Fire flow will need to be completed prior to 1st civil plan review and submitted with 1st civil plan review.</p>	<p>Thank you. Fire flow letter dated December 12, 2022.</p>
<p>11. Trench restoration is to be completed in accordance with section 3-703 of the EDDS. A full lane or full street overlay may be required.</p>	<p>Notes added to sewer and water plan. (the only utility connection)</p>
<p>12. The onsite grading and placement of any retaining walls must be compliant with section 22D.050.030 of the MMC.</p>	<p>Thank you.</p>
<p>13. A right of way use permit for all work proposed within City right of way is required. Cost for the ROW permit is \$250.00. ROW permit fees must be paid before right of way permit issuance.</p>	<p>Thank you.</p>
<p>14. The applicant is responsible for identifying any existing well or septic systems on site or on adjacent properties. If there are any existing septic systems on site they need to be decommissioned based on the</p>	<p>Thank you. All have addressed at early clearing/grading.</p>

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<p>Snohomish Health District standards. If there are any wells on site they need to be decommissioned based on Department of Ecology standards.</p>	
<p>15. Engineering construction plan review fees are required in accordance with MMC 22G.030.020 and are due prior to release of approved civil construction plans. The construction plan review fees are increasing on October 1, 2023.</p>	<p>Thank you.</p>
<p>16. Engineering construction inspection fees are required in accordance with MMC 22G.030.020. The construction inspection fees are increasing on October 1, 2023.</p>	<p>Thank you.</p>
<p>Public Works – Water Resources - WWTP: Reviewer: Ryan Carney, Surface Water Inspector</p>	
<p>19. The City has adopted the 2019 Stormwater Management Manual for Western Washington.</p>	<p>Thank you.</p>
<p>20. For commercial projects triggering minimum requirements #6 Runoff Treatment and #7 Flow Control will be required to record a covenant/easement for all of the facilities that will become privately owned and maintained (attached). A draft should be submitted with Civil Plan review documents. An online copy of this form can be found by visiting the City web site: http://www.marysvillewa.gov/96/Community-Development then clicking on "Permit applications, forms and fees" then "Engineering Services."</p>	<p>Thank you.</p>
<p>Public Works – Operations: Reviewer: Kim Bryant, Water Operations Supervisor</p>	
<p>21. Existing water main on 150th PL NE is 6" and will not accommodate an 8" x 8" tapping tee;</p>	<p>6" live tap with 8" increaser is now specified. Thank you.</p>

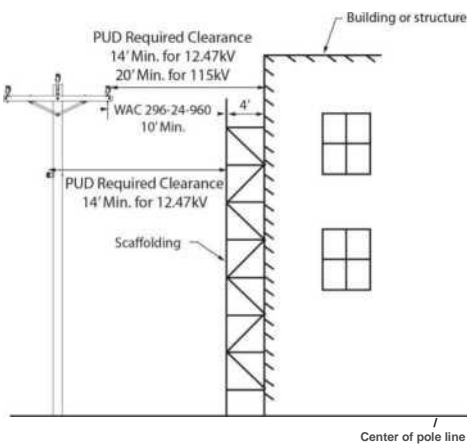
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22. Existing water main on Smokey Point Boulevard is 18" and will not accommodate an 8" x 8" tapping tee;	18"x8" live tap is now specified, thank you.
23. Domestic water meter locations are not shown;	Meters are located in utility rooms. Notes added to plan for each building.
24. Field lock gaskets are required on leads that require more than one length of pipe per Design and Construction standards 2-060 B; and	Noted added at bottom of Sewer and water sheet.
25. Water details not shown.	Water details added on separate sheet.
Community Development: Reviewer: Michael Snook, Building Official	
26. Applicant shall comply with any and or all provisions the 2018 Edition of the International Building, Residential, Mechanical, 2018 Uniform Plumbing Codes, and current Washington State Amendments, or 2021 International Codes and Uniform Plumbing code if submitted after October 29, 2023	Thank you. See Response in LMA Response Letter.
27. All plans and permit applications will be required to be submitted electronically as part of their submittal process. One (1) complete set of building plans, structural calculations, and 2018 Washington State Energy Code work sheets. 2021 Washington State Energy Codes required if submitted after October 29, 2023.	Thank you. See Response in LMA Response Letter.
29. If any demolition of structures is proposed, and you are unsure if permit/s will be required for the removal of any existing structures. Please contact the Building Division at 360363-8100, to ask any specific questions. An asbestos report will be required for each demo permit.	Thank you. See Response in LMA Response Letter.
30. Separate permits will be required for any proposed rockeries or underground storm vaults. One (1) complete set of	Thank you. See Response in LMA Response Letter.

