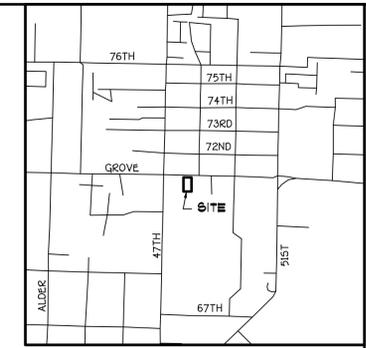
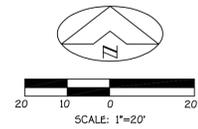
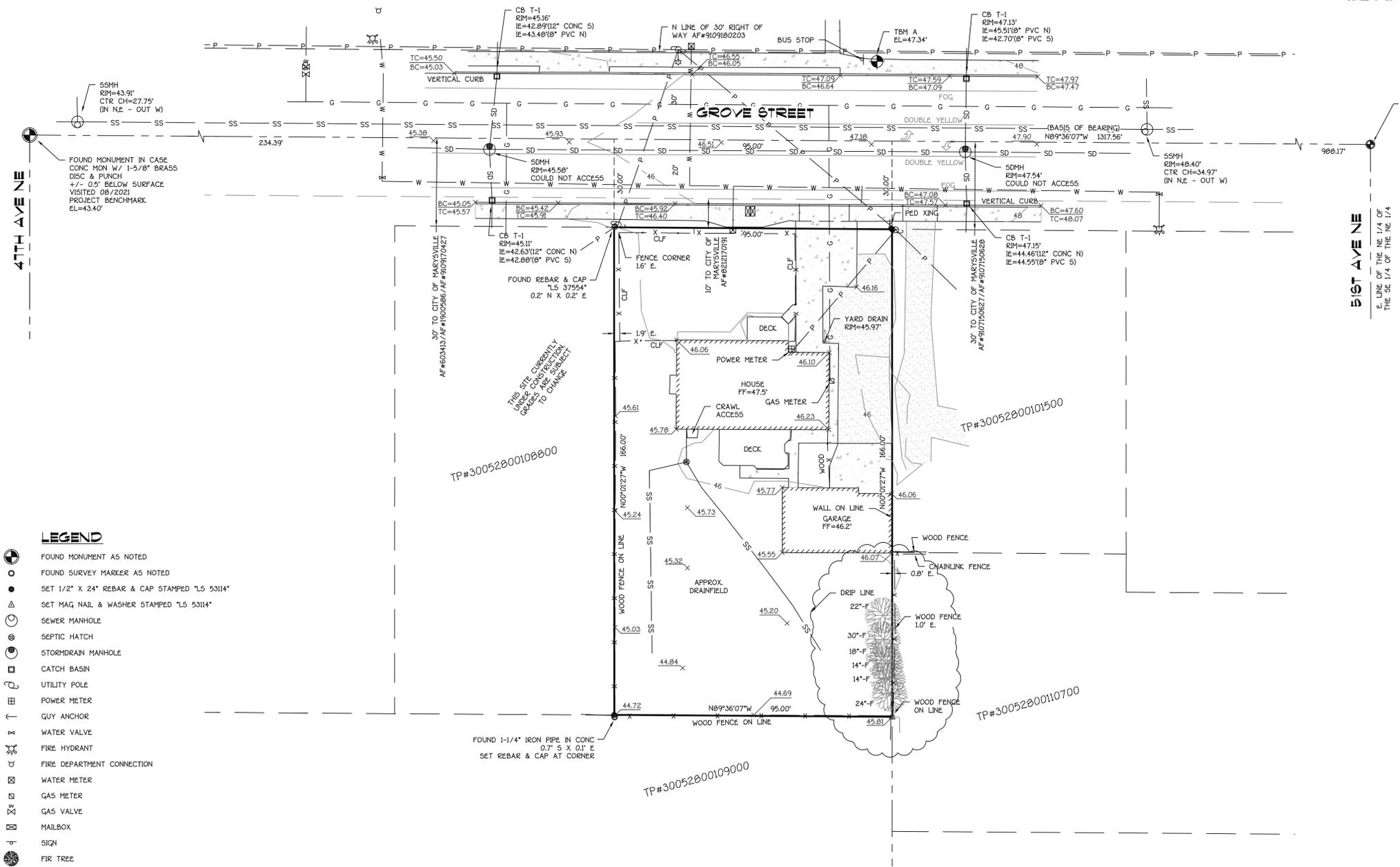




A PORTION OF THE SE 1/4, NE 1/4 OF SECTION 28, TOWNSHIP 30 NORTH, RANGE 5 EAST, W.M.



VICINITY MAP  
SCALE: 1" = 1,000'



FOUND MONUMENT IN CASE CONC MON W/ 1-5/8" BRASS DISC & PUNCH +/- 0.5' BELOW SURFACE VISITED 12/2016

E. LINE OF THE NE 1/4 OF THE SE 1/4 OF THE NE 1/4

**LEGEND**

- FOUND MONUMENT AS NOTED
- FOUND SURVEY MARKER AS NOTED
- SET 1/2" X 24" REBAR & CAP STAMPED "LS 53114"
- SET MAG NAIL & WASHER STAMPED "LS 53114"
- SEWER MANHOLE
- SEPTIC HATCH
- STORM DRAIN MANHOLE
- CATCH BASIN
- UTILITY POLE
- POWER METER
- GUY ANCHOR
- WATER VALVE
- FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION
- WATER METER
- GAS METER
- GAS VALVE
- MAILBOX
- SIGN
- FIR TREE
- FENCE (TYP NOTED)
- GAS LINE
- WATER LINE
- SEWER LINE
- OVERHEAD UTILITIES
- STORM DRAIN LINE
- GRAVEL
- ASPHALT
- CONCRETE

**BASIS OF BEARING**  
NORTH 89°36'07" WEST BETWEEN FOUND MONUMENTS ALONG THE CENTERLINE OF GROVE STREET.

**SURVEY REFERENCES**  
RECORD OF SURVEY AF#2401315011  
RECORD OF SURVEY AF#20171215008

**SITE DATA**  
SITE ADDRESS: 4726 72ND ST NE, MARYSVILLE, WA 98270  
TAX PARCEL NUMBER: 30052800108700  
GROSS SITE AREA: 15,770 SF (0.36 ACRES)

**DATUM** NAVD 88  
**BENCHMARK**  
PROJECT BENCHMARK: FOUND MONUMENT IN CASE AT THE INTERSECTION OF GROVE ST AND 47TH AVE.  
ELEV. = 43.40'  
TBM A: FOUND MAG NAIL & YELLOW PLASTIC WASHER LOCATED IN THE NORTHERLY SIDEWALK ALONG GROVE STREET +/- 5' EAST OF A BUS STOP SIGN.  
ELEV. = 47.34'  
VERTICAL INFORMATION DERIVED FROM MULTIPLE GPS OCCUPATIONS UTILIZING THE WASHINGTON STATE REFERENCE NETWORK.

**SURVEYORS CERTIFICATE**  
THE PURPOSE OF THIS TOPOGRAPHIC SURVEY IS TO AID IN DESIGN. THE BOUNDARY WAS CALCULATED FROM THE REFERENCES SHOWN HEREON AND THE FIELD WORK WAS PERFORMED IN AUGUST OF 2021 AT THE REQUEST OF NATE CONSTRUCTION LLC.

**PRELIMINARY**

AARON E. TYSON, REGISTRATION #53114 DATE

**LEGAL DESCRIPTION**  
THE EAST 95 FEET OF THE NORTH 196 FEET OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 28, TOWNSHIP 30 NORTH, RANGE 5 EAST, W.M.  
LESS 20 FEET FOR ROAD  
LESS THE NORTH 10 FEET ADDITIONAL RIGHT OF WAY TO THE CITY OF MARYSVILLE PER STATUTORY WARRANTY DEED RECORDED UNDER AUDITORS FILE NUMBER 8212170191.  
SITUATE IN THE CITY OF MARYSVILLE, COUNTY OF SNOHOMISH, STATE OF WASHINGTON.

**SURVEY NOTES**  
EQUIPMENT: 3" OR LESS TOTAL STATION AND/OR GNSS NETWORK ROVER  
METHOD: FIELD TRAVERSE AND/OR WASHINGTON STATE REFERENCE NETWORK GNSS  
THE CLOSURES OF THIS FIELD TRAVERSE CONDUCTED DURING THIS SURVEY MEET OR EXCEED THE MINIMUM CLOSURE STANDARDS STATED IN WAC 332-130-090.  
THE TOPOGRAPHIC ELEMENTS AS SHOWN MEET OR EXCEED THOSE REQUIREMENTS STATED IN WAC 332-130-145.  
THE INFORMATION SHOWN ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY MADE ON THE INDICATED DATE AND CAN ONLY BE CONSIDERED AS THE GENERAL EXISTING CONDITION AT THAT TIME.  
NO EASEMENTS, RESTRICTIONS OR RESERVATION OF RECORD WHICH WOULD BE DISCLOSED BY A TITLE REPORT ARE SHOWN.  
ELEVATIONS ARE SHOWN AT 2' INTERVALS AND DERIVED FROM DIRECT FIELD OBSERVATIONS. ACCURACY IS ONE-HALF THE CONTOUR INTERVAL.

**UTILITY NOTES**  
BASIS FOR UTILITY LINES SHOWN:  
FIELD OBSERVATIONS & AS-BUILT MAPS  
IN PROVIDING THIS SURVEY, NO ATTEMPT HAS BEEN MADE TO OBTAIN OR SHOW DATA CONCERNING CONDITION OR CAPACITY OF ANY UTILITY EXISTING ON THIS SITE, WHETHER PRIVATE, MUNICIPAL OR PUBLIC OWNED.  
UTILITIES OTHER THAN THOSE SHOWN MAY EXIST ON THE SITE. UNDERGROUND UTILITY LOCATIONS SHOWN HEREON ARE TAKEN FROM A COMPILATION OF PUBLIC RECORDS AND VISIBLE FIELD EVIDENCE. WE ASSUME NO LIABILITY FOR THE ACCURACY OF THE PUBLIC RECORDS. UNDERGROUND UTILITY LOCATIONS ARE ONLY APPROXIMATE. UNDERGROUND CONNECTIONS ARE SHOWN AS STRAIGHT LINES BETWEEN VISIBLE SURFACE LOCATIONS BUT MAY CONTAIN BENDS OR CURVES NOT SHOWN. FIELD VERIFICATION IS NECESSARY PRIOR TO OR DURING ANY CONSTRUCTION.  
SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT SURVEYED OR EXAMINED OR CONSIDERED AS PART OF THIS SURVEY. NO EVIDENCE OR STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONDITIONS, CONTAINERS OR FACILITIES THAT MAY AFFECT THE USE OR DEVELOPMENT OF THIS PROPERTY.

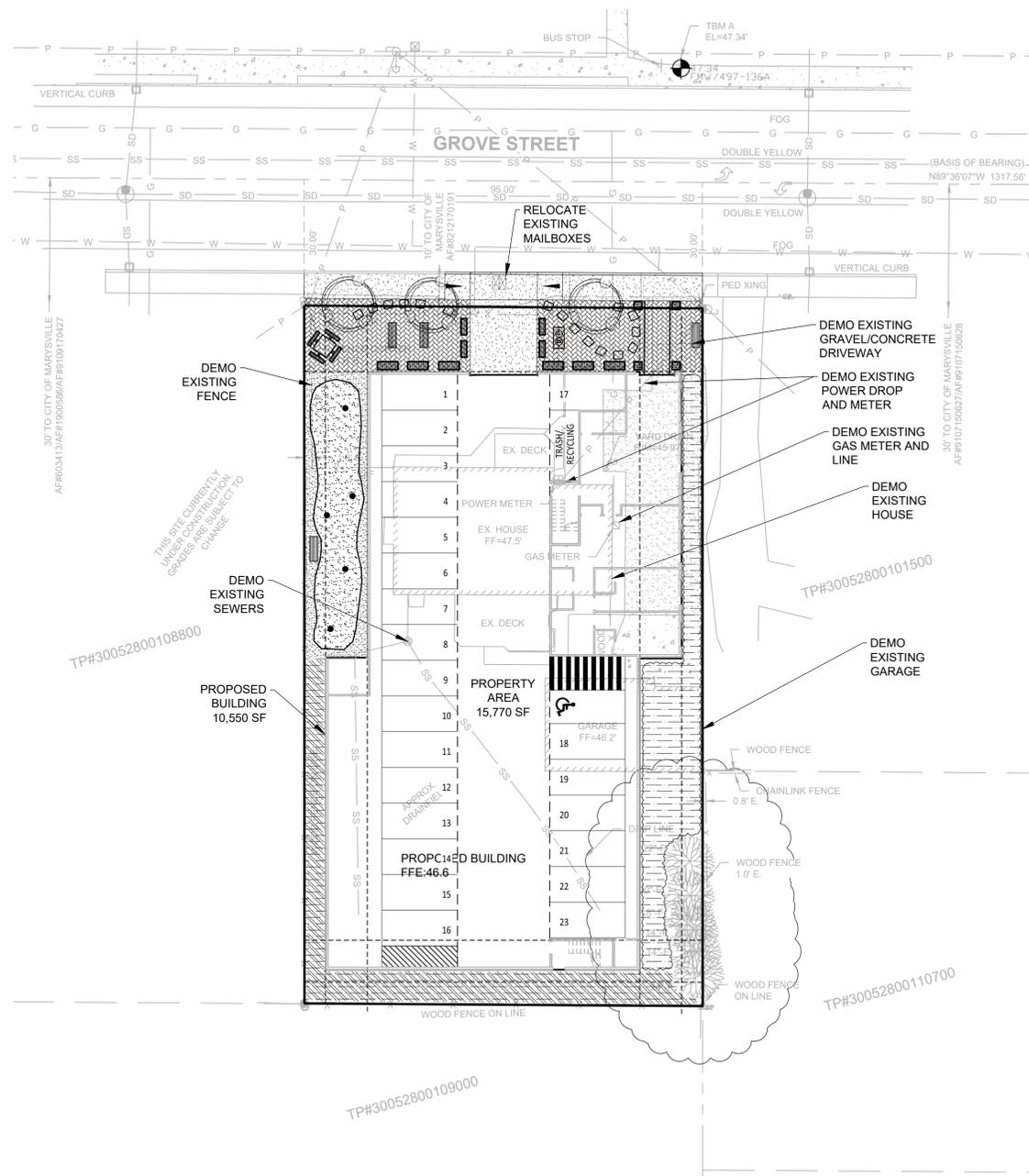


**ASPI, LLC**  
LAND SURVEYING AND PLANNING  
5208 S 2ND AVE, SUITE 4  
EVERETT, WA 98203  
(425) 252-1884

**BOUNDARY/TOPOGRAPHIC SURVEY FOR NATE CONSTRUCTION LLC**  
SE 1/4, NE 1/4 OF SECTION 28, TOWNSHIP 30 NORTH, RANGE 05 EAST, W1/4  
**CITY OF MARYSVILLE**  
SNOHOMISH COUNTY, WASHINGTON

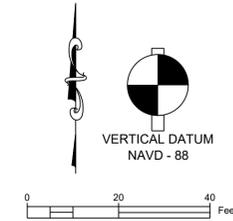
DRAWN BY: AET  
DATE: 08/23/2021  
PROJECT NO: 21-371  
SHEET NO: 1 OF 1

SECTION 28, TOWNSHIP 30 NORTH, RANGE 5 EAST, W.M.



LEGEND

●	FOUND MONUMENT IN CASE	△	TRANSFORMER PAD	x	GROUND SHOT
○	FOUND IRON PIPE AS NOTED	□	MAILBOX	-x-x-x-	FENCE LINE
○	FOUND REBAR AS NOTED	⊙	SIGN POST	—G—	GAS LINE
⊕	FOUND PLAT MONUMENT	○S	SEWER MANHOLE	—P—	POWER LINE
⊙	BENCH MARK	□T	TELEPHONE PEDESTAL	—UP—	POWER LINE (UNDERGROUND)
▲	CONTROL POINT	⊠	JUNCTION BOX	—SS—	SEWER LINE
⊠	CATCH BASIN	⊙	POWER POLE W/ U.G. FEED	—SD—	STORM DRAIN LINE
⊠	WATER VALVE	⊙	POWER POLE	—T—	TELEPHONE LINE
⊠	GAS VALVE	⊙	FIRE HYDRANT	—UT—	TELEPHONE LINE (UNDERGROUND)
⊠	LUMINAIRE	⊠	WATER METER	—W—	WATER LINE



SITE INFORMATION

4726 72ND ST NE  
MARYSVILLE, WA 98270

TAX PARCEL  
30052800108700

PROPERTY AREA: 15,770 SF  
(0.36 ACRES)

NEW IMPERVIOUS 7,510 SF

REPLACED IMPERVIOUS 4,805 SF

TOTAL IMPERVIOUS 12,315 SF

POLLUTION GENERATING IMPERVIOUS 0 SF

DISTURBED AREA 13,850 SF

DATUM NAVD 88

BENCHMARK

PROJECT BENCHMARK: FOUND MONUMENT IN CASE AT THE INTERSECTION OF GROVE ST AND 47TH AVE.  
ELEV. = 43.40'

TBM A: FOUND MAG NAIL & YELLOW PLASTIC WASHER LOCATED IN THE NORTHERLY SIDEWALK ALONG GROVE STREET +/- 5' EAST OF A BUS STOP SIGN.  
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VERTICAL INFORMATION DERIVED FROM MULTIPLE GPS OCCUPATIONS UTILIZING THE WASHINGTON STATE REFERENCE NETWORK.

LEGAL DESCRIPTION

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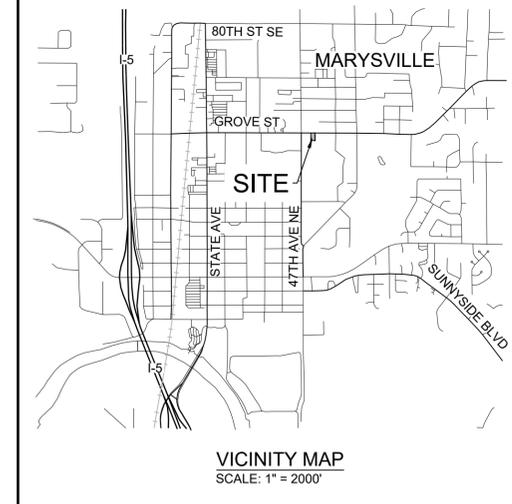
LESS 20 FEET FOR ROAD

LESS THE NORTH 10 FEET ADDITIONAL RIGHT OF WAY TO THE CITY OF MARYSVILLE PER STATUTORY WARRANTY DEED RECORDED UNDER AUDITORS FILE NUMBER 8212170191.

SITUATE IN THE CITY OF MARYSVILLE, COUNTY OF SNOHOMISH, STATE OF WASHINGTON.

BASIS OF BEARING

NORTH 89°36'07" WEST BETWEEN FOUND MONUMENTS ALONG THE CENTERLINE OF GROVE STREET.



CONTACT/OWNER

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(206) 343-5903  
FAX: (360) 805-9732

HARMSEN  
2822 COLBY AVE., SUITE 300  
EVERETT, WA 98201



SUNRISE GROVE APARTMENT  
4726 72ND ST NE  
MARYSVILLE, WA 98270  
PRELIMINARY OVERVIEW

DATE: 2/10/23

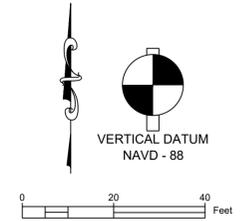
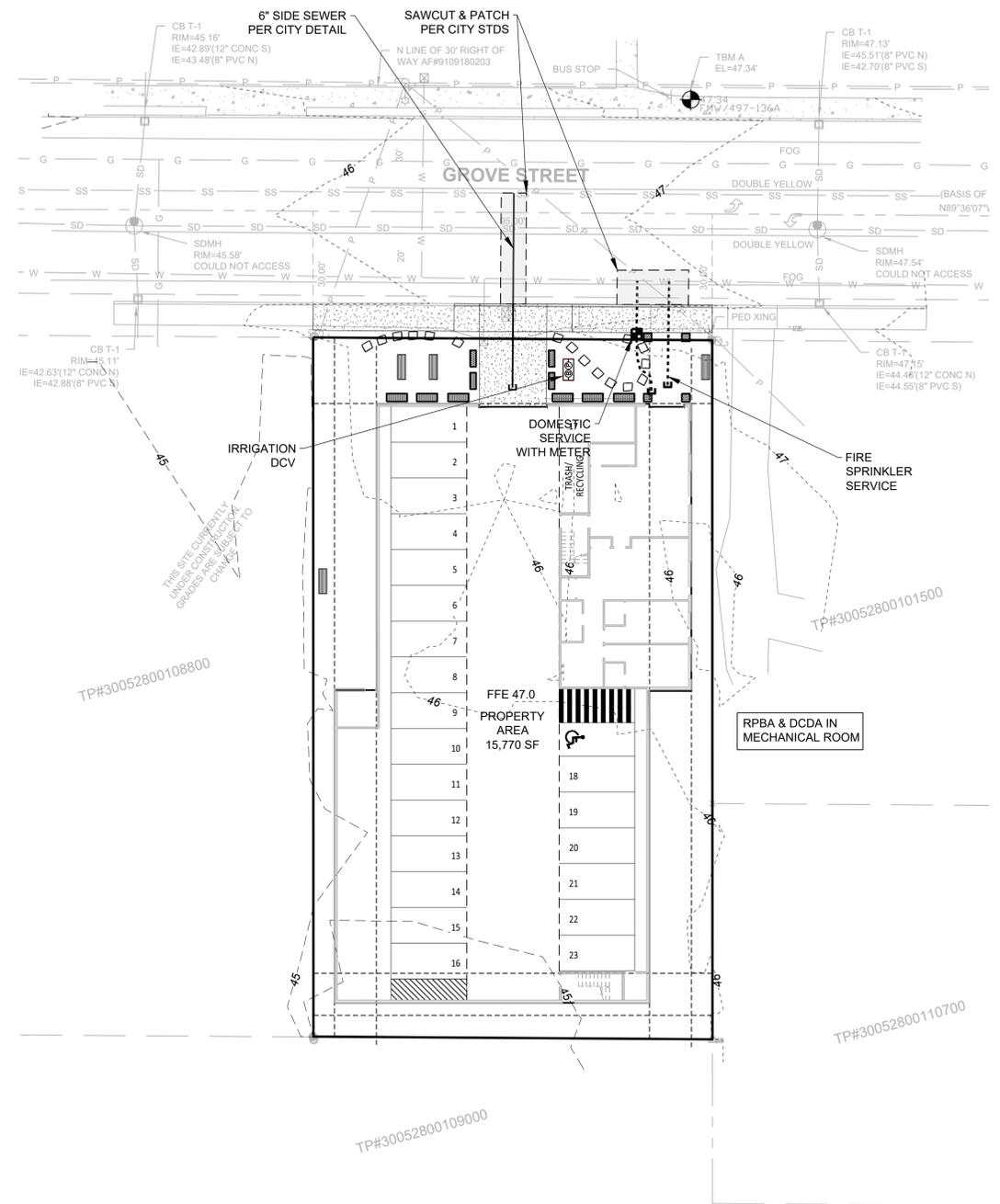
JOB #: 21-371



C1.0

PA23002

SECTION 28, TOWNSHIP 30 NORTH, RANGE 5 EAST, W.M.