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<p>building plans, structural calculations, site plan, and Geotech Report are to be submitted for review.</p>	
<p>31. A grading permit will be required. A Geotechnical report shall be submitted to the City for this project. This is to be an in-depth report to address the following:</p> <ul style="list-style-type: none"> a. Soil Classification b. Required Drainage Systems c. Soil Compaction Requirements d. Type of Footings, Foundations, and Slabs Allowed e. Erosion Control Requirements f. Retaining Walls g. Fill and Grade h. Final Grade 	<p>Thank you. See Response in LMA Response Letter.</p>
<p>32. The building structure will be required to be designed under the 2018 IBC, Chapter 16, and Structural Design Requirements. Or 2021 IBC if submitted after October 29, 2023. The seismic zone criteria is to be established under the guidelines of a Washington State Licensed Architect and/or Structural Engineer.</p>	<p>Thank you. See Response in LMA Response Letter.</p>
<p>33. Please provide scaled floor plans with square footage.</p>	<p>Thank you. See Response in LMA Response Letter.</p>
<p>34. Show on the plans the type of building materials proposed, and if required, what type of fire-resistant construction will be required.</p>	<p>Thank you. See Response in LMA Response Letter.</p>
<p>35. Site plan is to show the distance from the proposed structure to the property lines, from all sides of the building.</p>	<p>Thank you. See Response in LMA Response Letter.</p>
<p>36. A Fire Sprinkler system will be required. The applicant is to verify this requirement with the Fire Marshal's Office.</p>	<p>Thank you. See Response in LMA Response Letter.</p>

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37. All Electrical installations are to be permitted, inspected and approved through the City. The current code is NEC 2020 with WCEC Amendments. A separate application, plans, and plan review will be required.	Thank you. See Response in LMA Response Letter.
38. Special Inspection will be required. The list of the type of inspections shall be indicated on the plans by the Engineer of Record. The owner is to notify the City of the registered special inspection agency prior to permit issuance.	Thank you. See Response in LMA Response Letter.
39. Building application for plan review will be approximately 4-6 weeks for first-time plan review comments.	Thank you.
Marysville Fire Districtt: Reviewer: Thomas Maloney, Fire Marshal	
40. The Civil plan does not show the riser rooms or FDC's for building 1 and 2. Access and hydrant placements appear acceptable. FDC's for building 1 and 2 will have to be located within 3-10 feet from a hvdrant and shown on the civil plan additional hvdnants may be needed.	Riser rooms for Buildings A and B have been added. FDC, hydrants are located at the immediate entrance, as close to buildings as possible, in effort to expedite emergency service.
41. No information about available fire flow is provided for the fire hvdnants near this site.	Fire flow letter will be provided.
42. The project shall comply with current fire code requirements (2018 IFC) including WA State and local City of Marvsville amendments to the fire code, city design standards, and applicable NFPA standards, including IFC Chapter 33 and NFPA 241 construction codes.	Thank you.
43. Any fire code required construction permits (IFC section 105.7) are obtained through Marvsville Community Development at 501 Delta Avenue.	Thank you.
44. It is the developer's responsibility to see that adequate water for fire protection is attainable. The minimum required fire flow is determined using IFC Appendix B, and	Fire flow letter will be provided.

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<p>depends upon building sizes, construction types, and sprinkler svstems. Proof of fire flow will be required. Documentation/certification of available water supplies for providing the required fire flows is required for final approval of the water svstem for this project and prior to building construction. Check with the civt Public Works Dept. for water svstem information.</p>	
<p>45. Where a fire pump is required for fire protection water supplv it shall be diesel driven, or if electric motor driven shall have an approved backup power generator (diesel, LP, NG fuel).</p>	<p>Thank you, hopefully none is required.</p>
<p>46. Maximum hydrant spacing for the proposed use is 300' apart.</p>	<p>Thank you, spacing is provided with plan.</p>
<p>47. Fire hvdnants shall complv with civt Water Design Standard 2-060 Hydrants, including 5" Storz fittings, with blue reflective hvdnant markers to be provided in the roadways, located four inches off the centerline on the hvdnant side of the road.</p>	<p>Thank you.</p>
<p>48. Buildings with fire sprinkler svstems require a riser room separated bv fire resistive construction, and a fire department connection (FDC) in an approved location away from the building near a fire hydrant (FDCs to be within 3'-10' from hydrants). A location in the sprinkler riser room is required for the DCDA backflow prevention for the fire sprinkler svstem. The location of fire hvdnants and FDCs requires approval on civil plans. Plans for underground fire sprinkler piping shall be shown on civil construction water plans, and submitted for fire marshal review and approval.</p>	<p>Riser rooms for Buildings A and B have been added. FDC, hydrants are located at the immediate entrance, as close to buildings as possible, in effort to expedite emergency service.</p>
<p>Access planned appears adequate for fire apparatus. Access of 36' wide is shown on the plan. A minimum 20 feet wide fire apparatus access road is required. A minimum 26 feet wide fire apparatus access is required in the immediate vicinity of anv building more than 30</p>	<p>Thank you.</p>