REVISIONS

**HARMSEN**  
ENGINEERS  
SURVEYORS

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EVERETT, WA 98201  
(360) 794-7811  
(206) 343-5903  
FAX: (360) 805-9732



**SUNRISE GROVE APARTMENT**  
4726 72ND ST NE  
MARYSVILLE, WA 98270

**PRELIMINARY  
SEWER & WATER PLAN**

DATE: 2/10/23

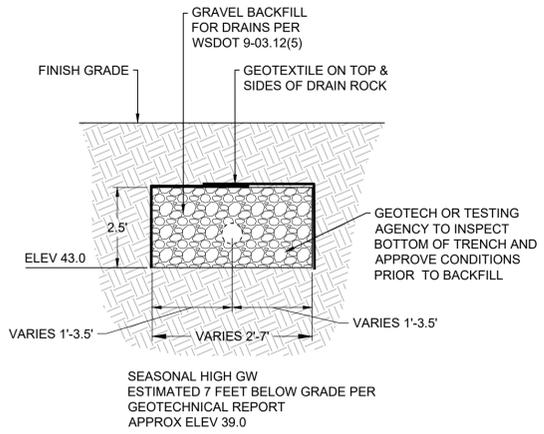
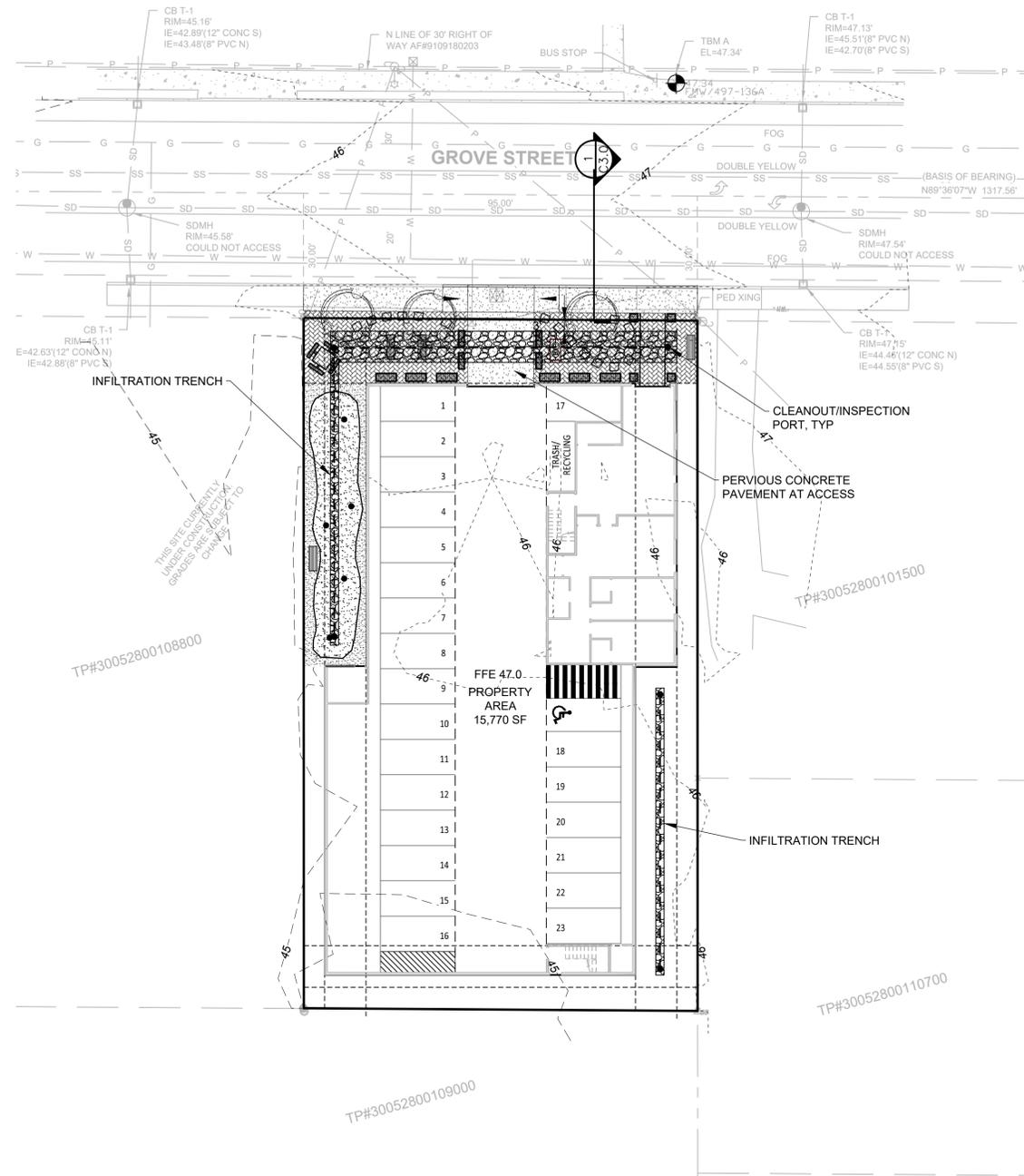
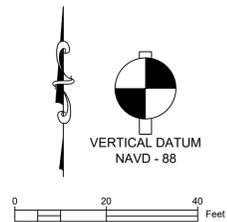
JOB #: 21-371



**C2.0**

PA23002

SECTION 28, TOWNSHIP 30 NORTH, RANGE 5 EAST, W.M.



ROOF INFILTRATION TRENCH DETAIL

NOTES

1. CITY OF MARYSVILLE CONSTRUCTION STANDARDS CAN BE FOUND ONLINE AT THE CITY'S WEBSITE.
2. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. AGENCIES INVOLVED SHALL BE NOTIFIED WITHIN REASONABLE TIME PRIOR TO START OF CONSTRUCTION.
3. CALL FOR INSPECTION OF THE EXISTING STORM DRAINAGE SYSTEM WHEN THE POINT OF CONNECTION HAS BEEN EXCAVATED.

THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. AGENCIES INVOLVED SHALL BE NOTIFIED WITHIN A REASONABLE TIME PRIOR TO THE START OF CONSTRUCTION.

FOOTING DRAIN NOTES

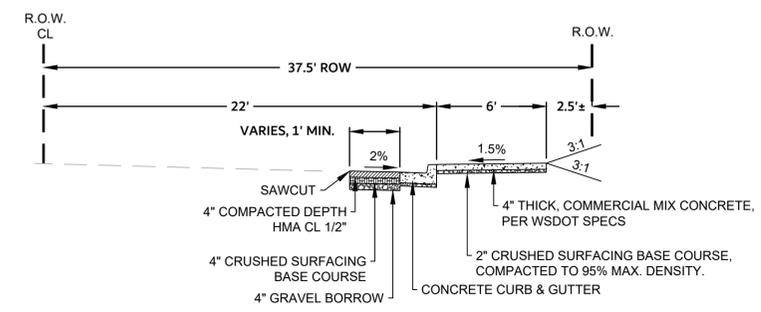
1. CONNECT BUILDING PERIMETER DRAINS TO INFILTRATED TRENCH.
2. PROVIDE 6" PVC PIPE WITH MINIMUM PIPE SLOPE OF 0.5% FROM FOOTING DRAIN ELEVATION AT BUILDING TO CONNECTION AT STORM LINE.

YARD DRAIN NOTES

1. YARD DRAINS SHALL BE 8" SQUARE PLASTIC DRAINS OR APPROVED EQUAL, ADA COMPLIANT AND HEEL PROOF. CONNECTED BY MIN 4" RIGID PVC PIPE, S=0.01 FT/FT MIN.

ROOF DRAIN NOTES

1. VERIFY DOWNSPOUT LOCATIONS WITH ARCHITECTURAL PLANS.
2. ROOF DRAINS FROM EACH BUILDING TO BE CONNECTED TO THE INFILTRATION TRENCHES.
3. INSTALL CLEANOUTS AT TEES, BENDS 45° OR GREATER AND AT INTERVALS NO GREATER THAN 150 LF.
4. PROVIDE NECESSARY FITTINGS TO CONNECT ROOF STUB TO DOWNSPOUT.



1 GROVE STREET FRONTAGE IMPROVEMENTS SECTION  
SCALE: 1" = 5'

REVISIONS

**HARMSEN ENGINEERS SURVEYORS**  
(360) 794-7811  
(206) 343-5903  
FAX: (360) 805-9732

**HARMSEN ENGINEERS SURVEYORS**  
2822 COLBY AVE., SUITE 300  
EVERETT, WA 98201



SUNRISE GROVE APARTMENT  
4726 72ND ST NE  
MARYSVILLE, WA 98270  
PRELIMINARY  
STORM DRAINAGE & PAVING PLAN

DATE: 2/10/23

JOB #: 21-371



C3.0

PA23002

# SUNSET GROVE APTS

## OPEN SPACE, LANDSCAPE, AND IRRIGATION PLAN

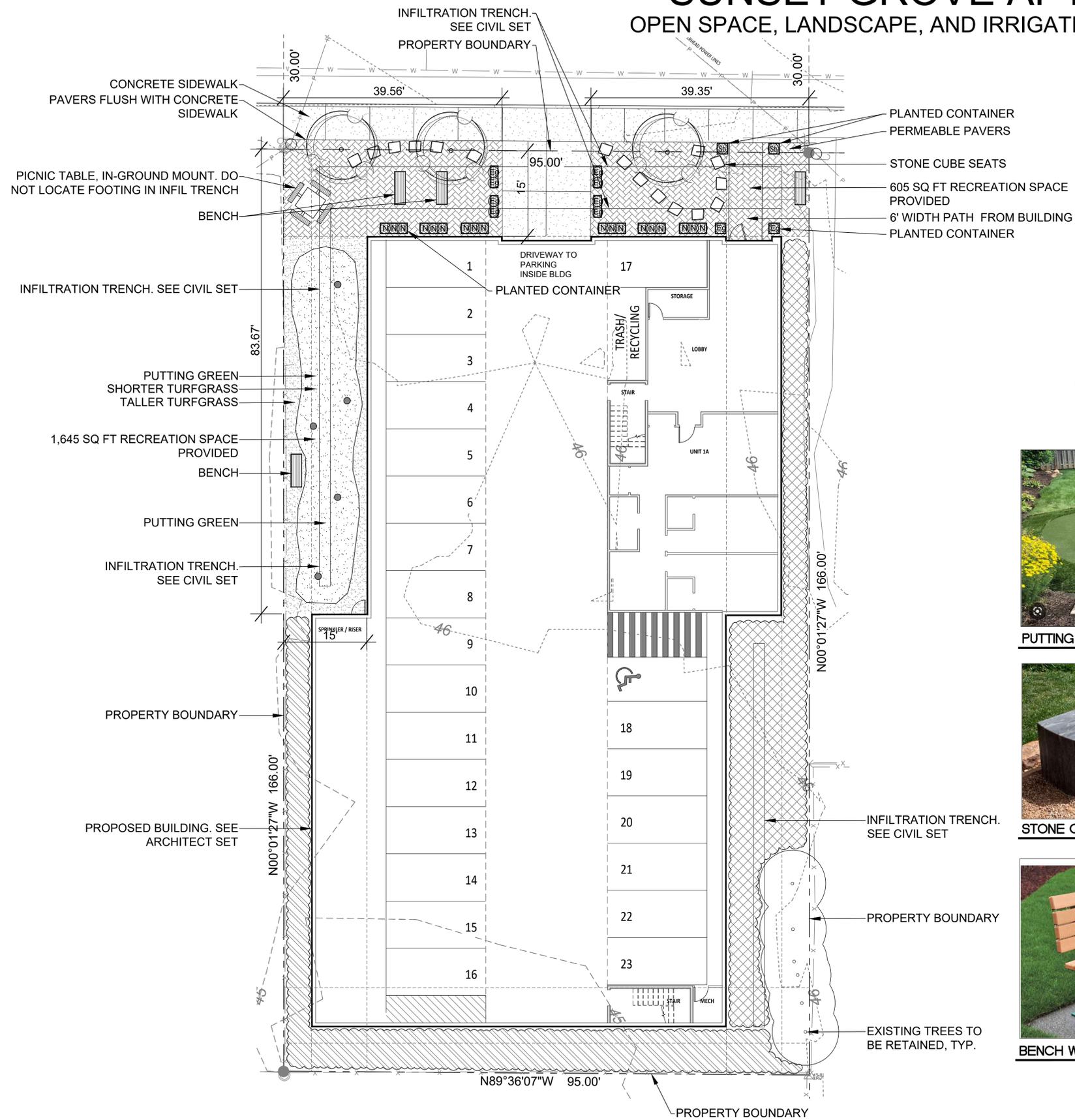
### OUTDOOR AND COMMON AREA REQ'MTS

UNIT SIZE	AREA REQUIRED
1-BEDROOM	100 SF/UNIT
2+ BEDROOMS	150 SF/UNIT

2 @ 1-BEDROOM 2x100 = 200 SF  
 9 @ 2-BEDROOM 9x150 = 1,350 SF  
 5 @ 3-BEDROOM 5x150 = 750 SF

2,300 SF REQ'D

= 2,300 SF OUTDOOR COMMON AREA PROVIDED



### PLANT SCHEDULE

BOTANICAL NAME	COMMON NAME	QTY	SIZE	REMARKS
<b>TREES</b>				
Cercidiphyllum japonicum	Katsura	3	1-1/2" cal	Full and Matching
<b>SHRUBS and GROUND COVER</b>				
Sarcococca hook. humilis	Sweetbox	2	1-gallon	Full and Matching
Euonymus fort. 'Emerald n Gold'	Euonymus	10	1-gallon	Full and Matching
Nandina domestica 'Firepower'	Nandina	18	1-gallon	Full and Matching
Arctostaphylos uva-ursi	Kinnikinnik	As req'd	1 gallon	Plant 36" on-center
Gaultheria shallon	Salal	As req'd	1 gallon	Plant 48" on-center



PUTTING GREEN



STONE CUBE SEATS



BENCH WITH BACK



PERMEABLE PAVERS, ECO-PRIORA

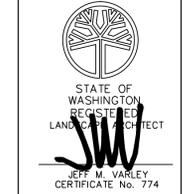


PICNIC TABLE

OPEN SPACE PLAN  
 SCALE 1" = 10'-0"



NO.	DATE	DESCRIPTION	BY
1	3.20.23	REVISED	JMV



**VARLEY • VARLEY • VARLEY**  
 landscape architect  
 JEFF VARLEY  
 19819 30th Drive SE Bothell, Washington 98012  
 email: varley@hotmail.com phone: 425-468-9430  
 www.varleylandscape.com

PA23002  
 SUNRISE GROVE APARTMENTS  
 4726 GROVE STREET, MARYSVILLE WA  
 PUBLIC OPEN SPACE AND  
 LANDSCAPE PLAN

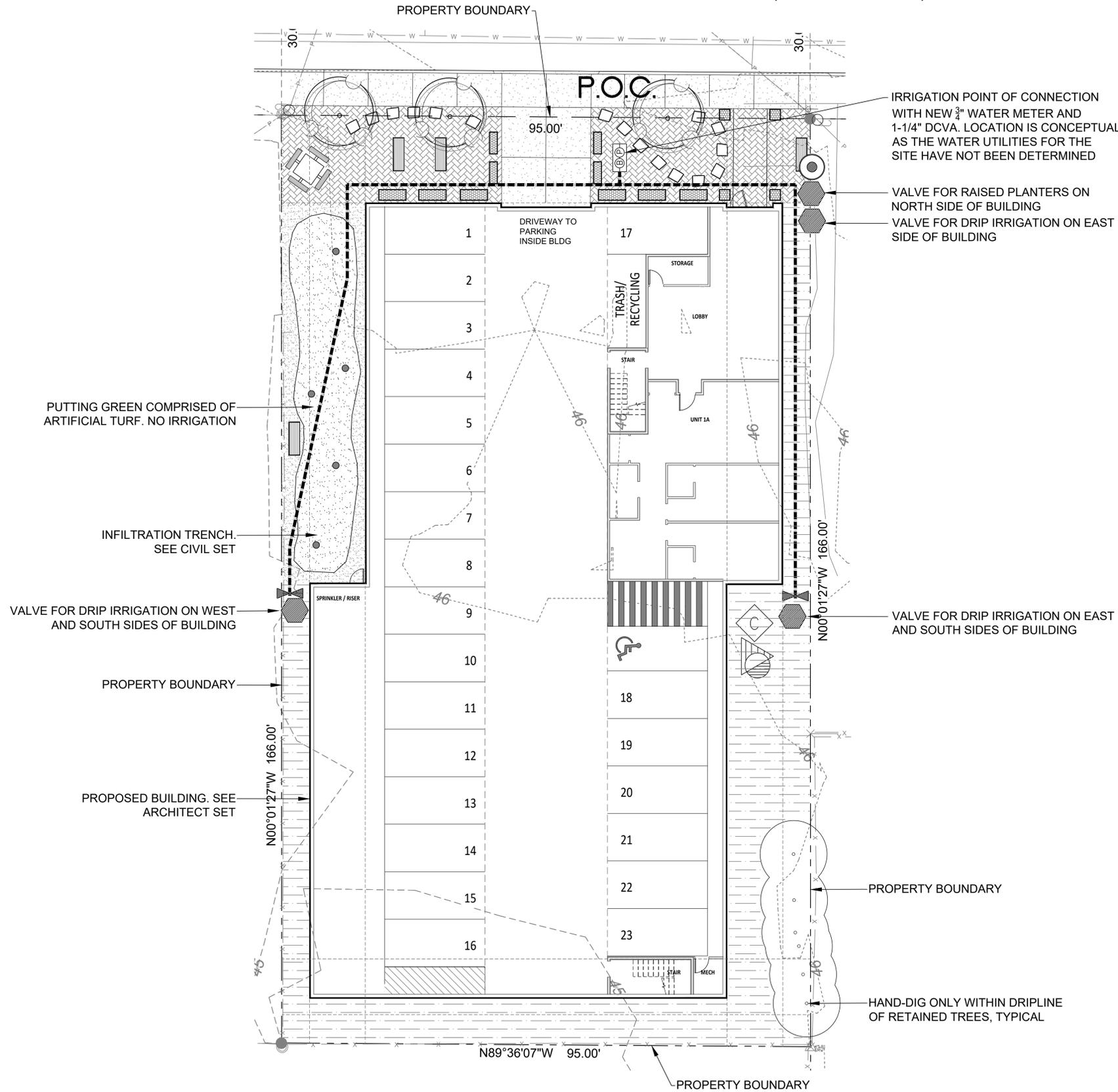
JOB NUMBER:	
DRAWING NAME:	
DESIGNER:	JMV
DRAFTING BY:	JMV
DATE:	11.17.22
SCALE:	AS SHOWN
JURISDICTION:	MARYSVILLE

L-1  
 SHEET 1 of 4



# SUNSET GROVE APTS

## OPEN SPACE, LANDSCAPE, AND IRRIGATION PLAN



### IRRIGATION SCHEDULE

DESCRIPTION

SPRINKLER HEADS:  
HUNTER MP ROTATOR PRS30 POP-UP BODY AND CV DRAIN CHECK VALVE, 4" LAWN, 6" SHRUB

SYMBOL	NOZZLE	PSI	GPM	RADIUS
●	HUNTER-6Q and 6H H, Q SERIES	30	0.98, 0.51	6'
○	HUNTER-MP800SR ADJUSTABLE ARC	30	0.42, 0.23 GPM	8'-10'
○	HUNTER-1000 8-15 F, TH, TT, H, Q SERIES	30	0.84, 0.63, 0.49, 0.42, 0.32, 0.21	12'
○	HUNTER-2000 13-21 F, TQ, TT, H, Q SERIES	30	1.48, 1.10, 0.86, 0.77, 0.57, 0.43	15'
○	HUNTER ES515, SS530 SERIES	30	1.41, 0.65	5'x30' 5'x15'

DESCRIPTION

- SPRAY IRRIGATION: HUNTER ICV 101/151G REMOTE CONTROL VALVE, IN VALVE BOX, ONE VALVE PER BOX
- HUNTER SOLAR SYNC WIRE RAIN SENSOR COMBO
- ◇ HUNTER XC-HYBRID BATTERY-OPERATED CONTROLLER 3 TO 15 STATIONS, (HARDWIRE CONNECTION); PROVIDE GROUND AND BATTERIES PER MANUFACTURER'S SPECIFICATIONS. MOUNT TO 4"x4" P.T. POST. INSTALL POST IN GROUND. PROVIDE OWNER ALL KEYS
- P.O.C. ◇ WILKINS 950 XLT- 1-1/4" DOUBLE CHECK VALVE (STATE APPROVED); TEST AND CERTIFICATION BY LICENSED BACKFLOW TESTER
- ◇ WILKINS 850 - BALL VALVE, SIZE TO MATCH PIPE
- ◇ CARSON INDUSTRIES #1730 (TWO AT P.O.C.) GRADE LEVEL VAULT WITH BOLT LOCK LID
- ◇ PLASTIC BALL VALVE, MATCH LINE SIZE, IN VALVE BOX
- HUNTER HQ-33DLRC 3/4" QUICK COUPLING VALVE, IN VALVE BOX, PROVIDE TWO KEYS AND SWIVELS

- MAINLINE - SCH 40 PVC (18" COVER); SIZE PER PLAN, 1-1/2" SIZE MINIMUM
- LATERAL - SCH 40 PVC (12" COVER); SIZE PER PLAN, 3/4" SIZE MINIMUM
- SLEEVE - SCH 40 PVC; 24" MINIMUM COVER AT VEHICLE CROSSINGS AND 18" MINIMUM COVER IN LANDSCAPE AREAS, 6" DIAMETER WHERE MAINLINE PASSES THROUGH PIPE. 6" DIAMETER WHERE 2+ LATERALS PASS THROUGH PIPE. 6" DIAMETER UNDER ROADS. 4" DIAMETER WHERE A SINGLE LATERAL PASSES THROUGH PIPE

IRRIGATION SHOWN DIAGRAMATICALLY FOR PLAN CLARITY. COMMON TRENCH AND PLACE EQUIPMENT IN LANDSCAPE; MANIFOLD GROUPED VALVES IN ADJACENT SHRUB AREAS WHERE FEASIBLE.

### SCH 40 PIPE SIZING CHART

PIPE SIZE	3/4"	1"	1 1/4"	1 1/2"	2"	2 1/2"	
FLOW GPM	1-8	8.1-13	13.1-23	23.1-32	32.1-53	53.1-74	GPM (MAX.)

PUTTING GREEN COMPRISED OF ARTIFICIAL TURF. NO IRRIGATION

INFILTRATION TRENCH. SEE CIVIL SET

VALVE FOR DRIP IRRIGATION ON WEST AND SOUTH SIDES OF BUILDING

PROPERTY BOUNDARY

PROPOSED BUILDING. SEE ARCHITECT SET

IRRIGATION POINT OF CONNECTION WITH NEW 3/4" WATER METER AND 1-1/4" DCVA. LOCATION IS CONCEPTUAL AS THE WATER UTILITIES FOR THE SITE HAVE NOT BEEN DETERMINED

VALVE FOR RAISED PLANTERS ON NORTH SIDE OF BUILDING  
VALVE FOR DRIP IRRIGATION ON EAST SIDE OF BUILDING

VALVE FOR DRIP IRRIGATION ON EAST AND SOUTH SIDES OF BUILDING

PROPERTY BOUNDARY

HAND-DIG ONLY WITHIN DRIPLINE OF RETAINED TREES, TYPICAL

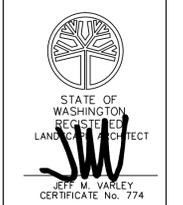
### IRRIGATION PLAN

SCALE 1" = 10'-0"



NORTH 1" = 10'-0" SHEET SIZE 24" x 36"

NO.	DATE	DESCRIPTION	BY
1	3.20.23	REVISED	JMV



**VARLEY • VARLEY • VARLEY**  
landscape architect  
JEFF VARLEY  
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email: varley@hotmalt.com phone: 425-468-9430  
www.varleylandscape.com

PA23002  
SUNRISE GROVE APARTMENTS  
4726 GROVE STREET, MARYSVILLE WA

IRRIGATION PLAN

JOB NUMBER:	
DRAWING NAME:	
DESIGNER:	JMV
DRAFTING BY:	JMV
DATE:	11.17.22
SCALE:	AS SHOWN
JURISDICTION:	MARYSVILLE

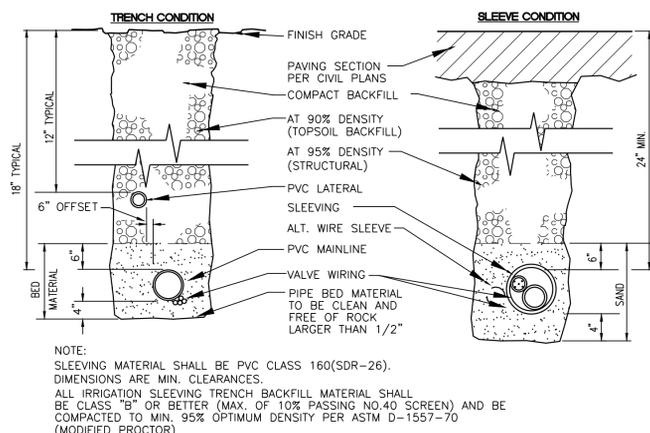
L-3

SHEET 3 of 4



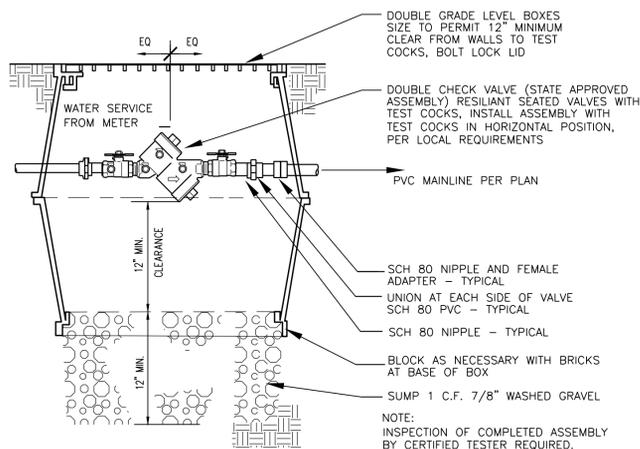
# SUNSET GROVE APTS

## OPEN SPACE, LANDSCAPE, AND IRRIGATION PLAN



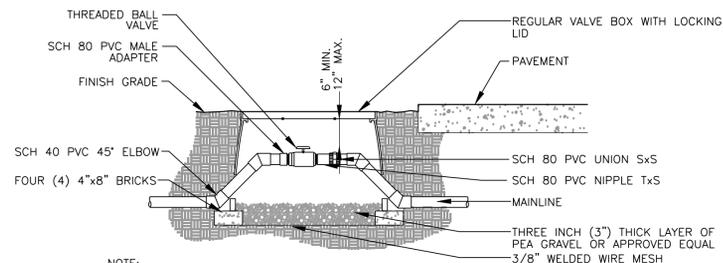
**SLEEVE/TRENCHING DETAIL**

NOT TO SCALE



**CHECK VALVE ASSEMBLY DETAIL**

NOT TO SCALE



- NOTE:
1. LOCATE VALVE BOXES IN PLANTING AREAS.
  2. WRAP VALVE BOX WITH A MINIMUM OF 3 MIL THICK PLASTIC AND SECURE IT USING DUCT TAPE OR ELECTRICAL TAPE.
  3. ALL THREADED CONNECTIONS TO BE MADE USING TEFLON TAPE.
  4. ALL CHANGES IN ELEVATION SHALL BE MADE USING SCH 40 PVC 45° ELBOWS.

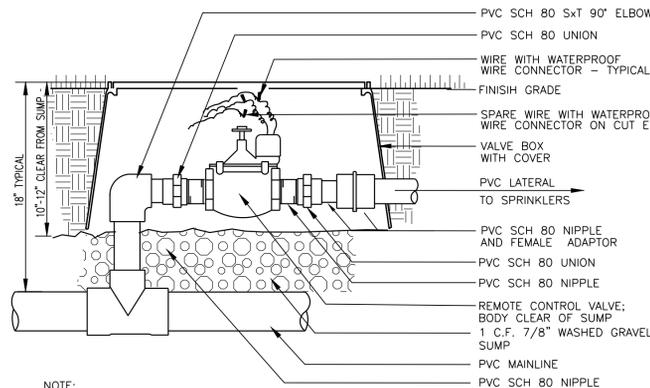
**BALL VALVE DETAIL**

NOT TO SCALE

### LANDSCAPE IRRIGATION NOTES

- GENERAL CONTRACTOR AND LANDSCAPE CONTRACTOR TO COORDINATE:
  - INSTALLATION OF IRRIGATION/SERVICE METER AND STUB TO IRRIGATION POINT OF CONNECTION, PER UTILITY PLAN(S). PROVIDE STANDARD THREADED STUB-OUT WITH THREADED CAP ON DISCHARGE SIDE OF METER. STUB-OUT TO BE INSTALLED APPROXIMATELY 18 INCHES BELOW FINISH GRADE.
  - VERIFICATION OF STATIC WATER PRESSURE AT POINT-OF-CONNECTION (P.O.C.) LANDSCAPE CONTRACTOR SHALL NOTIFY OWNER AND LANDSCAPE ARCHITECT IN WRITING OF STATIC WATER PRESSURE
  - INSTALLATION OF SLEEVING.
- PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, AND SERVICES NECESSARY TO FURNISH AND INSTALL A COMPLETE IRRIGATION SYSTEM AS INDICATED ON THE DRAWINGS AND/OR NOTES. PROVIDE A ONE (1) YEAR WARRANTY/GUARANTEE FROM FINAL ACCEPTANCE AGAINST ALL DEFECTS IN MATERIALS, EQUIPMENT, AND WORKMANSHIP.
- COORDINATE IRRIGATION INSTALLATION WITH GENERAL CONTRACTOR, ELECTRICAL CONTRACTOR, LANDSCAPE CONTRACTOR, OWNER, ARCHITECT, AND LANDSCAPE ARCHITECT.
- LANDSCAPE CONTRACTOR TO TEST AVAILABLE WATER PRESSURE PRIOR TO BEGINNING ANY WORK. PROVIDE WRITTEN TEST RESULTS TO LANDSCAPE ARCHITECT.
- ALL WORK PER LOCAL CODE. INSTALLATION PER MANUFACTURER'S WRITTEN SPECIFICATIONS.
- CONTRACTOR TO OBTAIN AND PAY FOR ALL PERMITS, FEES, AND REQUIRED CITY INSPECTIONS.
- SUBMITTALS:
  - SUBMIT EACH ITEM LISTED BELOW FOR LANDSCAPE ARCHITECT'S REVIEW AND APPROVAL:
  - PRODUCT DATA: FOR EACH TYPE OF PRODUCT INDICATED.
  - CONTROL WIRING PATH DIAGRAM,
  - "AS-BUILT" DRAWINGS.
  - OPERATION AND MAINTENANCE MANUALS.
- PROVIDE AND KEEP UP TO DATE A COMPLETE "AS-BUILT" RECORD SET OF PRINTS WHICH ARE TO BE CORRECTED DAILY AND SHOW EVERY CHANGE FROM THE ORIGINAL DRAWINGS AND NOTES AND EXACT "AS-BUILT" LOCATIONS, SIZES AND KIND OF EQUIPMENT. THIS SET OF DRAWINGS ARE TO BE KEPT ON SITE AND ARE TO BE USED ONLY AS THE RECORD SET. ALL WORK IS TO BE NEAT AND LEGIBLE ANNOTATIONS THEREON DAILY AS THE WORK PROCEEDS, SHOWING WORK AS ACTUALLY INSTALLED.
  - PERMANENT POINTS OF REFERENCE, BUILDING CORNERS, WALKS, OR ROAD INTERSECTIONS, ETC., THE LOCATION OF THE FOLLOWING:
    - CONNECTION TO WATER LINES (P.O.C.),
    - CONNECTIONS TO ELECTRICAL POWER,
    - GATE VALVE, QUICK COUPLERS, AND REMOTE CONTROL VALVE,
    - ROUTING OF MAINLINE (DIMENSION MAXIMUM 100' ALONG ROUTING),
    - ROUTING OF CONTROL WIRING,
    - OTHER RELATED EQUIPMENT AS DIRECTED BY THE LANDSCAPE ARCHITECT.
- PREPARE AND PROVIDE PRIOR TO COMPLETION OF CONSTRUCTION, A THREE RING BINDER CONTAINING THE FOLLOWING INFORMATION:
  - INDEX SHEET STATING CONTRACTOR'S ADDRESS, TELEPHONE NUMBER, FAX, E-MAIL AND A LIST OF EQUIPMENT WITH NAME AND ADDRESS OF LOCAL MANUFACTURER'S REPRESENTATIVES,
  - CATALOG AND PARTS SHEETS ON EVERY MATERIAL AND EQUIPMENT INSTALLED UNDER THIS CONTRACT,
  - GUARANTEE STATEMENT,
  - COMPLETE OPERATING AND MAINTENANCE INSTRUCTIONS ON ALL MAJOR EQUIPMENT.
  - CONSTRUCTION DETAILS FROM THE PROJECT,
  - COMPLETE TROUBLE-SHOOTING GUIDE TO COMMON IRRIGATION PROBLEMS,
  - WINTERIZATION AND SPRING START-UP PROCEDURES,
  - CHART OF APPROXIMATE WATERING TIMES FOR SPRING, SUMMER, AND FALL,
  - A COPY OF THE "AS-BUILT" DRAWINGS AND CONTROLLER CHART.

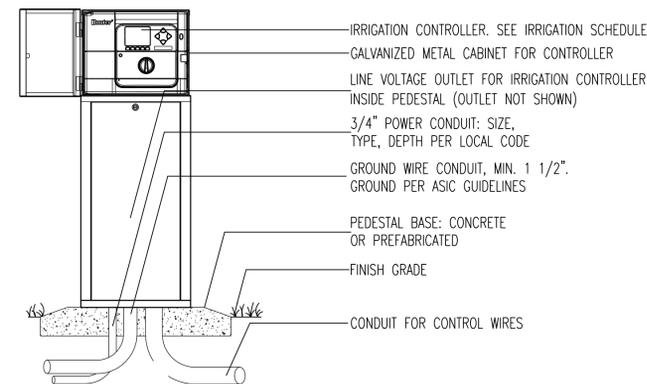
- ALL VALVES TO BE PLACED IN "CARSON" GRADE LEVEL BOXES WITH BOLT-LOCK LIDS (OR APPROVED EQUIVALENT). SET BOXES 2 INCHES HIGHER THAN FINISH GRADE IN MULCH AREAS AND FLUSH WITH FINISH GRADE IN LAWN AREAS. JUMBO BOX FOR CHECK VALVE, 10" ROUND BOX FOR GATE/QUICK COUPLER/WIRE SPLICES, AND 12" STANDARD FOR CONTROL VALVES. PROVIDE BOX EXTENSIONS AS REQUIRED.
- MAINLINE PIPE TO BE BURIED 18 INCHES, LATERALS 12 INCHES, AND SLEEVES 24" INCHES BELOW FINISH GRADE. NO ROCK OR DEBRIS TO BE BACKFILLED OVER PIPE.
- HEAD AND LINE POSITIONING IS DIAGRAMMATIC ON PLAN. ADJUST IN FIELD AS NECESSARY FOR 100 PERCENT COVERAGE. VALVES TO BE POSITIONED ADJACENT TO PAVEMENT/CURBS, IN SHRUB BEDS WHERE POSSIBLE.
- FAMILIARIZE OWNERS FACILITY OPERATOR WITH IRRIGATION SYSTEM FUNCTION, CONTROLLER PROGRAMMING, SYSTEM OPERATION AND MAINTENANCE REQUIREMENTS.
- SPRINKLERS ON RISERS WILL NOT BE ALLOWED UNLESS NOTED ON PLANS.
- RADIUS REDUCTION TO BE MADE BY USE OF PRESSURE ADJUSTMENT, SCREENS, AND/OR ALTERNATE NOZZLES. IN-NOZZLE ADJUSTMENT IS LIMITED TO 10 PERCENT FOR SPRAY HEADS AND PER MANUFACTURER'S LIMITS FOR OTHER SPRINKLERS. SPRINKLER SPACING NOT EXCEED 60% OF THE DIAMETER OF THE PUBLISHED DATA.
- ALL CONTROL WIRE SPLICES TO BE MADE AT VALVE BOXES WITH WATER TIGHT ELECTRICAL SPLICES, 3M, SCOTT'S LOCK SEAL TACK 3576-78, OR EQUIVALENT.
- EACH VALVE BOX TO CONTAIN A MINIMUM OF TWO (2) SPARE ORANGE CONTROL WIRES FOR JACKETED WIRE. ROUTE SPARE WIRES FROM THE CONTROLLER TO THE LAST VALVE OF EACH MAINLINE BRANCH. COMMON WIRE TO BE WHITE. SINGLE STRAND WIRE TO BE A MINIMUM OF 14 GAUGE.
- ALL ELECTRICAL EQUIPMENT TO BE U.L. TESTED AND APPROVED, AND BEAR THE U.L. LABEL.
- CROSS CONNECTION PROTECTION INSPECTION REQUIRED. THE BACKFLOW DEVICE TO BE TESTED UPON THE ORIGINAL INSTALLATION. THE TESTING TO BE PERFORMED BY A PERSON HOLDING A CURRENT CERTIFICATE AS A BACKFLOW TESTER. THE TEST REPORT TO BE SUBMITTED TO THE LOCAL WATER DISTRICT, OR PURVEYOR, AND OWNER WITH A COPY TO BARGHAUSEN CONSULTING ENGINEERS, INC. CONTRACTOR TO INCLUDE TESTING IN THE SCOPE OF WORK. OWNER IS RESPONSIBLE FOR ANNUAL INSPECTIONS AFTER THE INTIAL INSPECTION.
- CONTRACTOR TO PROVIDE SYSTEM WINTERIZATION/SPRING SERVICE WHEN INSTALLATION HAS BEEN COMPLETED WITHIN 90 DAYS OF NOVEMBER 1 FOR WINTERIZATION, OR MAY 15 FOR SPRING SERVICE. SERVICE TO BE PERFORMED AS NEAR AS PRACTICAL TO THE ABOVE DATES, OR AS FREEZE/PRECIPITATION CONDITIONS DETERMINE SERVICE NEED.
- IRRIGATION SCHEDULING: THE IRRIGATION CONTROLLER CONTAINS A WATER BUDGET FEATURE. PERIODIC (WEEKLY) ADJUSTMENT OF THE WATER SCHEDULE IS INTENDED TO BE MADE VIA BUDGET ADJUSTMENT. RE-ADJUST WATERING DAYS AT 100 PERCENT BUDGET WHEN ADJUSTMENT EXCEEDS 30%. SET CONTROLLER FOR HIGHEST ET<sub>0</sub> WATER SCHEDULE, BASED ON PUBLISHED LOCAL EVAPOTRANSPIRATION DATA. SYSTEM HAS BEEN DESIGNED FOR 50 TO 80 PERCENT DISTRIBUTION UNIFORMITY. LAWN ZONES SHOULD BE SCHEDULED FOR 100 PERCENT REPLACEMENT FACTOR ON A TYPICAL MINIMUM 3-DAY CYCLE. SHRUB ZONES SHOULD BE PROGRAMMED AT 40 TO 70 PERCENT OF THE MONTHLY LAWN WATER REQUIREMENT ON A ONCE PER WEEK CYCLE. ALL WATERING IN EXCESS OF THE LOCAL ET<sub>0</sub> ("FIELD RECHARGE") TO BE COMPLETED DURING THE CONSTRUCTION PHASE WHILE THE CONTRACTOR IS ON THE JOB SITE. OVER WATERING OF LANDSCAPE DUE TO CONTROLLER SCHEDULING TO BE GROUNDS FOR CONTRACTOR TO REPAIR ANY RESULTANT DAMAGES AT CONTRACTOR'S OWN EXPENSE.
- SUBSTITUTION OF IRRIGATION MATERIAL/EQUIPMENT TO BE MADE ONLY UPON WRITTEN APPROVAL OF OWNER'S REPRESENTATIVE.
- ALL ZONES TO PASS A MINIMUM DISTRIBUTION UNIFORMITY OF 62 PERCENT, AS TESTED THROUGH AN IRRIGATION ASSOCIATION CERTIFIED WATER AUDIT.
- CLEANUP AND PROTECTION: DURING IRRIGATION WORK, KEEP ALL PAVEMENT CLEAN AND WORK AREAS IN AN ORDERLY CONDITION. PROTECT IRRIGATION WORK AND MATERIALS FROM DAMAGE DUE TO LANDSCAPE AND IRRIGATION OPERATIONS AND TRESPASSERS. MAINTAIN PROTECTION DURING INSTALLATION AND MAINTENANCE PERIOD. TREAT, REPAIR, OR REPLACE DAMAGE LANDSCAPE AND IRRIGATION WORK AS DIRECTED BY THE OWNER.



- NOTE:
- ONE VALVE PER BOX. PROVIDE EXTRA COILS (18") OF EACH WIRE IN VALVE BOX. COMPACT SOIL AROUND VALVE BOX.
  - USE TEFLON OR FLOWABLE SEALANT IN ALL THREADED FITTINGS, PER MANUFACTURER'S SPEC'S.

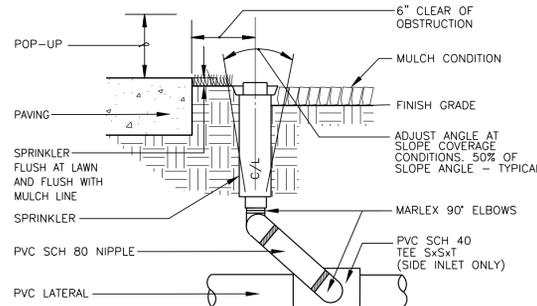
**REMOTE CONTROL VALVE ASSEMBLY**

NOT TO SCALE



**IRRIGATION CONTROLLER - PEDESTAL MOUNT**

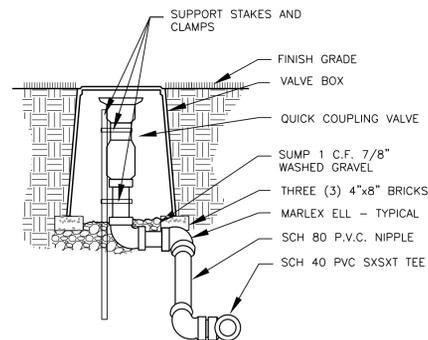
NOT TO SCALE



- NOTE:
- MANUFACTURER'S LIMITS PREVAIL FOR INSTALLATION AND ADJUSTMENTS.
  - PROVIDE SWING JOINT RISERS AT WALKS AND CURBS. 24" FLEXIBLE RISERS ACCEPTABLE ELSEWHERE.

**POP-UP RISER ASSEMBLY**

NOT TO SCALE



**QUICK COUPLING VALVE DETAIL**

NOT TO SCALE

NO.	DATE	DESCRIPTION	BY
1	3.20.23	REVISED	JMV



**VARLEY • VARLEY • VARLEY**  
landscape architect  
JEFF VARLEY  
19819 30th Drive SE Bothell, Washington 98012  
jeff@jv3.com phone 425-468-9430  
www.varleylandscape.com

PA23002

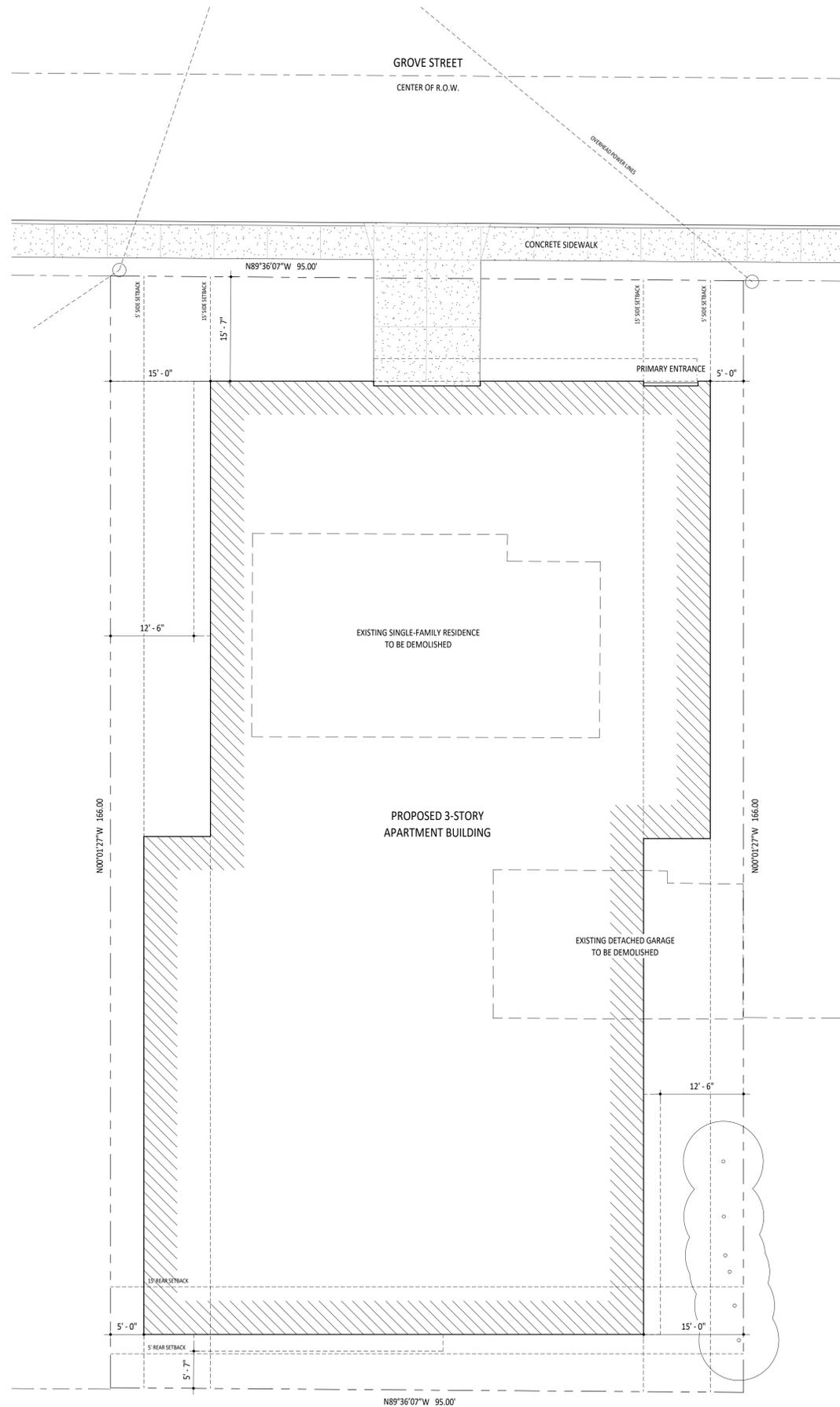
SUNRISE GROVE APARTMENTS  
4726 GROVE STREET, MARYSVILLE WA

IRRIGATION NOTES AND DETAILS

JOB NUMBER:	
DRAWING NAME:	
DESIGNER:	JMV
DRAFTING BY:	JMV
DATE:	11.17.22
SCALE:	AS SHOWN
JURISDICTION:	MARYSVILLE

L-4

SHEET 4 of 4



**LAND USE CODE ANALYSIS**

**PROJECT ADDRESS** 4726 GROVE ST, MARYSVILLE, WASHINGTON 98270  
**PARCEL** 30052800108700  
**SITE AREA** 15,770 SF  
**ZONING** DOWNTOWN SUBAREA FR (FLEX RESIDENTIAL)

**DIMENSIONAL REGULATIONS** MMC TABLE 22C.080.140

	REQUIRED	PROVIDED
BASE HEIGHT	45'	41' - 8 3/4"
MAX BASE DENSITY (28 DU/ACRE)	10	16 <sup>1</sup>
MAX DENSITY	16	16 <sup>1</sup>
STREET SETBACK	0-10'	15' - 7"
SIDE YARD SETBACK	0-15'	5'-15' (SEE SITE PLAN)
REAR YARD SETBACK	0-15'	5' - 7" MIN

<sup>1</sup>ADDITIONAL UNITS PER 22C.090.030 PUBLIC BENEFITS AND DENSITY INCENTIVES (SEE CALCULATIONS BELOW)

**REQUIRED PARKING** MMC TABLE 22C.080.230

**USE CATEGORY** **MIN SPACES PER UNIT**

1 BEDROOM	1.25
2 BEDROOMS OR MORE	1.5

2 @ 1 BEDROOM	2x1.25	2.5
9 @ 2 BEDROOM	9x1.5	13.5
5 @ 3 BEDROOM	5x1.5	7.5
<b>TOTAL</b>		<b>23.5</b>
<b>PROVIDED</b>		<b>24</b>

**BLOCK-FRONTAGE TYPE** MMC TABLE 22C.080.300

PERMITTED FRONTAGE FLEXIBLE

**UNDESIGNATED BLOCK FRONTAGE STANDARDS** MMC TABLE 22C.080.350(3)

BUILDING PLACEMENT	BUILDING PLACED AT LEAST 15' BEHIND SIDEWALK
BUILDING ENTRANCES	BUILDING ENTRY VISIBLE AND DIRECTLY ACCESSIBLE FROM THE STREET
FACADE TRANSPARENCY	TRANSPARENT WINDOWS EXCEED 10% OF BUILDING FACADE (SEE 1/A3.11)
WEATHER PROTECTION	3' DEEP REQUIRED, 3' - 6' PROVIDED (SEE 1/A2.10)
PARKING	NO PARKING LOT LOCATION RESTRICTIONS
LANDSCAPING	SEE LANDSCAPE PLANS

**REQUIRED OPEN SPACE** MMC 22C.080.420(3)

**USE CATEGORY** **MIN OPEN SPACE PER UNIT**

1 BEDROOM	100 SF
2 BEDROOMS OR MORE	150 SF

2 @ 1 BEDROOM	200 SF
14 @ 2,3 BEDROOM	2100 SF
<b>TOTAL</b>	<b>2300 SF</b>
<b>PROVIDED</b>	<b>2300 SF (SEE OPEN SPACE PLAN ON L-1)</b>

**BUILDING MASSING AND ARTICULATION** MMC 22C.080.510

ARTICULATION FEATURES (AT LEAST THREE REQUIRED) MMC 22C.080.510(2)(b)  
 (i) USE OF A WINDOW FENESTRATION PATTERN  
 (ii) USE OF WEATHER PROTECTION FEATURES  
 (v) CHANGE IN BUILDING MATERIAL AND/OR SIDING STYLE

MAXIMUM FACADE LENGTH MMC 22C.080.510(3)  
 NOT APPLICABLE- BUILDING ELEVATION LESS THAN 120'

**WINDOW DESIGN STANDARDS** MMC 22C.080.520(3)

(a) WINDOWS RECESSED AT LEAST 1-1/2" (SEE 10-12/A8.00)

**BUILDING MATERIALS** MMC 22C.080.530(2)(d)

(i) NOT APPLICABLE - RESIDENTIAL USE  
 (ii) INTEGRATED MIX OF TEXTURES (PANEL AND LAP SIDING) AND MODULATED BUILDING SURFACES