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feet in height for ladder truck operations, and within 20 feet on both sides of fire hydrants.	
49. An adequate access route for fire apparatus must be in service prior to any building construction.	Thank you.
50. An adequate access route for fire apparatus must be in service prior to any building construction.	Thank you x2.
51. If vehicle impact protection is deemed required for protection of any equipment it shall comply with IFC Section 312. Guard posts (bollards) are typically required for protection of gas piping, electrical equipment, fire protection piping and hydrants located where they could be subject to vehicle damage.	Hydrants within pavement will be protected with bollards.
52. The city address committee will determine road names and address numbers for the lots.	Thank you. This is a private development with driveways and not dedicating any City streets nor are Private Roads proposed.
53. Emergency responder radio coverage shall comply with IFC 510 requirements.	Thank you.
54. A radio signal strength survey of the bare ground should be completed prior to construction to determine the existing signal strength for compliance with IFC 510 Emergency Responder Radio Coverage requirements. Additional testing is recommended after sheetrock has been installed, and required for final building acceptance.	Thank you.

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<p>Snohomish County PUD District No. 1: Reviewer: Mark Flury, Senior Manager</p>	
<p>The District presently has enough electric system capacity to serve the proposed development. However, the existing District facilities in the local area may require upgrading. Cost of any work, new or upgrade, to existing facilities that is required to connect this proposed development to the District electric system shall be in accordance with the applicable District policy. The developer will be required to supply the District with suitable locations/easements upon its property for any electrical facilities that must be installed to serve the proposed development. It is unlikely that easements will be granted on District-owned property, or consents granted within District transmission line corridors.</p>	 <p>Thank you</p>
<p>56. Please be advised that per WAC 296-24-960 the minimum worker safety clearance from any District distribution conductor is 10 feet. Therefore, the District requires a minimum 14-foot clearance from any structure to accommodate workers, scaffolding and ladders. Minimum worker safety clearance from 115kV transmission wires is 20 feet.</p>	<p>A 10-ft corridor is provided around all buildings from edge of trench.</p>
<p>57. Any relocation, removal or undergrounding of District facilities to accommodate this project and the worker safety clearances shall be at the expense of the project developer and must be coordinated with the PUD in advance of final design.</p>	<p>Thank you. I do not believe any district facilities are located on site.</p>
<p>58. There are several critical-area permit matters that will need to be addressed for utilities to be installed. All applicable utility work should also be included in the SEPA. Please also include any required utility work in the scope of all applicable land use/development permits including for any planned over- or under-stream and wetland utility crossings and for the storm water</p>	<p>Thank you. These are resolved, this is not a fish bearing ditch. Several letters from DOE, Army Corp and WDFW have been provided for this site and downstream sites over the years describing this unregulated ditch that is <u>not</u> waters of the state.</p>

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permit.	
<p>59. Please be aware that if your project is being reviewed by Snohomish County and there are critical areas or buffers within your project as defined by Snohomish County in SCC 30.62A.300, you may be required to do a critical area study. Any utility work that will increase the utility footprint, such as installation, extension or construction is subject to these standards and requirements. New utility construction and installation is only allowed within critical areas or buffers when no alternative location exists and when you mitigate any impacts to the area. Snohomish County can provide the critical area study and has listed its fee structure under SCC 30.86.525. Snohomish PUD requires that, prior to applying for electrical service from the PUD, you address any critical area considerations and obtain the appropriate approvals to proceed with your project.</p>	<p>Thank you. No critical areas on-site. Site is currently filled.</p>
<p>Washington State Dept. of Fish & Wildlife: Reviewer: Morgan Krueger, Habitat Biologist</p>	
<p>60. The critical area report seems to be insufficient, as it left out multiple key factors regarding the 'unregulated ditch' on the south side of the proposed development property. This 'ditch' has known anadromous fish use, including the endangered and listed chinook salmon, listed in our PHS database and corresponding maps. Buffers from this stream need to be put in place to ensure no negative impacts can occur to this habitat area. This PHS listed habitat is roughly 20-30 ft from the south side of the proposed building. The SEPA checklist must also be updated to reflect this information.</p>	<p>There is a fish screen located downstream. See Letters from the army corp, and DOE for this unregulated ditch.</p> <p>Thank you 😊</p>