**PUBLIC BENEFITS AND DENSITY INCENTIVES** MMC 22C.090.030

BENEFIT	DENSITY INCENTIVE
3. COMMUNITY IMAGE AND IDENTITY	\$15,000 PER BONUS UNIT



**SUNRISE GROVE APARTMENTS**  
4726 GROVE ST, MARYSVILLE, WA 98270

**REVISIONS**

No.	Description	Date

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**SITE PLAN**

Date **MARCH 31, 2023**

Project **A.2206.01**

Scale **As indicated**

**A1.00**





**SUNRISE GROVE APARTMENTS**  
4726 GROVE ST, MARYSVILLE, WA 98270

REVISIONS		
No.	Description	Date

File No. PA23002

Project Status

Sheet  
**LIFE SAFETY PLANS**

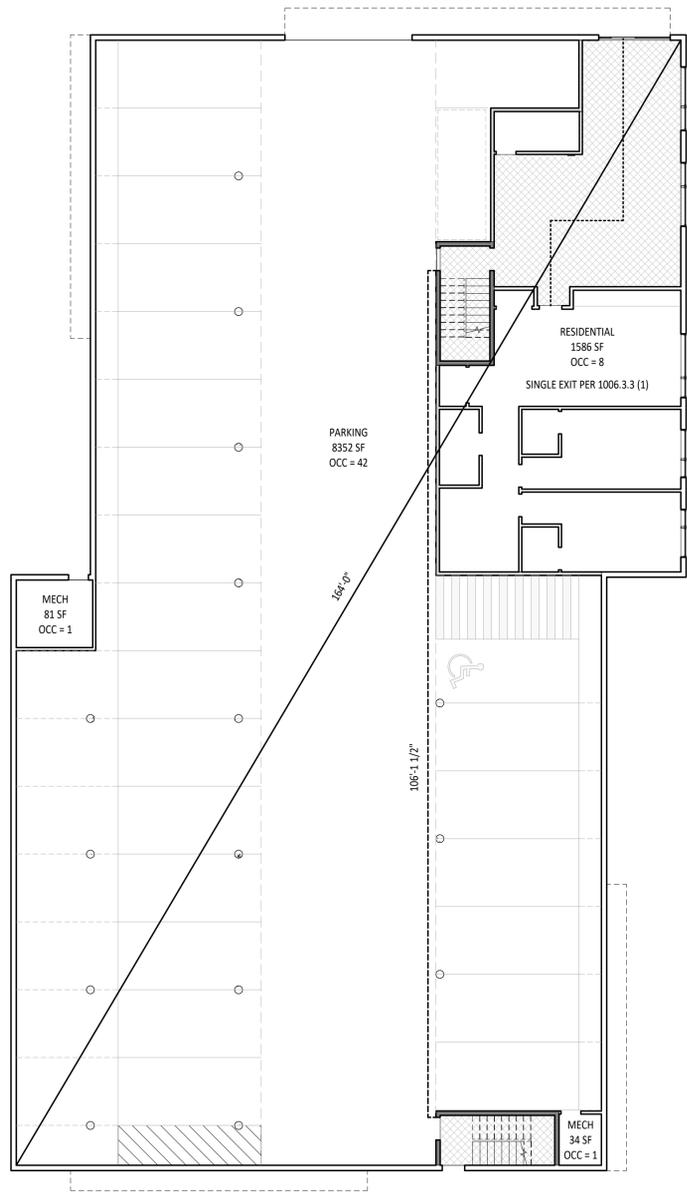
Date **MARCH 31, 2023**

Project **A.2206.01**

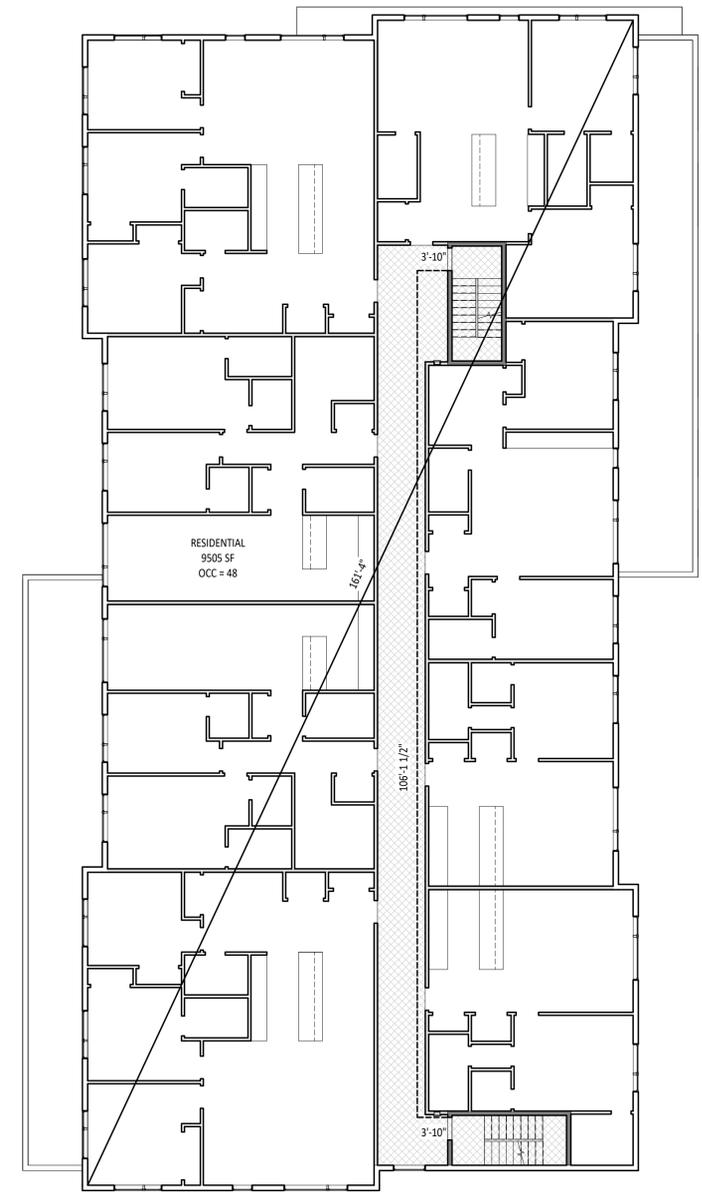
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**A1.10**

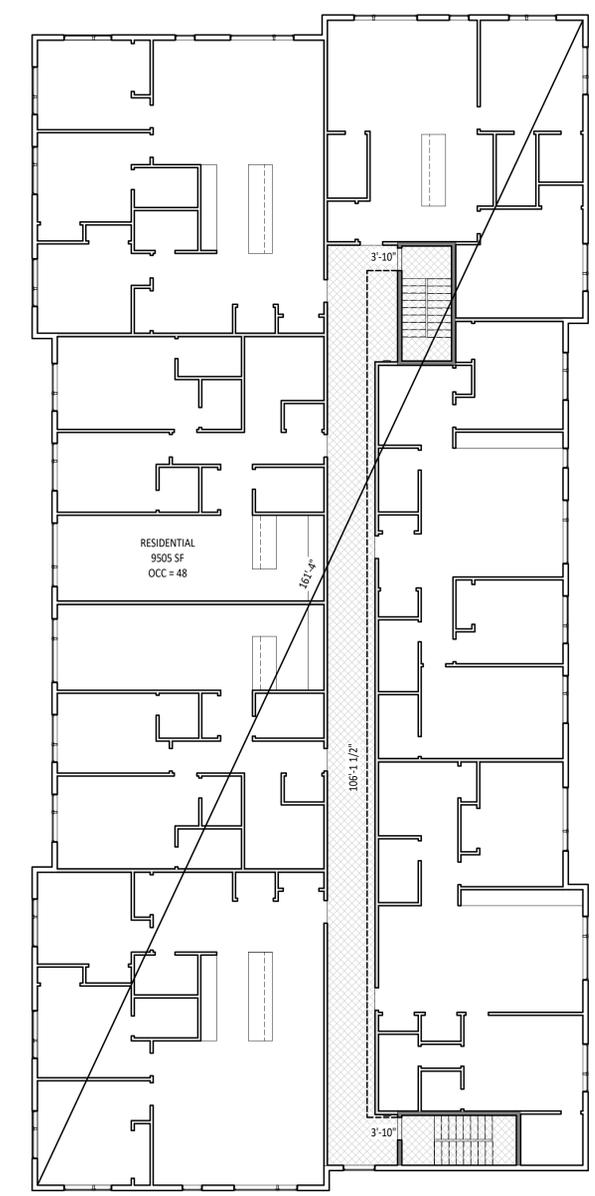
LIFE SAFETY LEGEND		MEANS OF EGRESS CALCULATIONS	
	1-HR FIRE-RATED EGRESS CORRIDOR	<b>OCCUPANCY CLASSIFICATION</b>	IBC 310
	1-HR FIRE-RATED WALLS	R-2	
	2-HR FIRE-RATED WALLS	<b>MAX FLOOR AREA ALLOWANCE</b>	IBC TABLE 1004.5
	EXIT SEPARATION	RESIDENTIAL	200 SF GROSS
	ACCESSIBLE ROUTE	PARKING GARAGES	200 SF GROSS
		ACCESSORY STORAGE, MECH EQUIPMENT ROOM	300 SF GROSS
		<b>TOTAL OCCUPANT LOAD</b>	<b>148</b>
		<b>STAIRWAY CAPACITY</b>	
		148 x 0.2 (PER 1005.3.1, EXCEPTION 1)	29.6"
		<b>EXIT SEPARATION</b>	IBC 1007.1.1
		<b>FLOOR</b>	<b>MAX DIMENSION</b>
		FLOOR 01	164'-0"
		FLOOR 02	161'-4"
		FLOOR 03	161'-4"
		<b>REQ'D SEPARATION</b>	<b>PROVIDED</b>
			106'-1 1/2"
			113'-9 1/2"
			113'-9 1/2"



**1 LIFE SAFETY PLAN - FLOOR 01**  
3/32" = 1'-0"



**2 LIFE SAFETY PLAN - FLOOR 02**  
3/32" = 1'-0"



**3 LIFE SAFETY PLAN - FLOOR 03**  
3/32" = 1'-0"

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**SUNRISE GROVE APARTMENTS**  
4726 GROVE ST, MARYSVILLE, WA 98270

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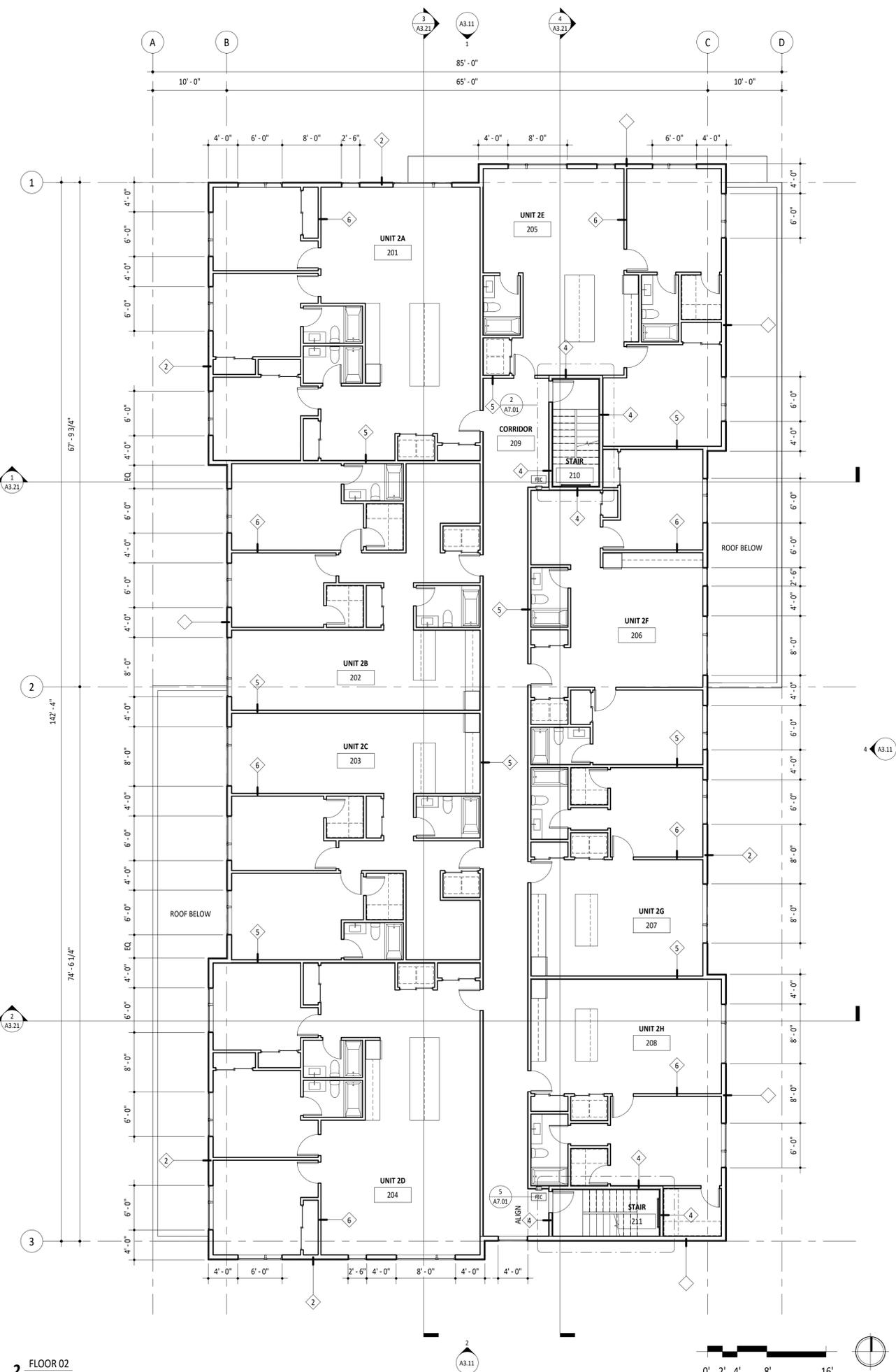
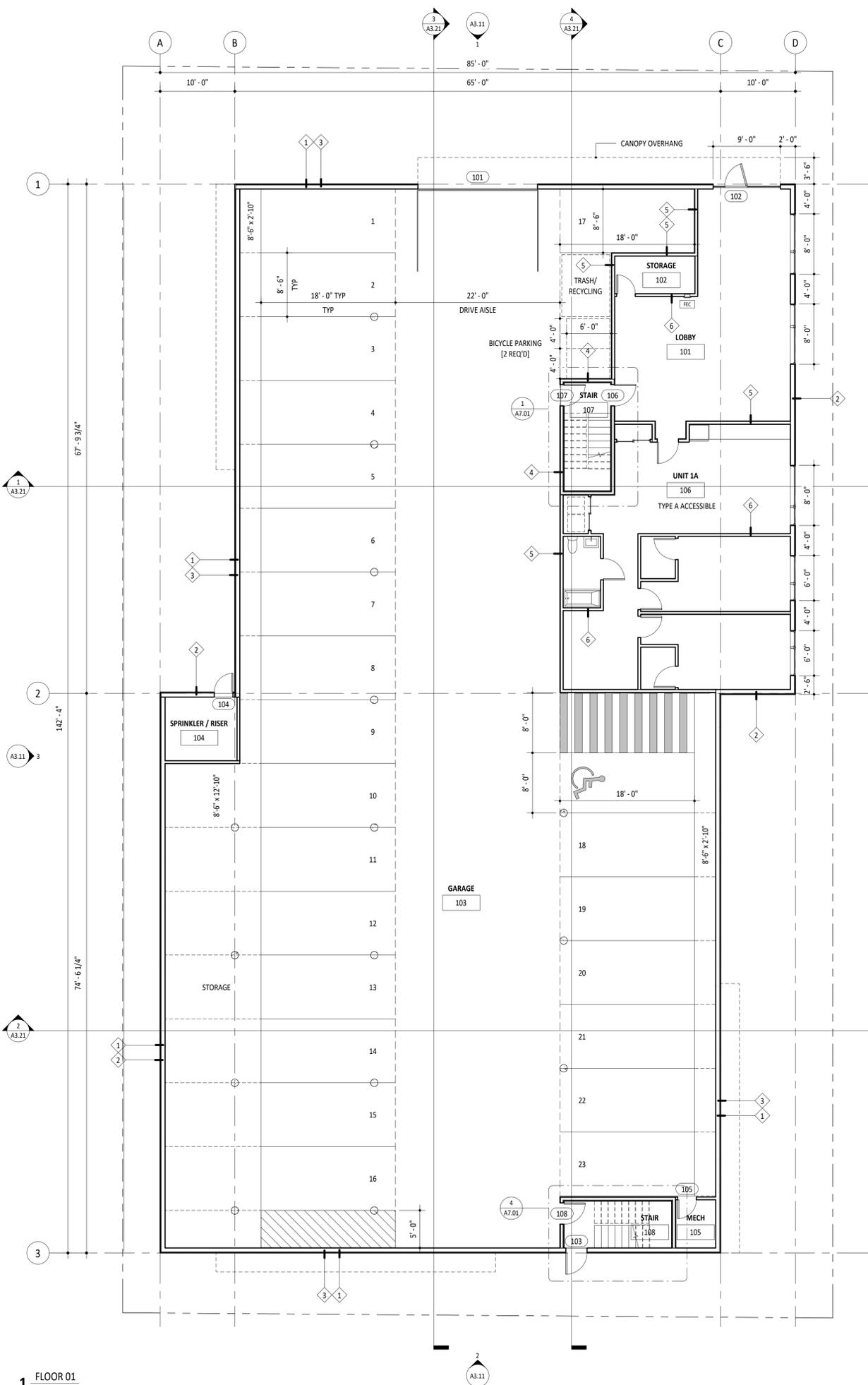
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**FLOOR PLANS - FLOORS 01 AND 02**

Date MARCH 31, 2023

Project A.2206.01

Scale 1/8" = 1'-0"

**A2.10**



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**SUNRISE GROVE APARTMENTS**  
4726 GROVE ST, MARYSVILLE, WA 98270

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No.	Description	Date

File No. PA23002

Project Status

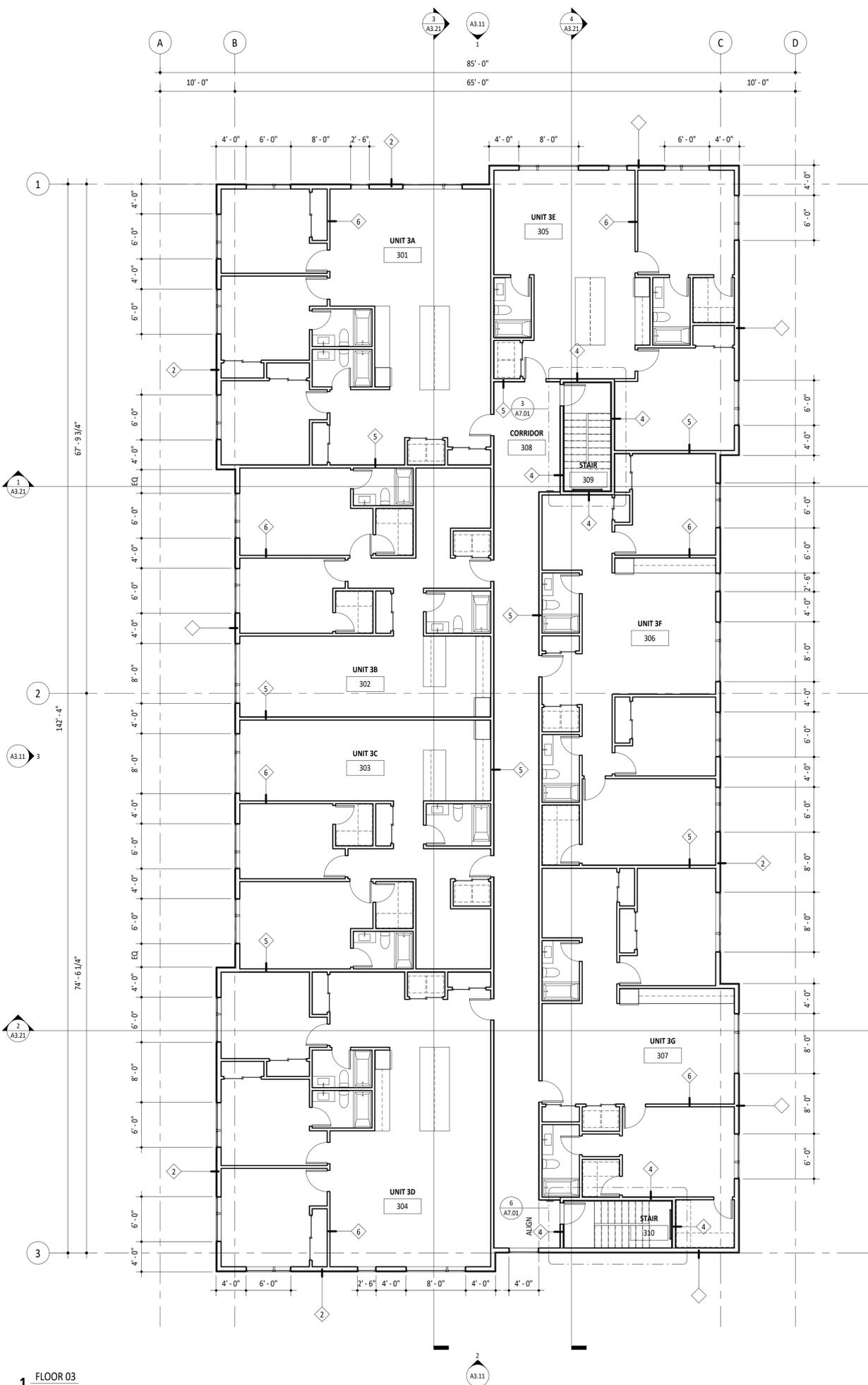
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**FLOOR PLANS - FLOOR 03  
AND ROOF**

Date MARCH 31, 2023

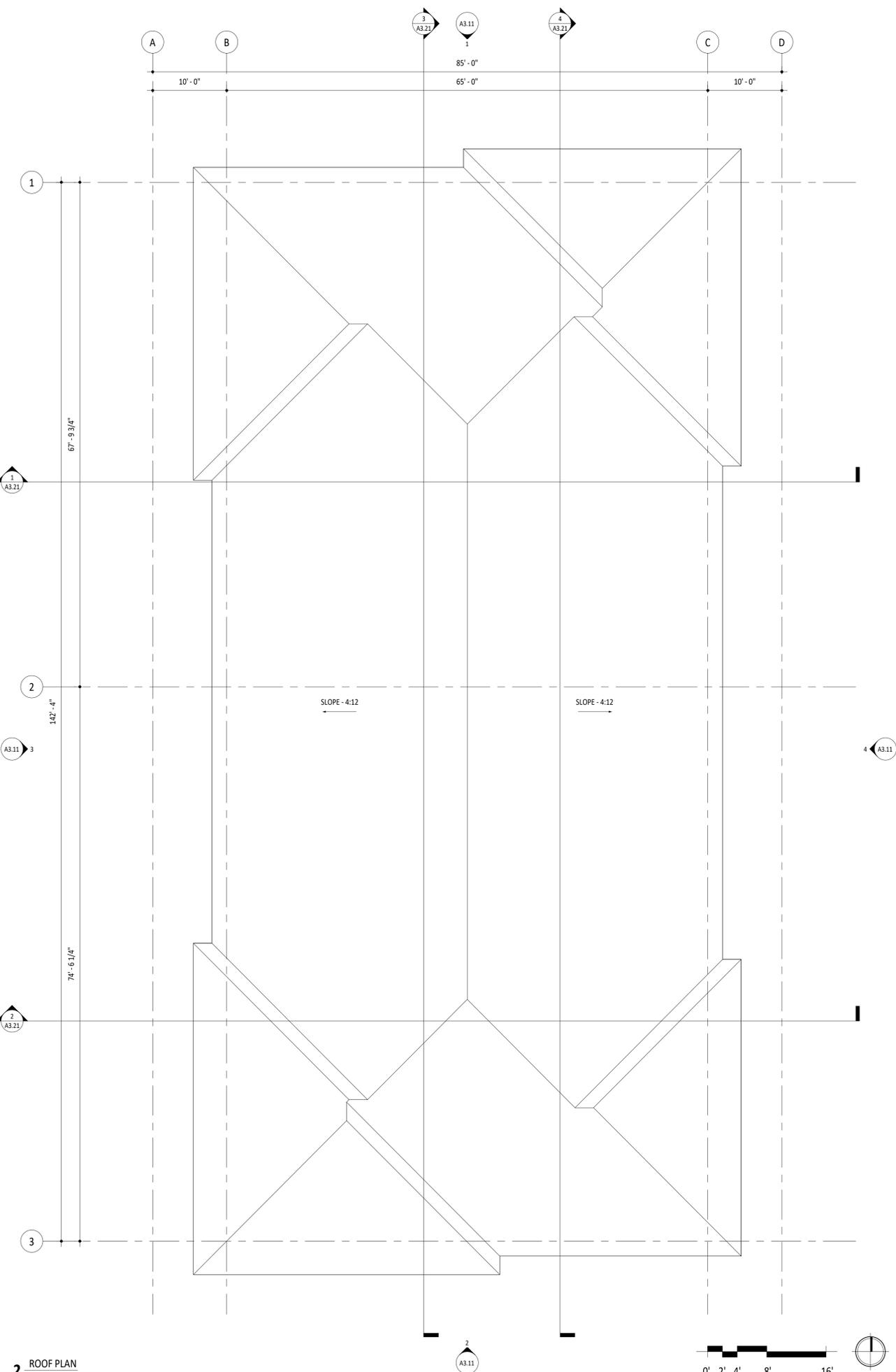
Project A.2206.01

Scale 1/8" = 1'-0"

**A2.20**



**1 FLOOR 03**  
1/8" = 1'-0"



**2 ROOF PLAN**  
1/8" = 1'-0"





**SUNRISE GROVE APARTMENTS**  
4726 GROVE ST, MARYSVILLE, WA 98270

**ALLOWABLE OPENING AREA**  
IBC TABLE 705.8

MAXIMUM AREA OF EXTERIOR WALL OPENINGS

FIRE SEPARATION DISTANCE: 15 TO LESS THAN 10 FEET (1F)  
10 TO LESS THAN 15 FEET (2F-3F)

DEGREE OF OPENING PROTECTION: UNPROTECTED, SPRINKLERED

ALLOWABLE AREA: 25% (1F)  
45% (2F-3F)

	EXT WALL SURFACE AREA	OPENING AREA	PERCENTAGE
1F	4874 SF	404 SF	08.29%
2F	4346 SF	981 SF	22.57%
3F	3708 SF	981 SF	26.45%

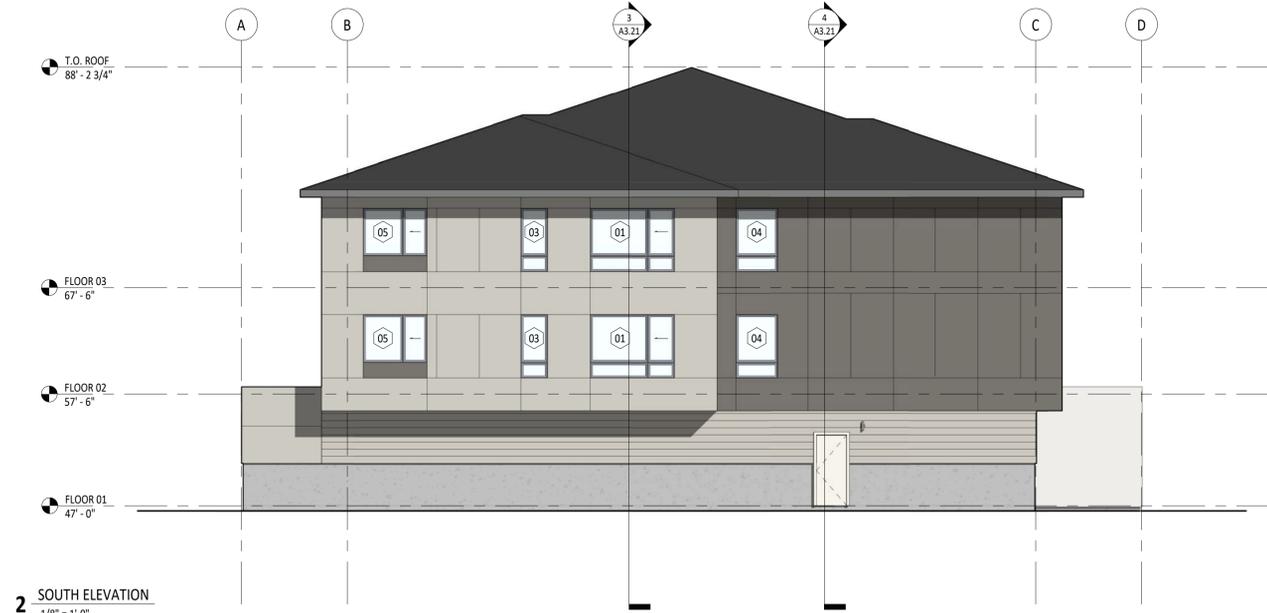
PER IBC 903.3.1.1 AUTOMATIC SPRINKLER SYSTEM TO BE INSTALLED THROUGHOUT IN ACCORDANCE WITH NFPA 13



**3 WEST ELEVATION**  
1/8" = 1'-0"



**1 NORTH ELEVATION**  
1/8" = 1'-0"



**2 SOUTH ELEVATION**  
1/8" = 1'-0"



**4 EAST ELEVATION**  
1/8" = 1'-0"

**REVISIONS**

No.	Description	Date

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Project Status

Sheet  
**EXTERIOR ELEVATIONS**

Date **MARCH 31, 2023**

Project **A.2206.01**  
Scale **As indicated**

**A3.11**



**SUNRISE GROVE APARTMENTS**  
4726 GROVE ST, MARYSVILLE, WA 98270

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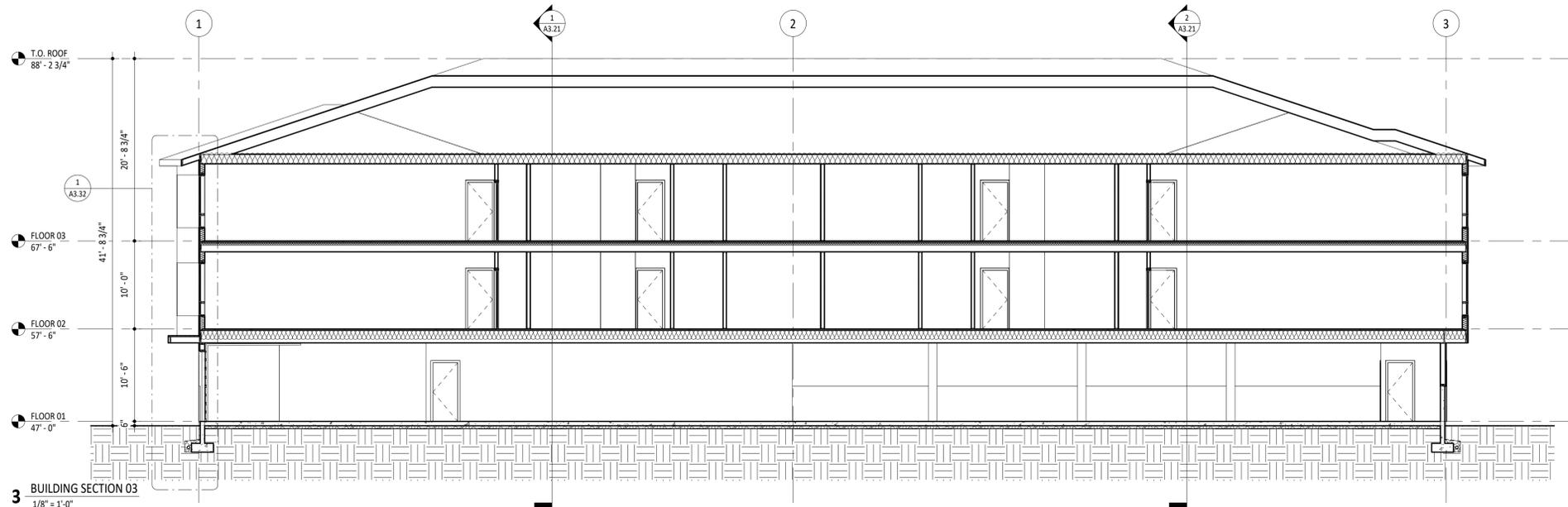
**BUILDING SECTIONS**

Date MARCH 31, 2023

Project A.2206.01

Scale 1/8" = 1'-0"

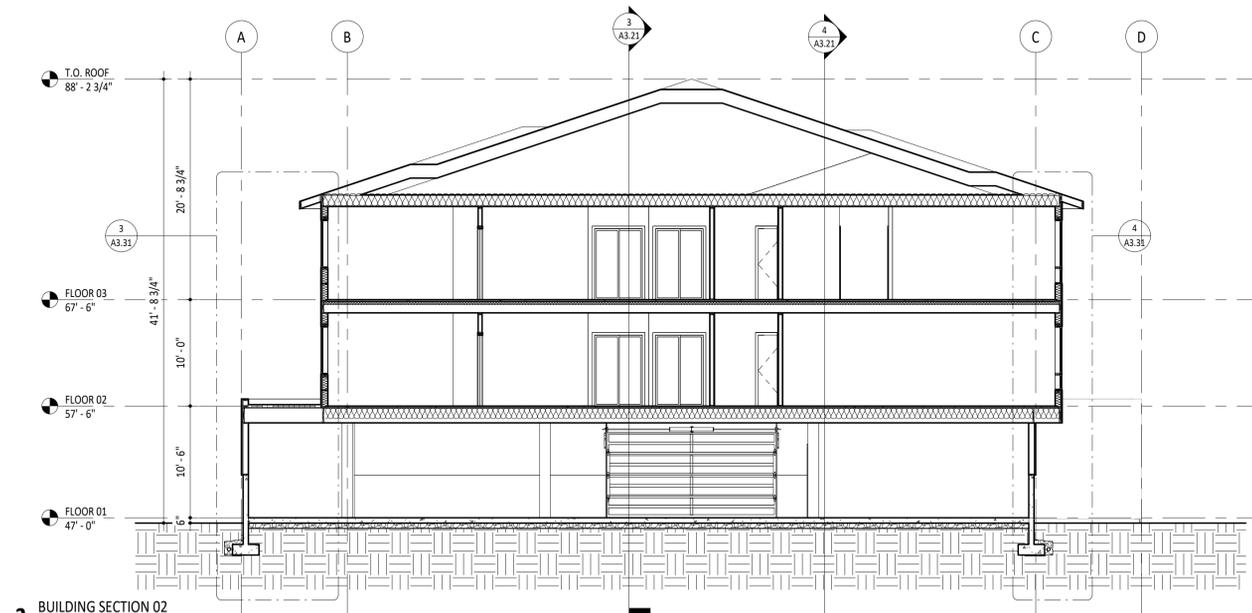
**A3.21**



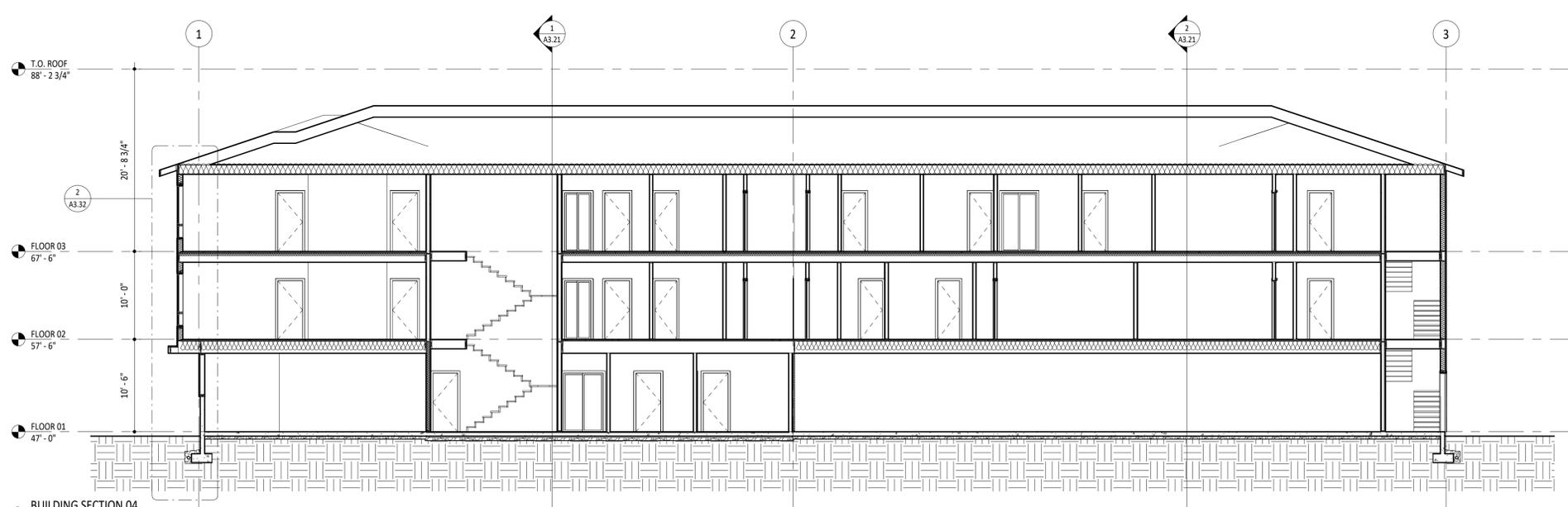
**3 BUILDING SECTION 03**  
1/8" = 1'-0"



**1 BUILDING SECTION 01**  
1/8" = 1'-0"



**2 BUILDING SECTION 02**  
1/8" = 1'-0"



**4 BUILDING SECTION 04**  
1/8" = 1'-0"



**SUNRISE GROVE APARTMENTS**  
4726 GROVE ST, MARYSVILLE, WA 98270

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No.	Description	Date

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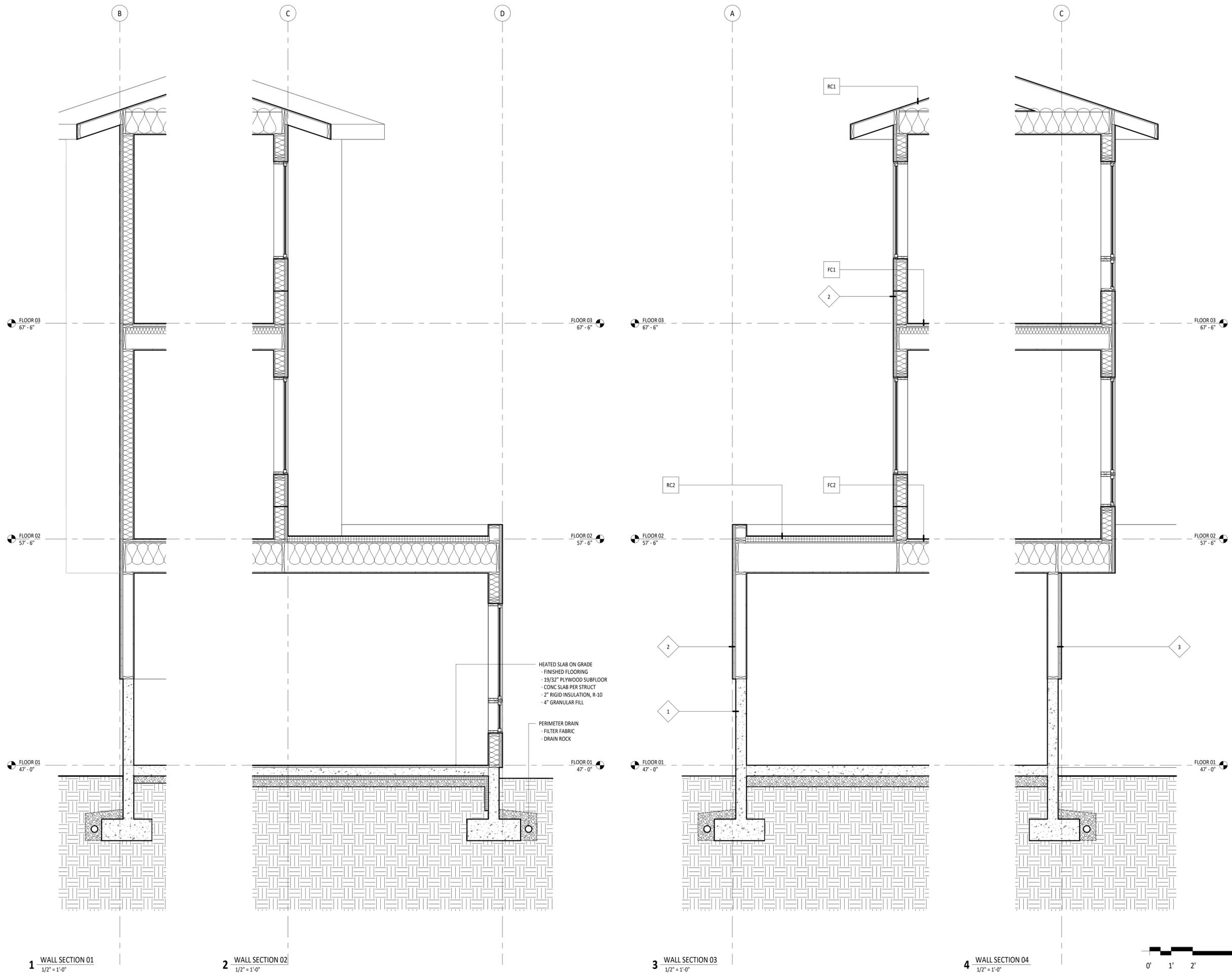
**WALL SECTIONS**

Date MARCH 31, 2023

Project A.2206.01

Scale 1/2" = 1'-0"

**A3.31**







**SUNRISE GROVE APARTMENTS**  
4726 GROVE ST, MARYSVILLE, WA 98270

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File No. PA23002

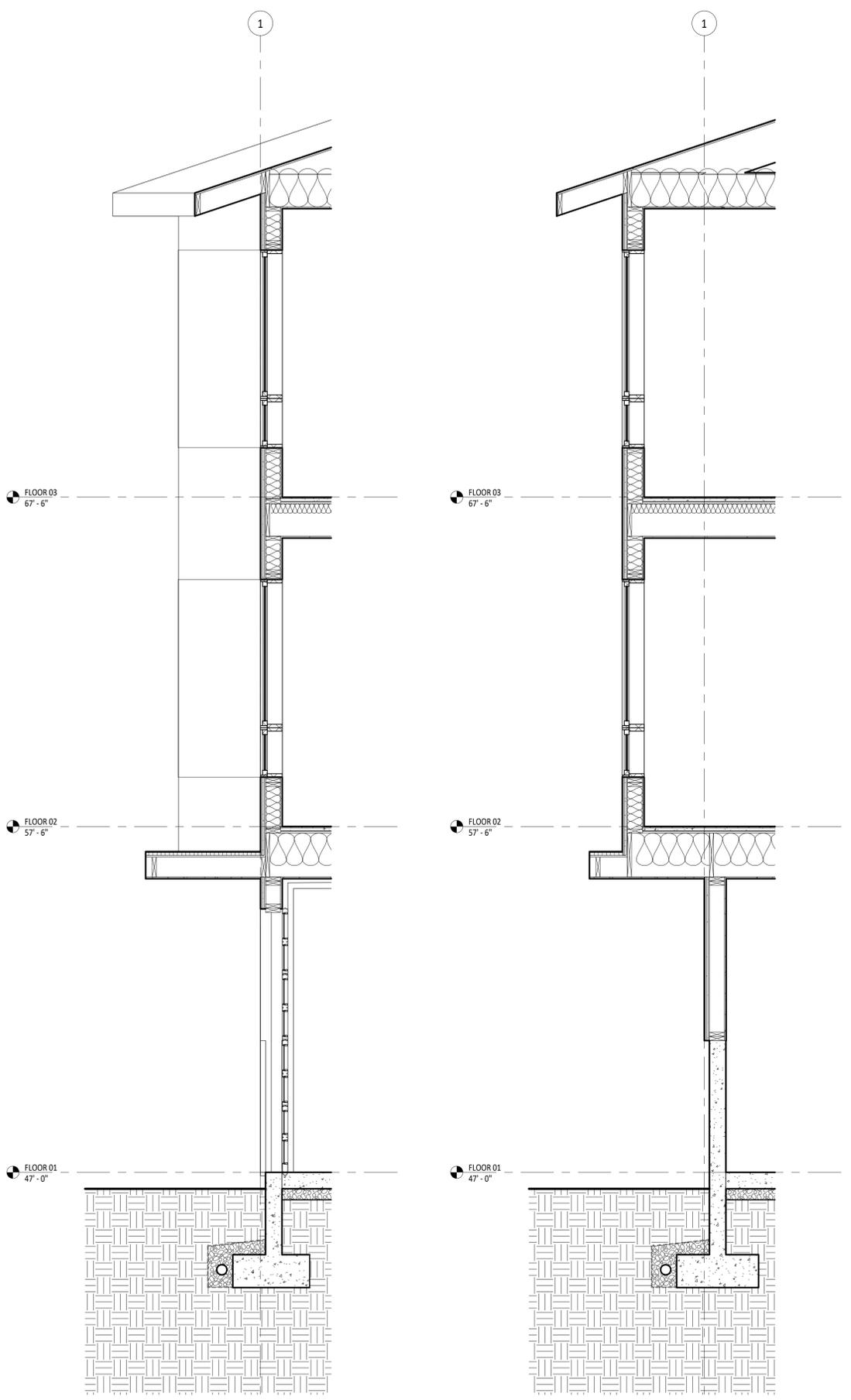
Project Status

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**WALL SECTIONS**

Date MARCH 31, 2023

Project A.2206.01  
Scale 1/2" = 1'-0"

**A3.32**



**1** WALL SECTION 05  
1/2" = 1'-0"

**2** WALL SECTION 06  
1/2" = 1'-0"

REVISIONS

No.	Description	Date

File No. PA23002

Project Status

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**ENLARGED UNIT PLANS AND ACCESSIBILITY DETAILS**

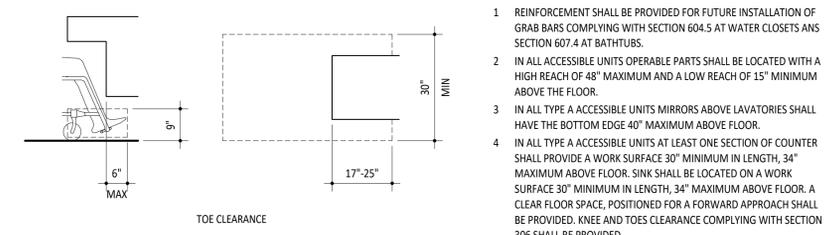
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Project A.2206.01

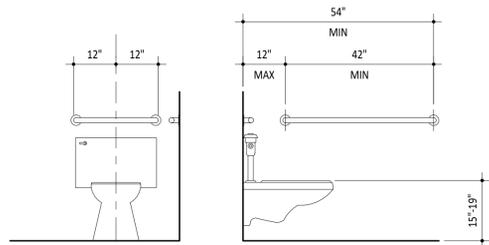
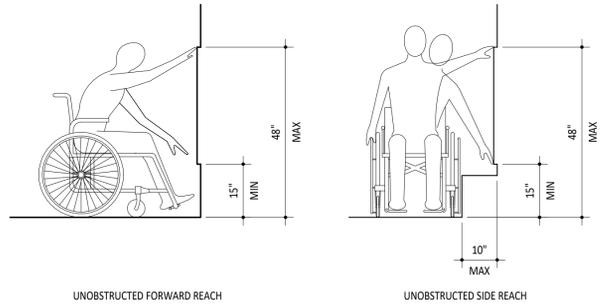
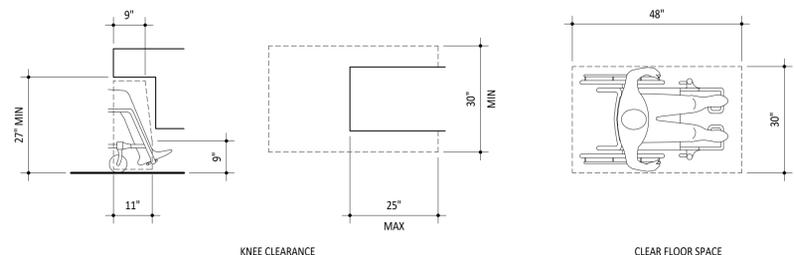
Scale As indicated

**A4.11**

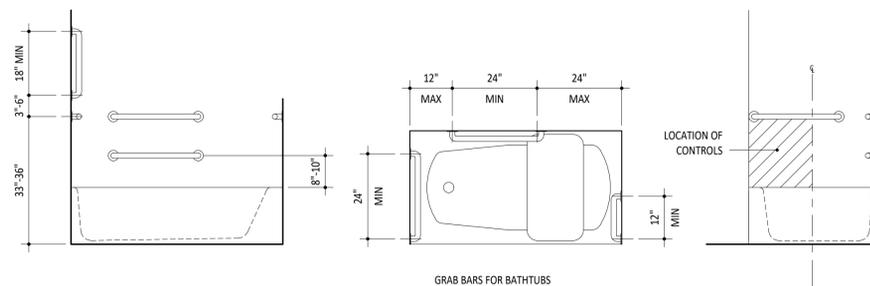
ACCESSIBILITY DETAILS



- 1 REINFORCEMENT SHALL BE PROVIDED FOR FUTURE INSTALLATION OF GRAB BARS COMPLYING WITH SECTION 604.5 AT WATER CLOSETS AND SECTION 607.4 AT BATHTUBS.
- 2 IN ALL ACCESSIBLE UNITS OPERABLE PARTS SHALL BE LOCATED WITH A HIGH REACH OF 48" MAXIMUM AND A LOW REACH OF 15" MINIMUM ABOVE THE FLOOR.
- 3 IN ALL TYPE A ACCESSIBLE UNITS MIRRORS ABOVE LAVATORIES SHALL HAVE THE BOTTOM EDGE 40" MAXIMUM ABOVE FLOOR.
- 4 IN ALL TYPE A ACCESSIBLE UNITS AT LEAST ONE SECTION OF COUNTER SHALL PROVIDE A WORK SURFACE 30" MINIMUM IN LENGTH, 34" MAXIMUM ABOVE FLOOR. SINK SHALL BE LOCATED ON A WORK SURFACE 30" MINIMUM IN LENGTH, 34" MAXIMUM ABOVE FLOOR. A CLEAR FLOOR SPACE, POSITIONED FOR A FORWARD APPROACH SHALL BE PROVIDED. KNEE AND TOES CLEARANCE COMPLYING WITH SECTION 306 SHALL BE PROVIDED.

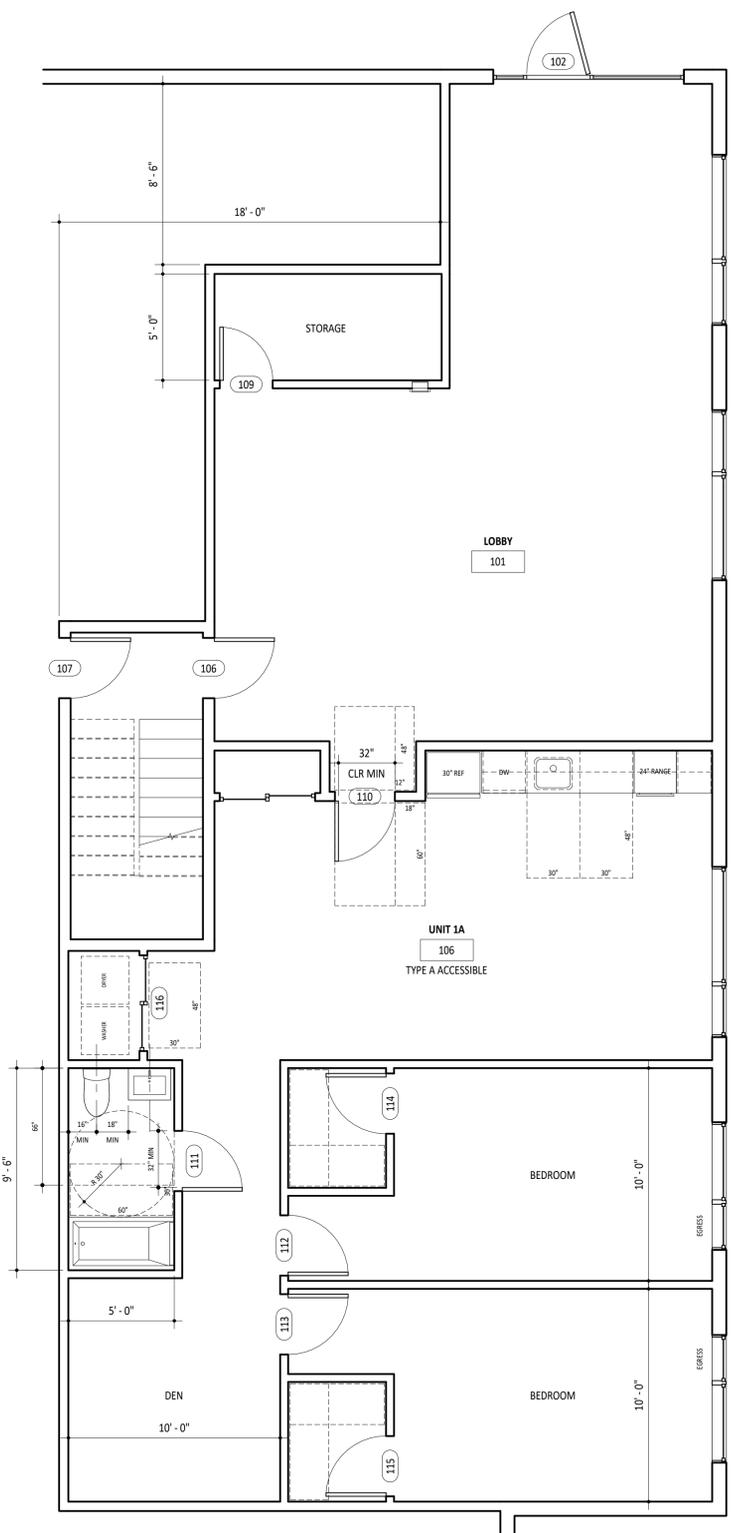
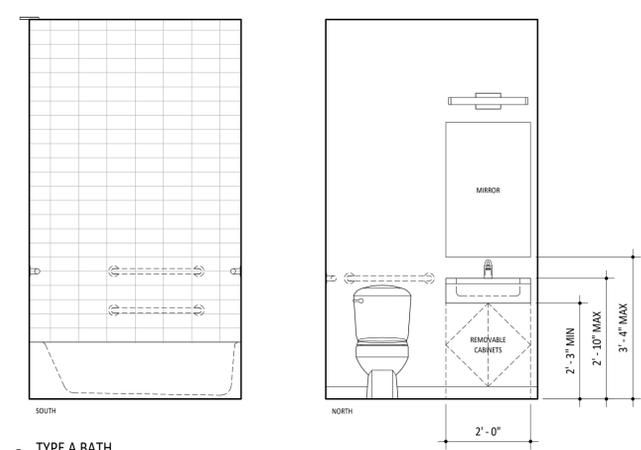
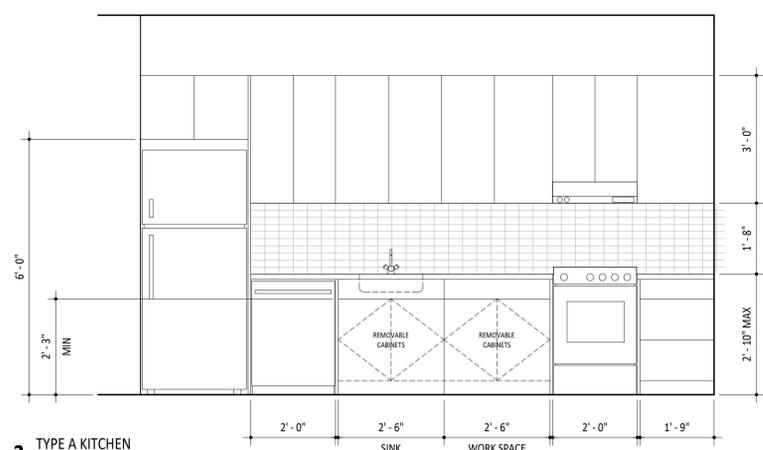


GRAB BARS AT WATER CLOSET



INTERIOR ELEVATION NOTES

- 1 IN TYPE A UNITS CABINERY SHALL BE PERMITTED UNDER THE WORK SURFACE PROVIDED THE CABINERY CAN BE REMOVED WITHOUT REMOVAL OR REPLACEMENT OF THE WORK SURFACE. THE FLOOR FINISH EXTENDS UNDER THE CABINERY, AND THE WALLS BEHIND AND SURROUNDING THE CABINERY ARE FINISHED.
- 2 IN TYPE A UNITS CABINERY SHALL BE PERMITTED UNDER THE SINK PROVIDED THE CABINERY CAN BE REMOVED WITHOUT REMOVAL OR REPLACEMENT OF THE SINK; THE FLOOR FINISH EXTENDS UNDER THE CABINERY, AND THE WALLS BEHIND AND SURROUNDING THE CABINERY ARE FINISHED.
- 3 IN TYPE A AND TYPE B UNITS, REINFORCEMENT SHALL BE PROVIDED FOR FUTURE INSTALLATION OF GRAB BARS.
- 4 IN TYPE A AND TYPE B UNITS CABINERY SHALL BE PERMITTED UNDER THE LAVATORY PROVIDED THE CABINERY CAN BE REMOVED WITHOUT REMOVAL OR REPLACEMENT OF THE LAVATORY; THE FLOOR FINISH EXTENDS UNDER THE CABINERY; AND THE WALLS BEHIND AND SURROUNDING THE CABINERY ARE FINISHED.
- 5 WATER SUPPLY AND DRAINPIPES UNDER LAVATORIES AND SINKS SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES OR SINKS.

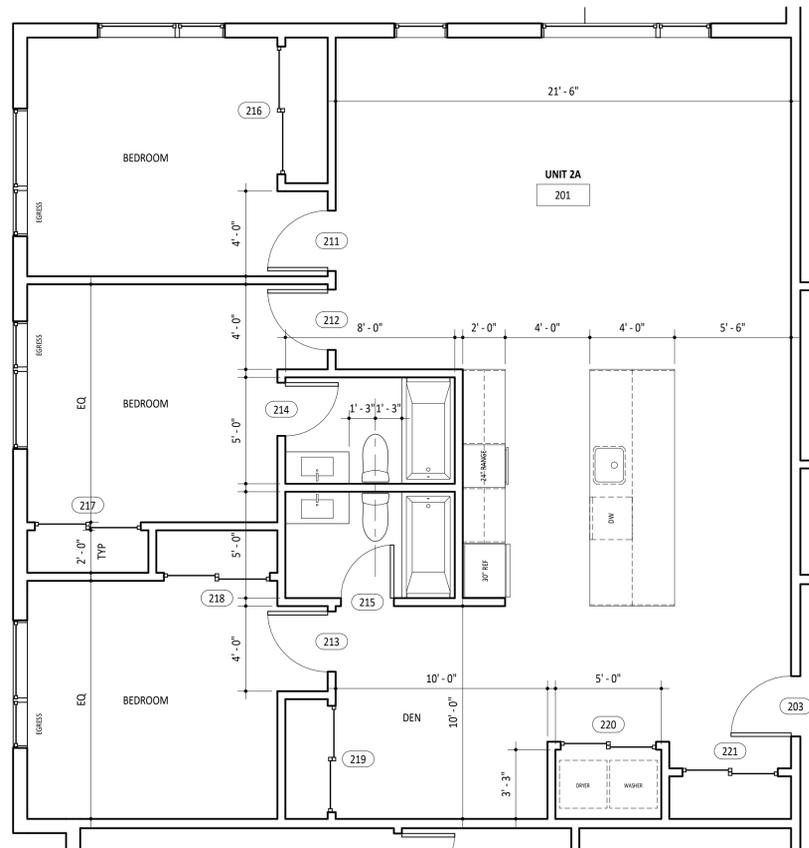




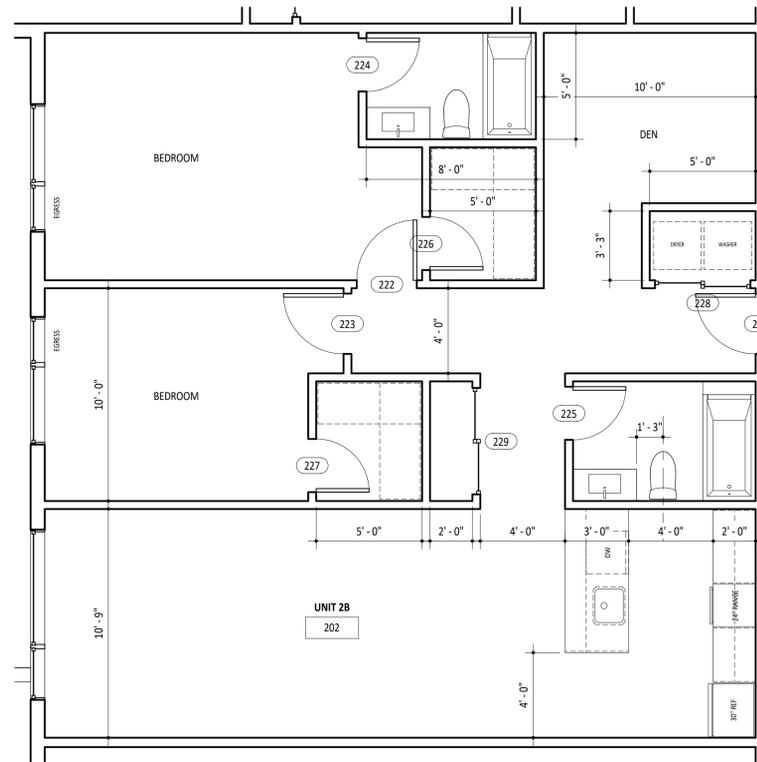
**SUNRISE GROVE APARTMENTS**  
4726 GROVE ST, MARYSVILLE, WA 98270

**GENERAL PLAN NOTES**

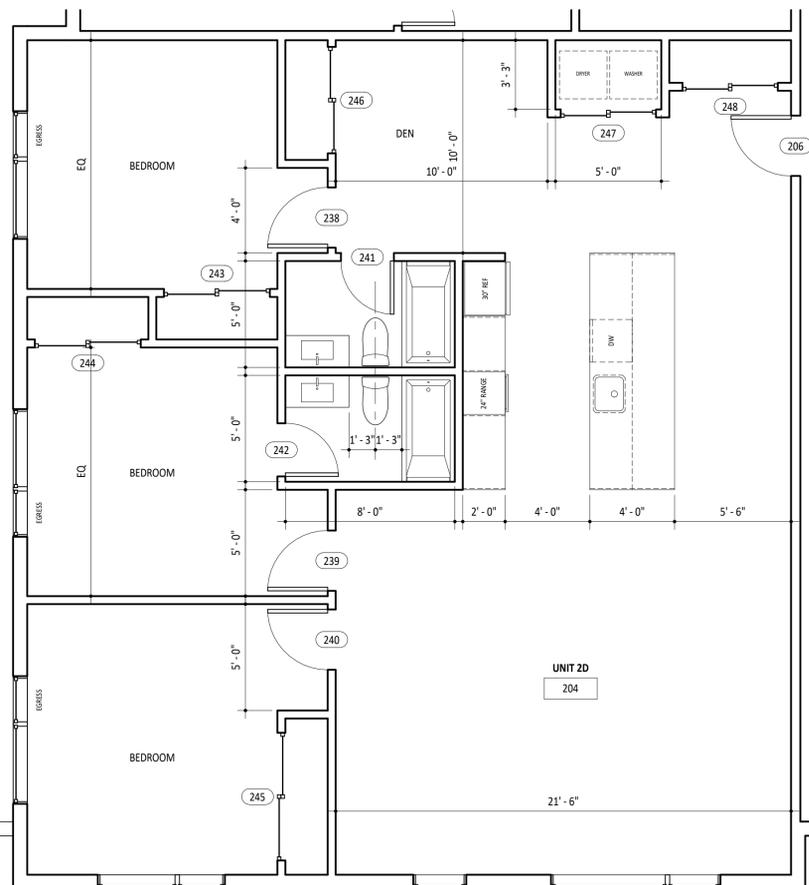
- 1 EVERY SLEEPING ROOM SHALL HAVE ONE OPERABLE EGRESS WINDOW WITH A 5.7 S.F. MIN. NET CLEAR OPENING, 20" CLEAR OPENING MIN. WIDTH AND 24" MIN. CLEAR OPEN HEIGHT.
- 2 ALL HANDRAIL AND HANDRAIL EXTENSIONS SHALL BE PLACED 36" ABOVE TREAD NOSING AND LANDINGS. HANDRAIL GRASPING DIMENSION SHALL BE 1-1/4" MINIMUM AND 2" MAXIMUM.
- 3 DRAFT STOPS SHALL BE INSTALLED IN FLOOR-CEILING ASSEMBLIES SO THAT CONCEALED SPACE DOES NOT EXCEED 1000 S.F. FIREBLOCKING SHALL BE PROVIDED.
- 4 ELECTRICAL OUTLETS IN ALL BATHROOMS, KITCHENS AND GARAGES SHALL BE PROVIDED WITH GFI PROTECTION.
- 5 SHOWERS SHALL BE LIMITED TO 23 GALLONS PER MINUTE. LAVATORY FAUCETS SHALL BE LIMITED TO 25 GALLONS PER MINUTE. TOILETS SHALL BE LIMITED TO 16 GALLONS PER FLUSH.
- 6 ALL PENETRATIONS THROUGH FLOORS AND CEILINGS SHALL BE CAULKED AND SEALED.
- 7 LOCKING DEVICES SHALL BE INSTALLED ON ALL OPERABLE WINDOWS AND SLIDING DOORS WITHIN 10" VERTICALLY OF GRADE.
- 8 ALL WINDOW AND DOOR HEADERS SHALL BE INSULATED WITH A MINIMUM OF R-10 INSULATION.
- 9 U-FACTORS OF FENERSTRATION PRODUCTS SHALL BE DETERMINED IN ACCORDANCE WITH NFRC 100, LABELED AND CERTIFIED BY MANUFACTURER



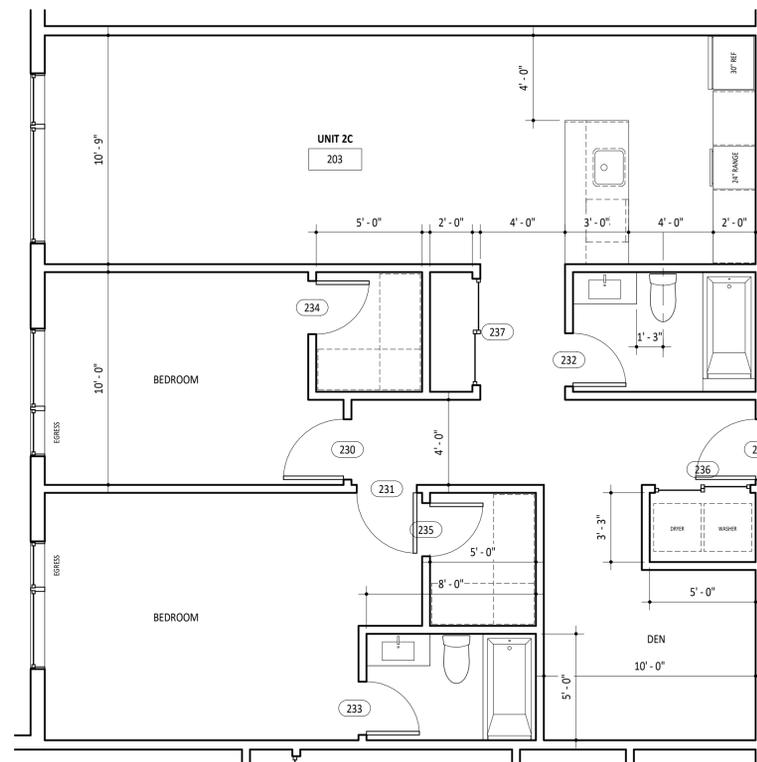
**1 ENLARGED FLOOR PLAN - UNIT 2A/3A**  
1/4" = 1'-0"



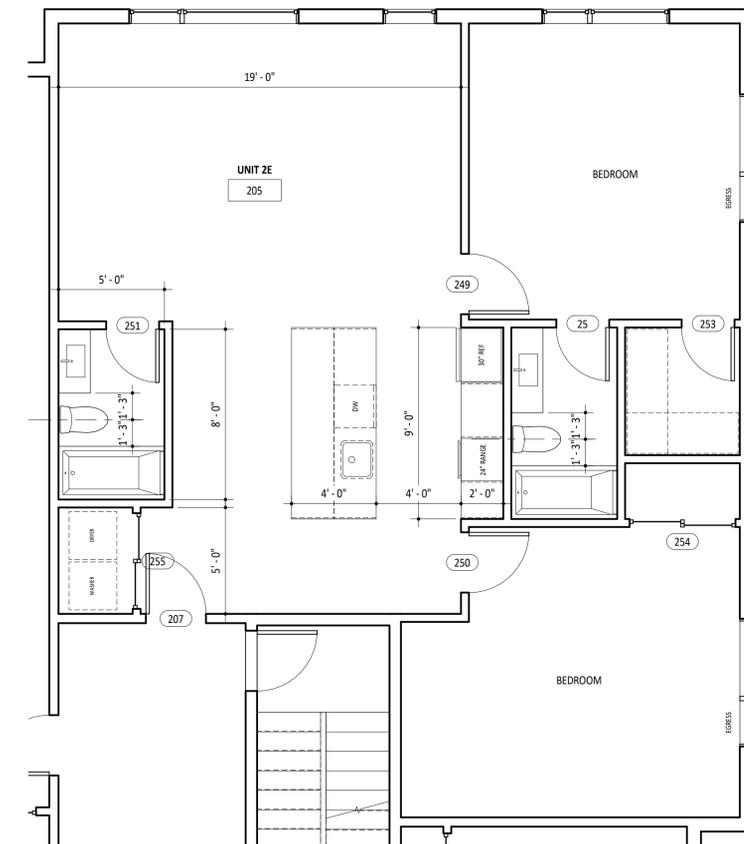
**3 ENLARGED FLOOR PLAN - UNIT 2B/3B**  
1/4" = 1'-0"



**2 ENLARGED FLOOR PLAN - UNIT 2D/3D**  
1/4" = 1'-0"



**4 ENLARGED FLOOR PLAN - UNIT 2C/3C**  
1/4" = 1'-0"



**5 ENLARGED FLOOR PLAN - UNIT 2E/3E**  
1/4" = 1'-0"

**REVISIONS**

No.	Description	Date

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Project Status

Sheet

**ENLARGED UNIT PLANS**

Date **MARCH 31, 2023**

Project **A.2206.01**

Scale **1/4" = 1'-0"**

**A4.12**





**SUNRISE GROVE APARTMENTS**  
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**ENLARGED UNIT PLANS**

Date MARCH 31, 2023

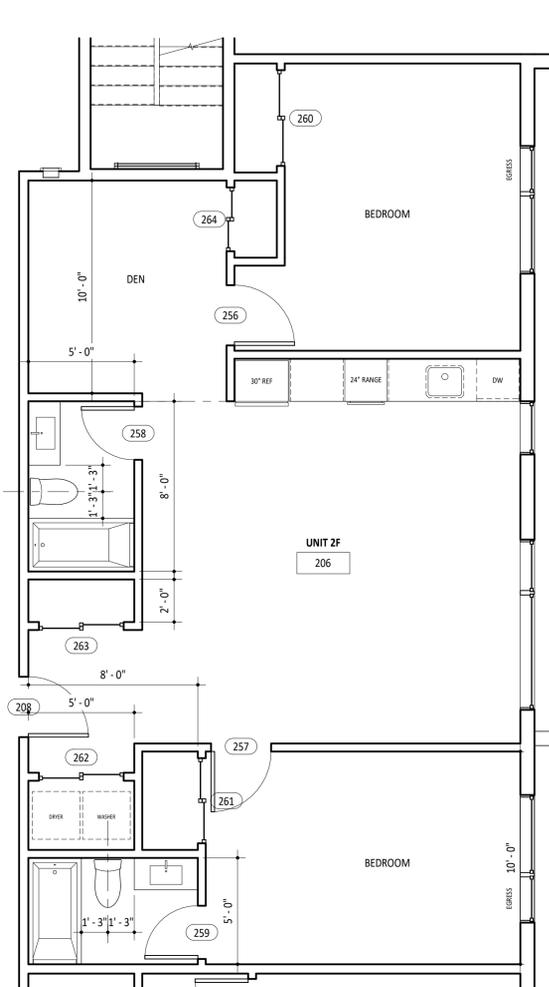
Project A.2206.01

Scale 1/4" = 1'-0"

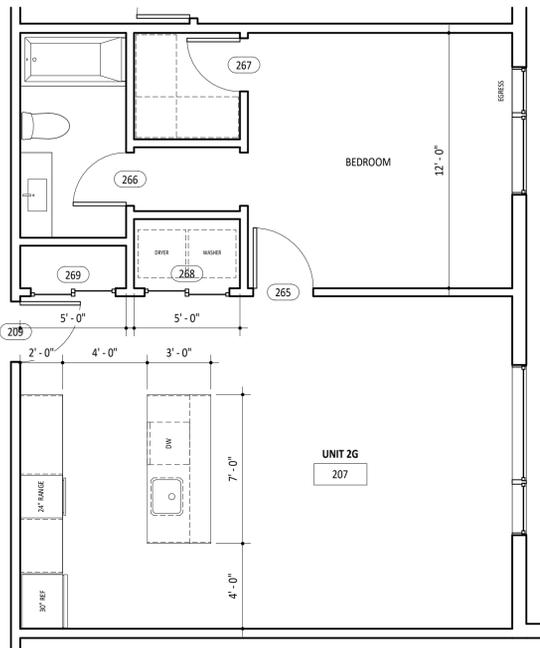
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GENERAL PLAN NOTES

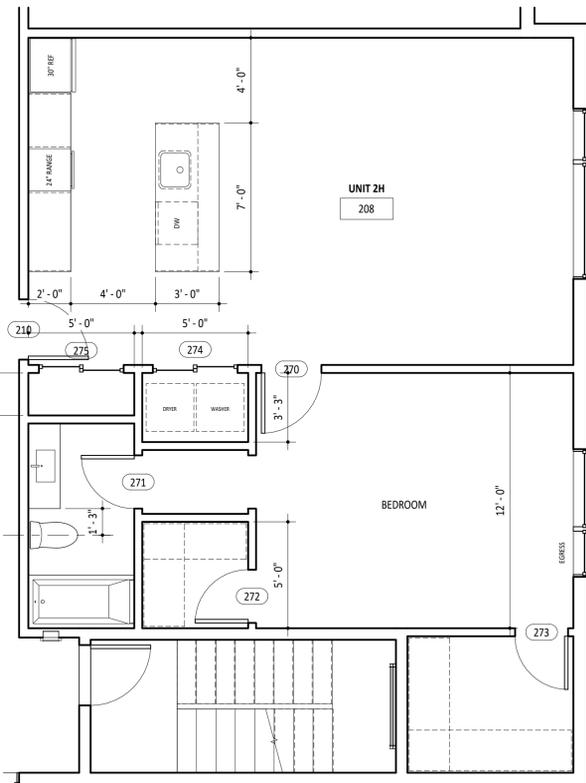
- 1 EVERY SLEEPING ROOM SHALL HAVE ONE OPERABLE EGRESS WINDOW WITH A 5.7 S.F. MIN. NET CLEAR OPENING, 20" CLEAR OPENING MIN. WIDTH AND 24" MIN. CLEAR OPEN HEIGHT.
- 2 ALL HANDRAIL AND HANDRAIL EXTENSIONS SHALL BE PLACED 36" ABOVE TREAD NOSING AND LANDINGS. HANDRAIL GRASPING DIMENSION SHALL BE 1-1/4" MINIMUM AND 2" MAXIMUM.
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- 8 ALL WINDOW AND DOOR HEADERS SHALL BE INSULATED WITH A MINIMUM OF R-10 INSULATION.
- 9 U-FACTORS OF FENERSTRATION PRODUCTS SHALL BE DETERMINED IN ACCORDANCE WITH NFRC 100, LABELED AND CERTIFIED BY MANUFACTURER



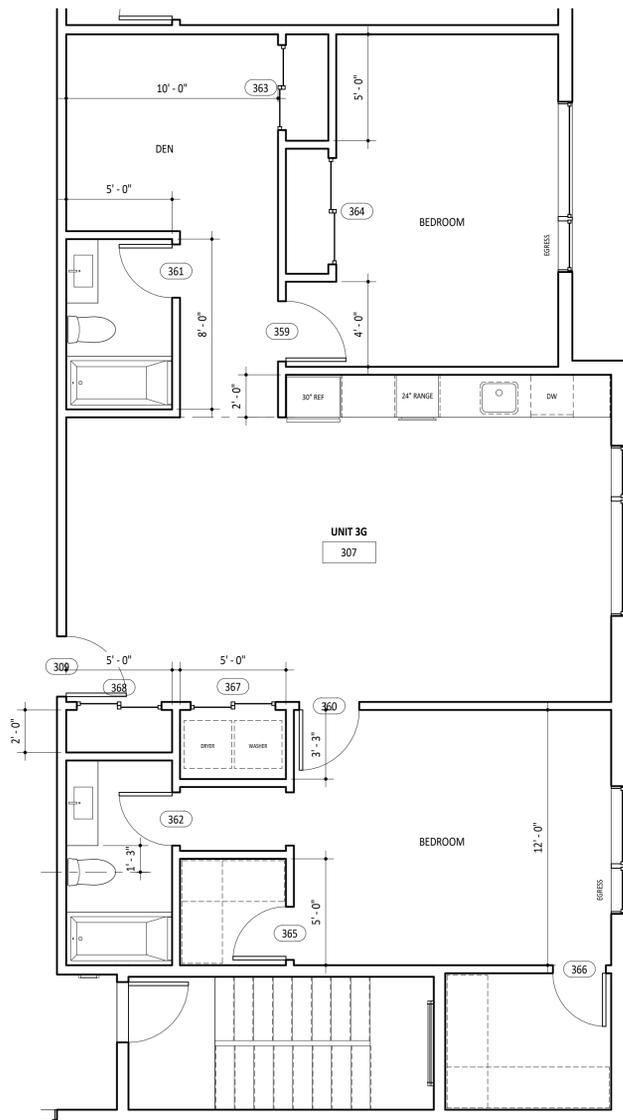
**1 ENLARGED FLOOR PLAN - UNIT 2F**  
1/4" = 1'-0"



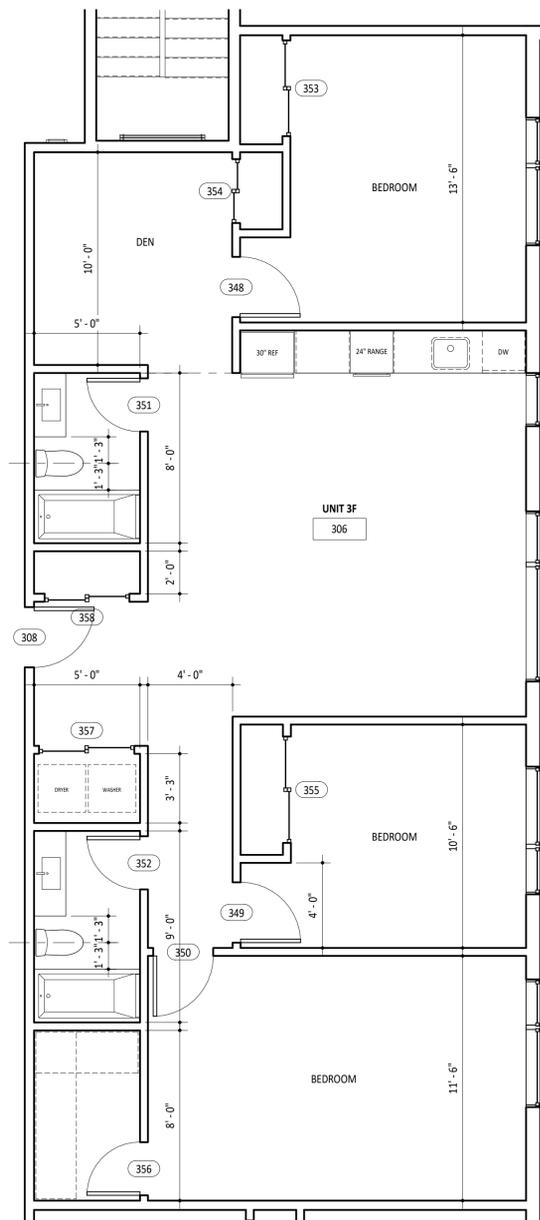
**3 ENLARGED FLOOR PLAN - UNIT 2G**  
1/4" = 1'-0"



**2 ENLARGED FLOOR PLAN - UNIT 2H**  
1/4" = 1'-0"



**4 ENLARGED FLOOR PLAN - UNIT 3G**  
1/4" = 1'-0"



**5 ENLARGED FLOOR PLAN - UNIT 3F**  
1/4" = 1'-0"







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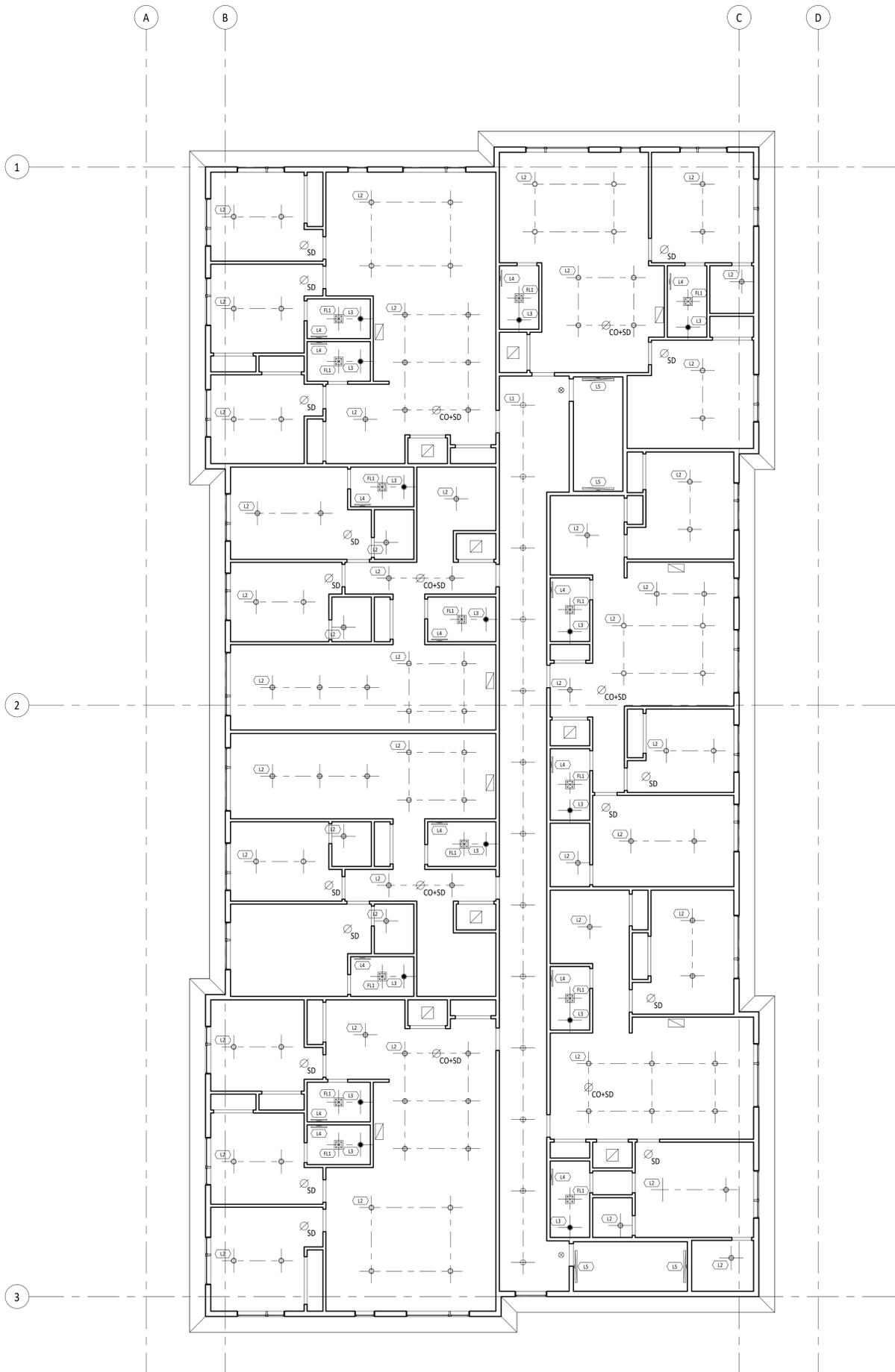
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**REFLECTED CEILING  
PLANS**

Date **MARCH 31, 2023**

Project **A.2206.01**

Scale **As indicated**

**A6.20**



**LIGHTING FIXTURE SCHEDULE**

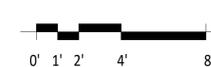
TYPE	COUNT	DESCRIPTION	MANUFACTURER	MODEL	WATTS	LOCATION	COMMENTS
E1	5	WALL-MOUNTED EXTERIOR LED	LUMASCAPE	LS121LED	12W	ENTRY	
EX1	7	SELF-ILLUMINATING EXIT SIGN	MAXILUM	ELX-605	21W		
FL1	29	FAN/LIGHT COMBO	PANASONIC	FV-0511VKL2	13.8W	UNIT BATH	IC-RATED W/ EMERGENCY BATTERY BALLAST
L1	32	4" RECESSED LED DOWNLIGHT	LIGHTOLIER	P4R	16.8W	CORRIDORS, LOBBY	IC-RATED W/ EMERGENCY BATTERY BALLAST
L2	229	5" SURFACE-MOUNTED LED DOWNLIGHT	LIGHTOLIER	SSR827K7AL	9.5W	UNIT LIVING, BEDROOM	WET-RATED
L3	28	5" SURFACE-MOUNTED LED DOWNLIGHT	LIGHTOLIER	SSR827K7AL-WR	9.5W	UNIT SHOWER	WET-RATED
L4	29	2" WALL-MOUNTED VANITY LIGHT	LITHONIA	FMVCCLS 24IN	18W	UNIT BATH	
L5	10	4" WALL-MOUNTED LED STAIR LIGHT	LITHONIA	WL4 30L LP840	28.2W	STAIRWAYS	BUILT-IN OCCUPANCY SENSOR, BUILT-IN EMERGENCY BALLAST, FIXTURE TO DIM TO 50% WHEN UNOCCUPIED
L6	8	SURFACE-MOUNTED LED GARAGE LIGHT	GARDCO	SVPG-A03-830	52 W	GARAGE	
<b>TOTAL WATTAGE</b>					<b>4673.3W</b>		

**REDUCED LIGHTING POWER**

2018 WSEC, C406: TOTAL INTERIOR LIGHTING POWER (WATTS) OF THE BUILDING SHALL BE 75 PERCENT OR LESS OF THE LIGHTING POWER VALUES SPECIFIED IN TABLE C405.4.2(1) TIMES THE FLOOR AREA FOR THE BUILDING TYPES

TABLE C405.4.2(1):	MULTIFAMILY - LPD = 0.41	
BLDG FLOOR AREA		30,276 SF
INTERIOR LIGHTING POWER ALLOWANCE	30,276 x 0.41	12,413.16W
<b>REDUCED LIGHTING POWER ALLOWANCE</b>		<b>412,413.16 x 0.75 = 9309.87W</b>
<b>TOTAL BUILDING LIGHTING POWER</b>		<b>4673.3W</b>

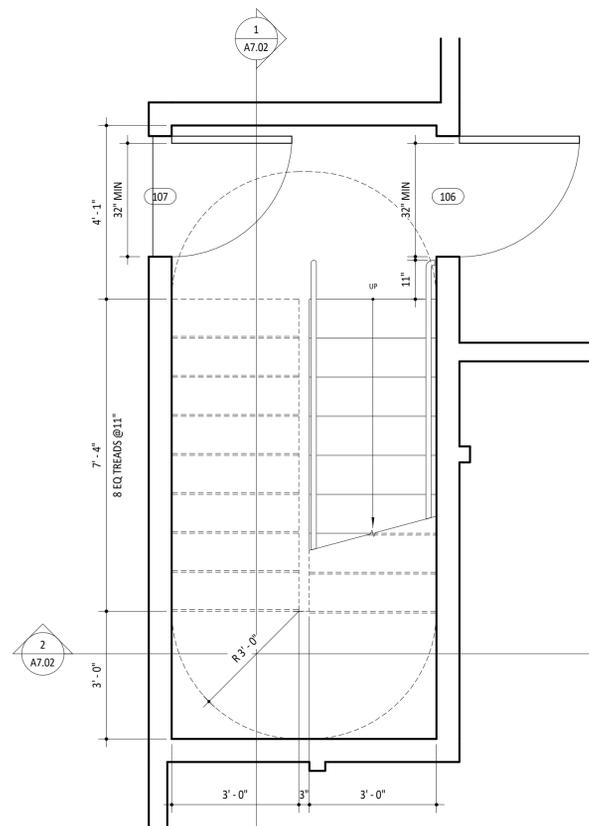
4/3/2023 2:32:14 PM



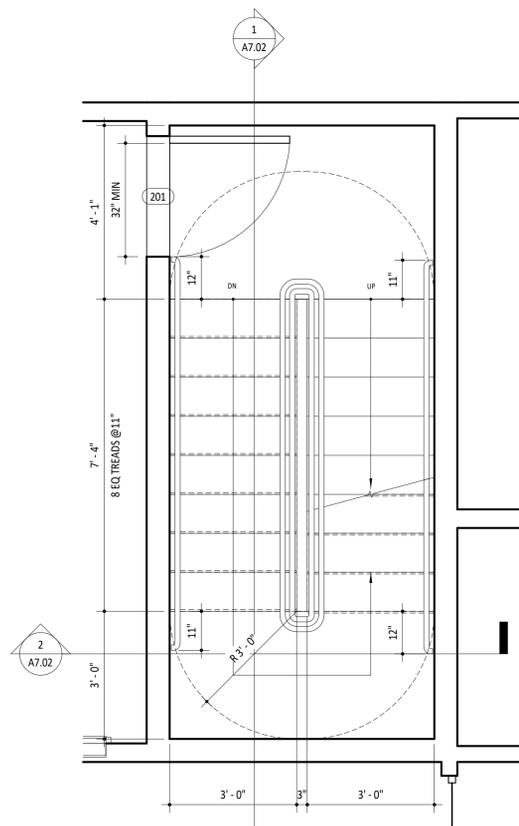


**STAIR NOTES**

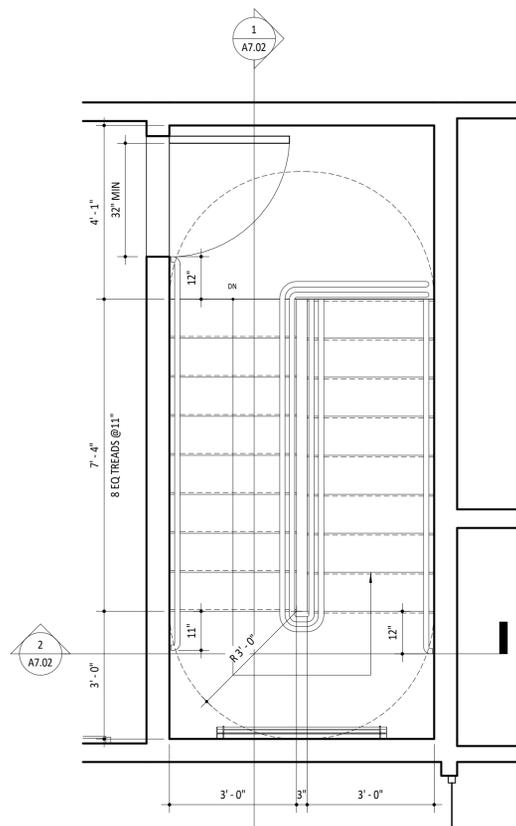
- 1 HANDRAILS SHALL HAVE A SPACE OF NOT LESS THAN 1-1/2" BETWEEN THE WALL AND THE HANDRAILS.
- 2 HANDRAILS SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4" AND NOT GREATER THAN 6-1/4" WITH A MAXI CROSS SECTION OF DIMENSION OF 2-1/4".
- 3 GUARDRAILS SHALL BE NOT LESS THAN 36 INCHES HIGH
- 4 GUARDRAILS SHALL NOT HAVE OPENINGS WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER
- 5 GUARD SHALL BE DESIGNED TO RESIST A CONCENTRATED LOAD OF 200LBS AT THE GUARDRAIL AND 50 LBS AT INFILL COMPONENTS



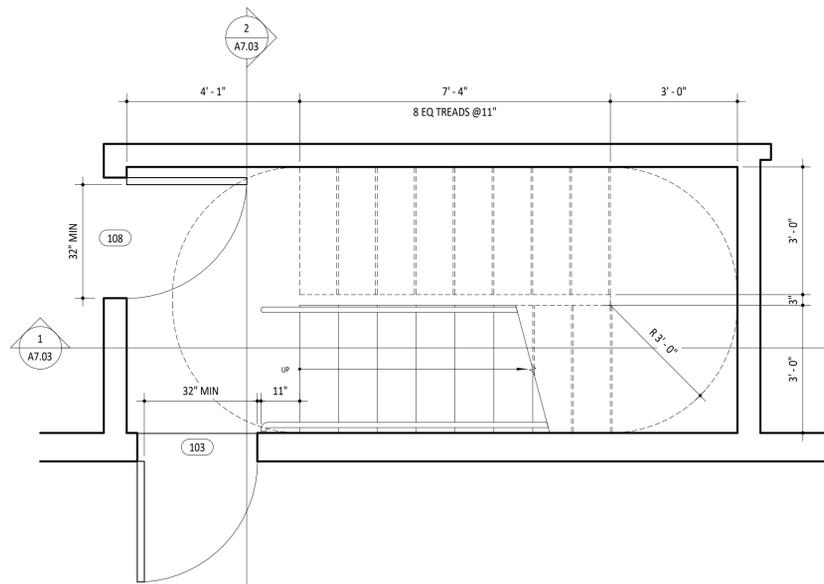
**1 ENLARGED STAIR PLAN - 01 - FLOOR 01**  
1/2" = 1'-0"



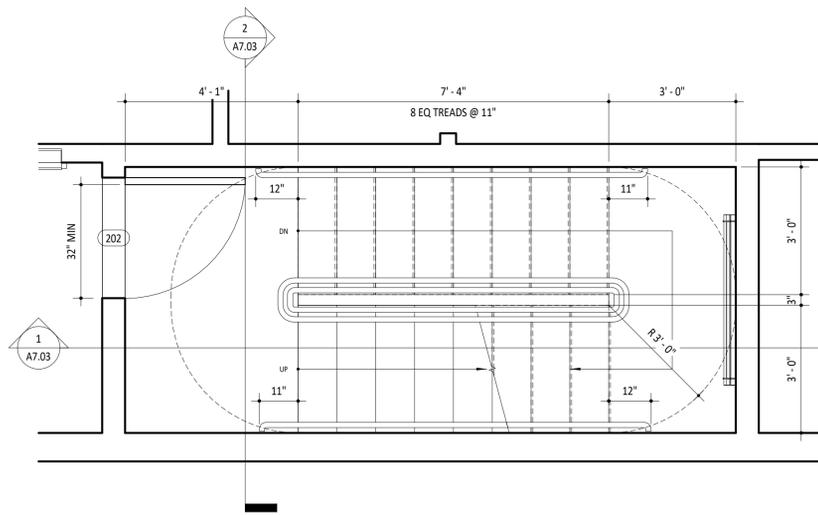
**2 ENLARGED STAIR PLAN - 01 - FLOOR 02**  
1/2" = 1'-0"



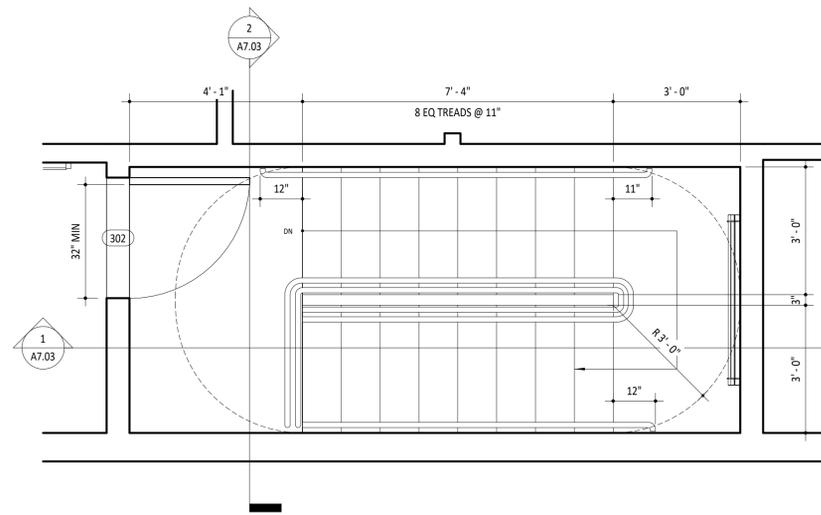
**3 ENLARGED STAIR PLAN - 01 - FLOOR 03**  
1/2" = 1'-0"



**4 ENLARGED STAIR PLAN - 02 - FLOOR 01**  
1/2" = 1'-0"



**5 ENLARGED STAIR PLAN - 02 - FLOOR 02**  
1/2" = 1'-0"



**6 ENLARGED STAIR PLAN - 02 - FLOOR 03**  
1/2" = 1'-0"

**SUNRISE GROVE APARTMENTS**  
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**ENLARGED STAIR PLANS**

Date MARCH 31, 2023

Project A.2206.01

Scale 1/2" = 1'-0"

**A7.01**





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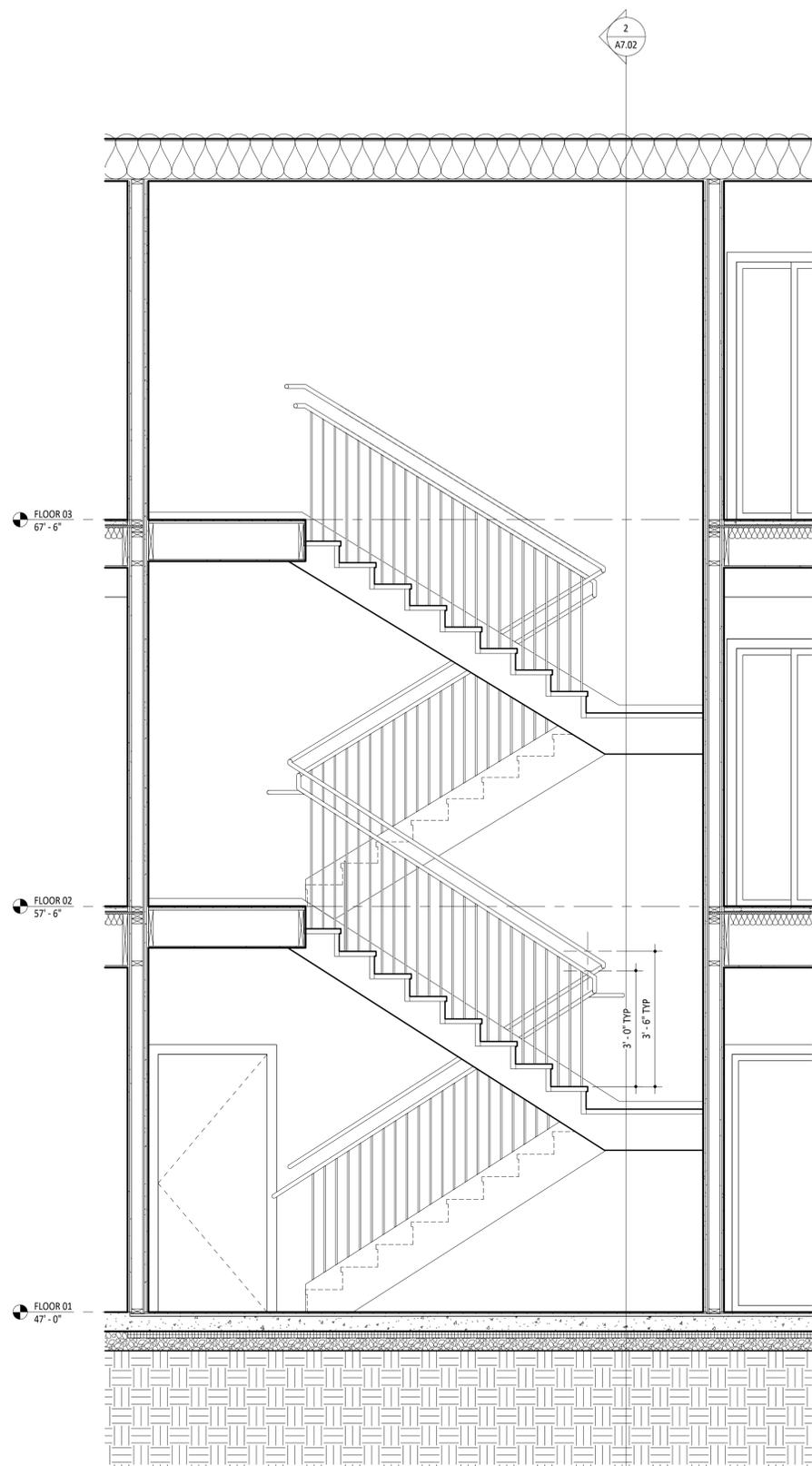
**ENLARGED STAIR SECTIONS**

Date MARCH 31, 2023

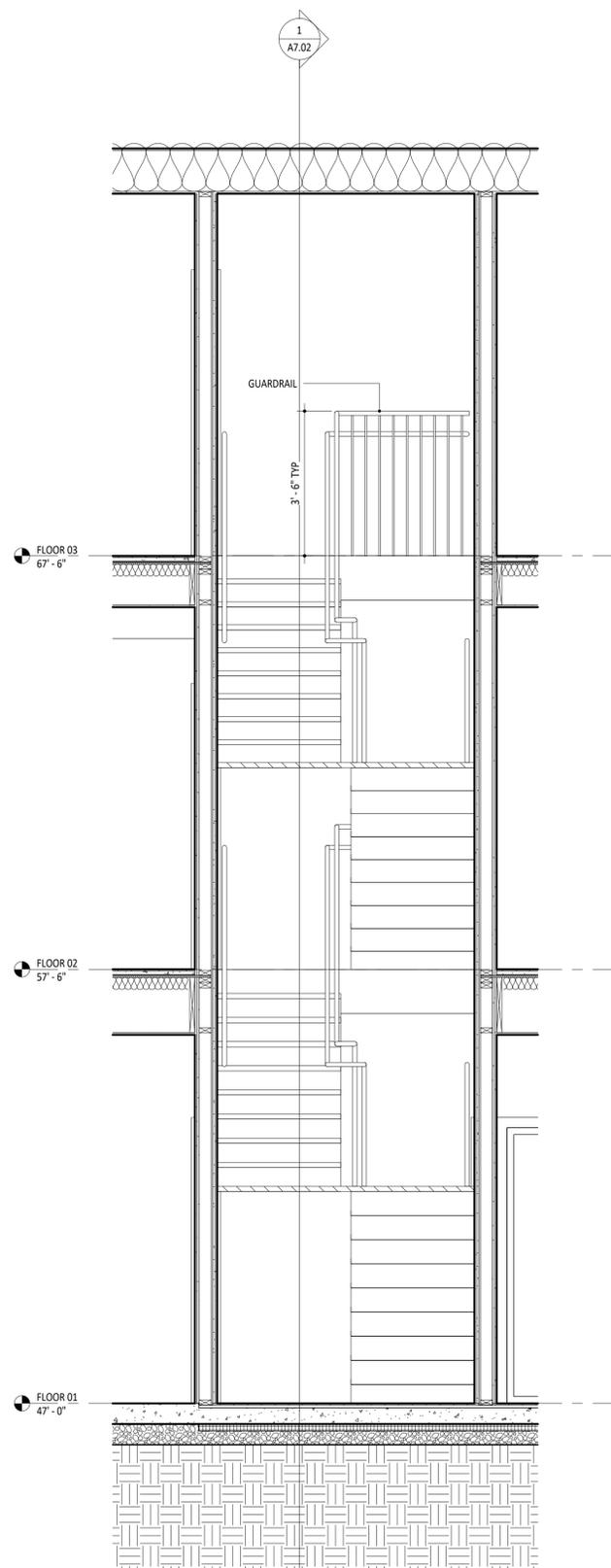
Project A.2206.01

Scale 1/2" = 1'-0"

**A7.02**



**1 ENLARGED STAIR SECTION 01**  
1/2" = 1'-0"



**2 ENLARGED STAIR SECTION 02**  
1/2" = 1'-0"







**SUNRISE GROVE APARTMENTS**  
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**ENLARGED STAIR SECTIONS**

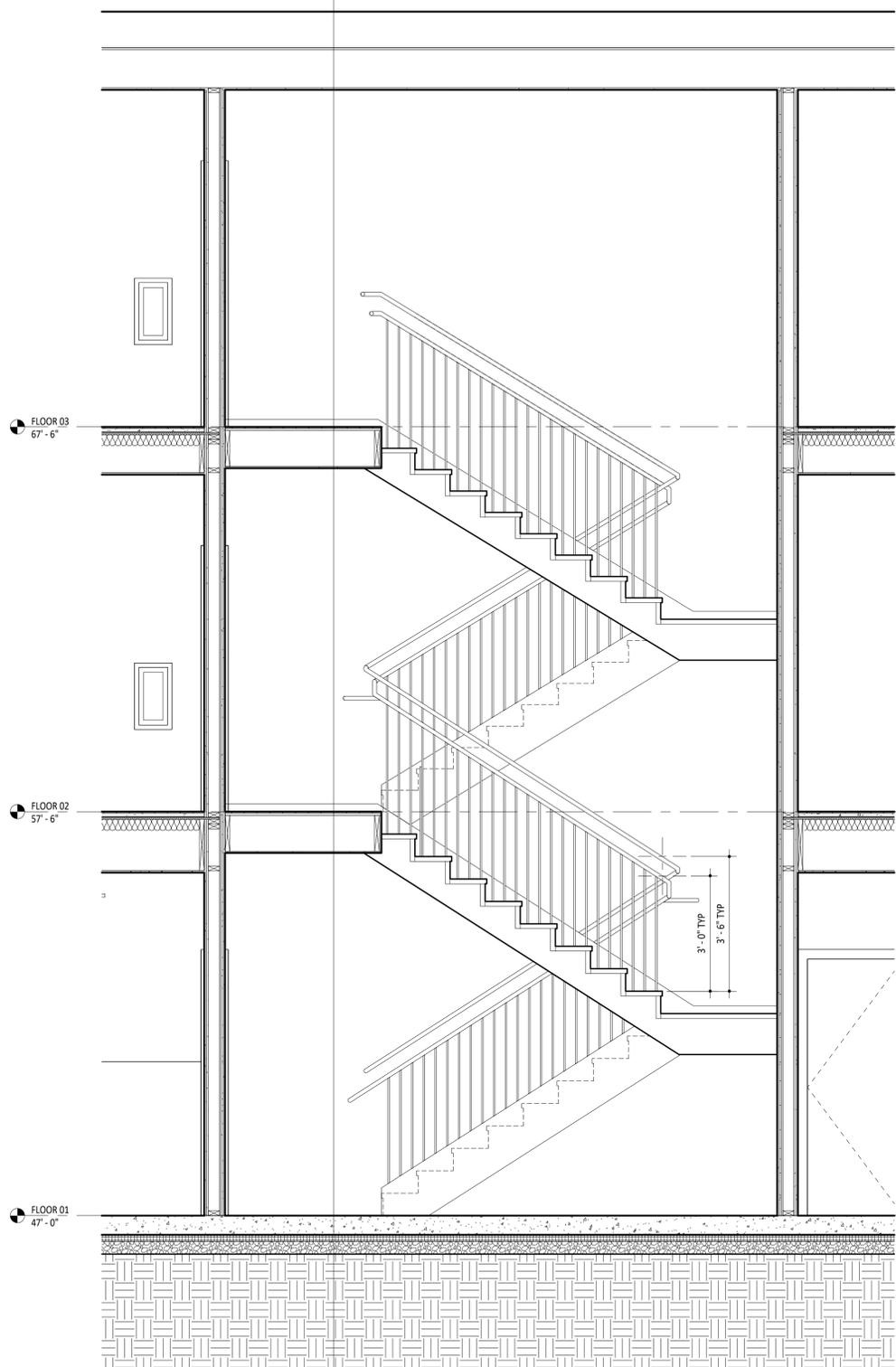
Date MARCH 31, 2023

Project A.2206.01

Scale 1/2" = 1'-0"

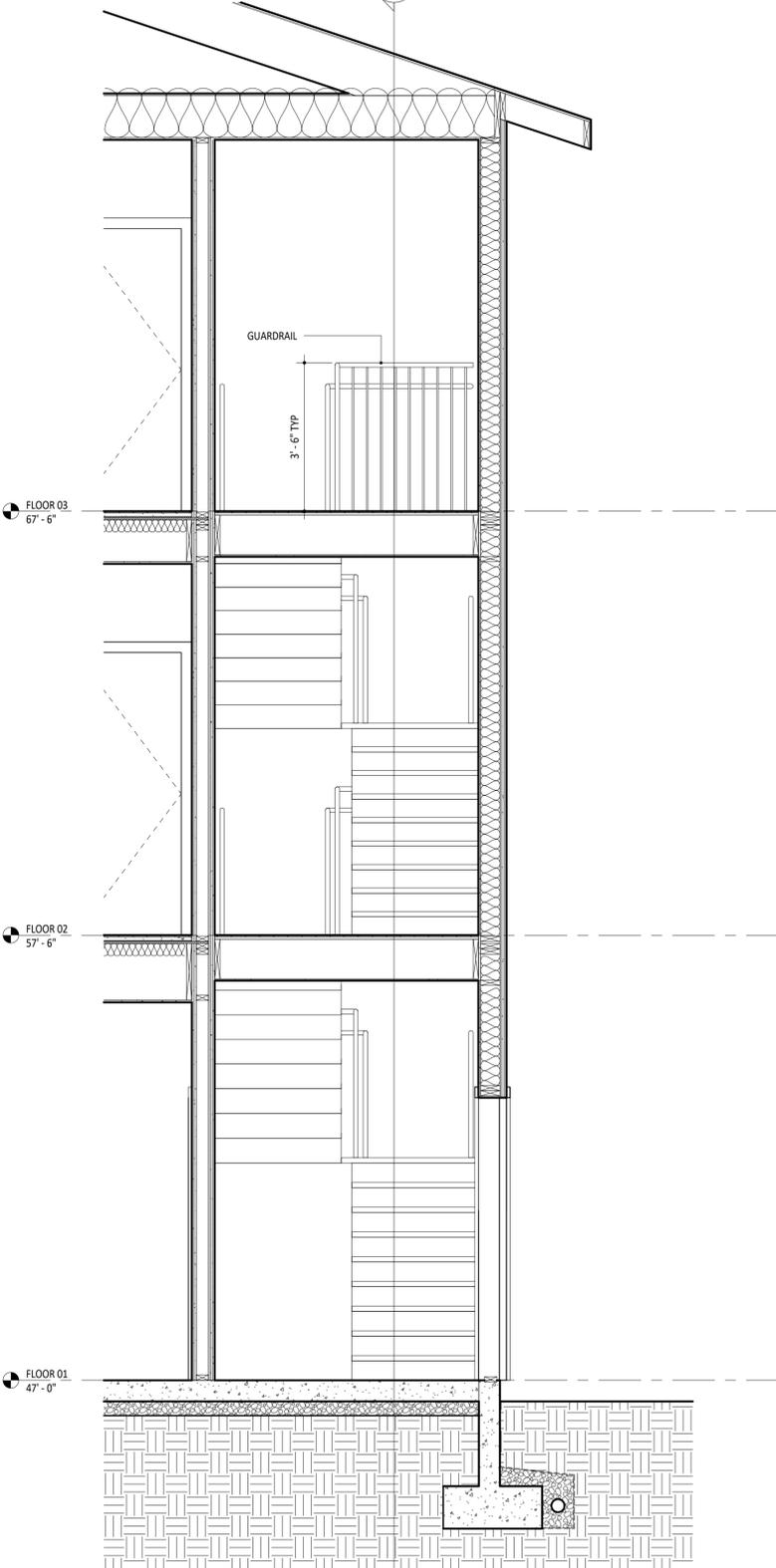
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2  
A7.03

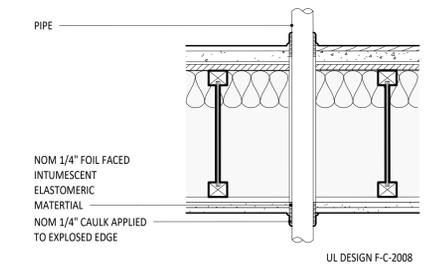


**1** ENLARGED STAIR SECTION 03  
1/2" = 1'-0"

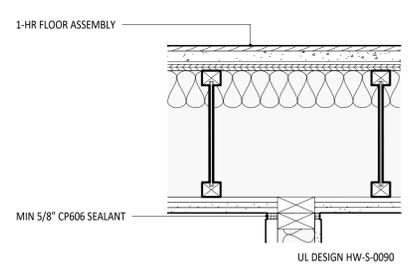
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A7.03



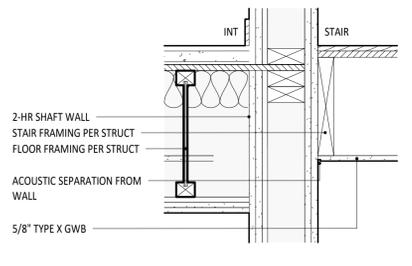
**2** ENLARGED STAIR SECTION 04  
1/2" = 1'-0"



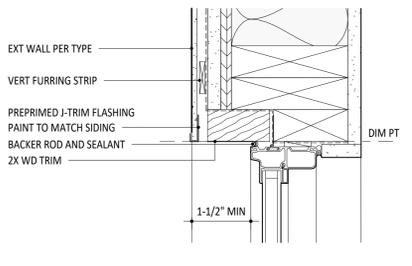
**1 1-HR VERT PENETRATION DETAIL**  
1 1/2" = 1'-0"



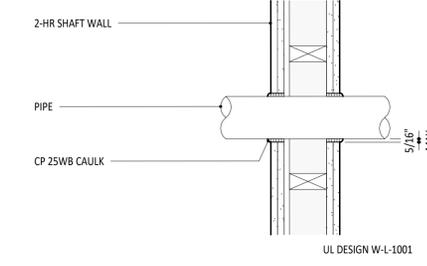
**2 1-HR JOINT DETAIL**  
1 1/2" = 1'-0"



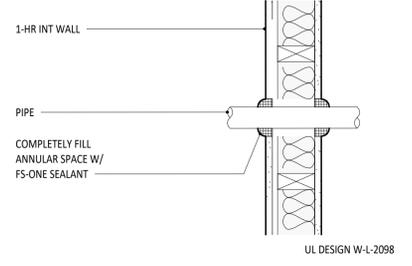
**3 FLOOR LANDING AT SHAFT WALL**  
1 1/2" = 1'-0"



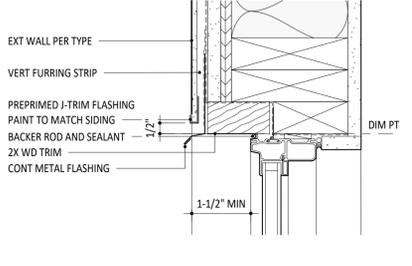
**10 WINDOW JAMB, TYP**  
3" = 1'-0"



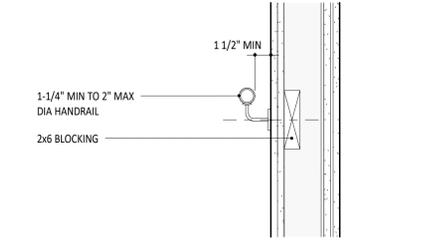
**4 2-HR PENETRATION DETAIL**  
1 1/2" = 1'-0"



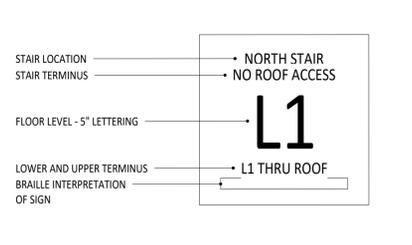
**5 1-HR PENETRATION DETAIL**  
1 1/2" = 1'-0"



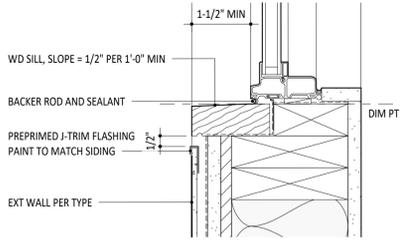
**11 WINDOW HEAD, TYP**  
3" = 1'-0"



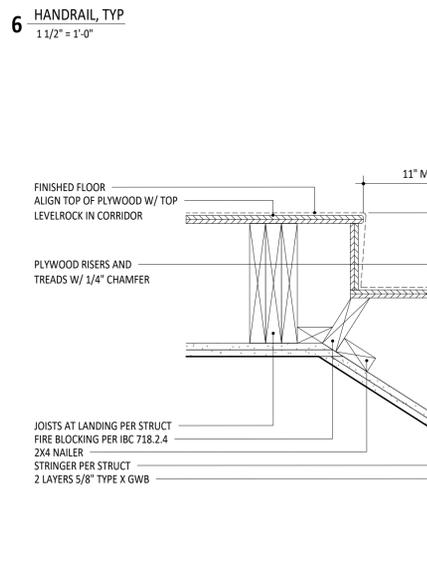
**6 HANDRAIL, TYP**  
1 1/2" = 1'-0"



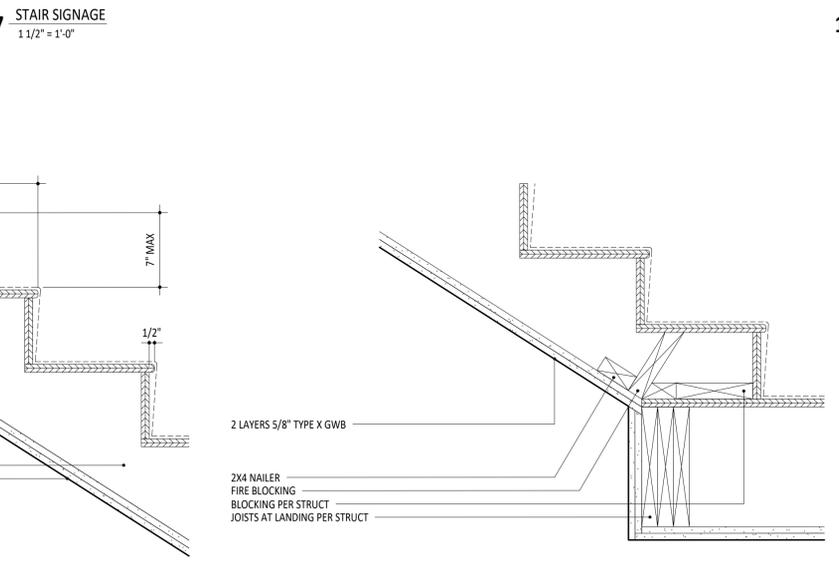
**7 STAIR SIGNAGE**  
1 1/2" = 1'-0"



**12 WINDOW SILL, TYP**  
3" = 1'-0"



**8 STAIR AT TOP LANDING**  
1 1/2" = 1'-0"



**9 STAIR AT INTERMEDIATE LANDING**  
1 1/2" = 1'-0"

**SUNRISE GROVE APARTMENTS**  
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**DETAILS**

Date: MARCH 31, 2023  
Project: A.2206.01  
Scale: As indicated  
**A8.00**



**WINDOW SCHEDULE**

MARK	QUANTITY	WIDTH	HEIGHT	MANUFACTURER	MODEL	TYPE	U-VALUE	NFRC CPD#	COMMENTS
01	10	5'-6"	6'-0"	MARVIN	ESSENTIAL	FIXED, SLIDER	0.25	MAR-N-325, MAR-N-363	
02	7	2'-6"	6'-0"	MARVIN	ESSENTIAL	FIXED, SLIDER	0.25	MAR-N-325, MAR-N-363	
03	8	2'-6"	6'-0"	MARVIN	ESSENTIAL	FIXED	0.25	MAR-N-325	
04	2	4'-0"	6'-0"	MARVIN	ESSENTIAL	FIXED	0.25	MAR-N-325	
05	19	3'-9"	4'-6"	MARVIN	ESSENTIAL	FIXED, SLIDER	0.25	MAR-N-325, MAR-N-363	EGRESS
06	21	2'-3"	4'-6"	MARVIN	ESSENTIAL	FIXED, SLIDER	0.25	MAR-N-325, MAR-N-363	EGRESS
07	1	5'-0"	4'-6"	MARVIN	ESSENTIAL	FIXED, SLIDER	0.25	MAR-N-325, MAR-N-363	
08	1	3'-0"	4'-6"	MARVIN	ESSENTIAL	FIXED, SLIDER	0.25	MAR-N-325, MAR-N-363	

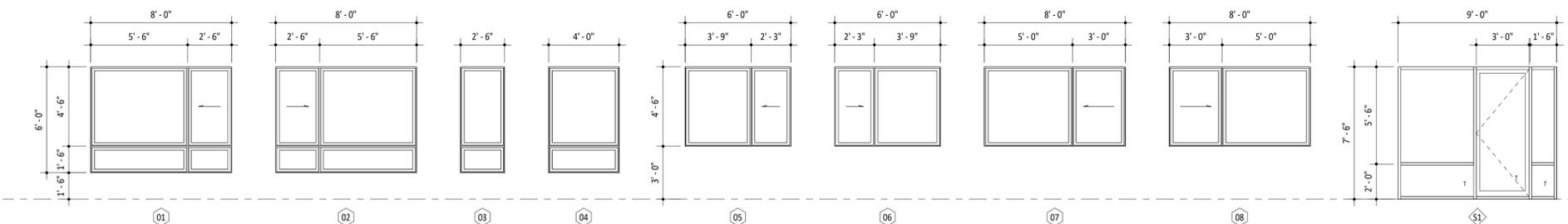
**STOREFRONT SCHEDULE**

MARK	QUANTITY	WIDTH	HEIGHT	MANUFACTURER	MODEL	TYPE	U-VALUE	COMMENTS
S1	1	9'-0"	7'-6"	KAWNEER	TRIFAB 451T	STOREFRONT	0.38	

**ENERGY CREDITS PER TABLE R406.2 AND R406.3**

OPTION	DESCRIPTION	CREDIT	CATEGORY	TYPE	ENERGY STAR
HEATING					
1	COMBUSTION HEATING MINIMUM NAECA	0.0	WARM AIR FURNACE, GAS FIRED	GAS	-
ENERGY					
1.4	EFFICIENT BUILDING ENVELOPE	1.0	VERTICAL PENETRATION	-	-
2.1	AIR LEAKAGE CONTROL AND EFFICIENT VENTILATION	1.0	-	-	-
5.1	EFFICIENT WATER HEATING	0.5	-	-	-
5.2	EFFICIENT WATER HEATING	0.5	HIGH EFFICIENCY TANKLESS	GAS	•
7.1	APPLIANCE PACKAGE	1.5	-	-	•
TOTAL		4.5			

DOCUMENTATION OF ENERGY STAR COMPLIANCE SHALL BE PROVIDED AT TIME OF INSPECTION



**DOOR SCHEDULE**

DOOR	WIDTH	HEIGHT	THICKNESS	FIRE RATING	HARDWARE	U-VALUE
101	16'-0"	8'-0"	2"		I	
102	3'-0"	7'-2 1/2"	2 1/4"		A	0.60
103	2'-10"	6'-8"	2"	90	B	
104	2'-6"	6'-8"	2"	90	B	
105	2'-6"	6'-8"	2"		D	
106	2'-10"	6'-8"	2"	90	C	
107	2'-10"	6'-8"	2"	90	C	
108	2'-10"	6'-8"	2"	90	C	
109	2'-6"	6'-8"	2"		D	
110	2'-10"	6'-8"	2"	20	E	
111	2'-10"	6'-8"	2"		F	
112	2'-10"	6'-8"	2"		F	
113	2'-10"	6'-8"	2"		F	
114	2'-10"	6'-8"	2"		G	
115	2'-10"	6'-8"	2"		G	
116	4'-6"	6'-8"	2"		H	
117	4'-6"	6'-8"	2"		H	
201	2'-10"	6'-8"	2"	20	E	
202	2'-10"	6'-8"	2"	20	E	
203	2'-10"	6'-8"	2"	20	E	
204	2'-10"	6'-8"	2"	20	E	
205	2'-10"	6'-8"	2"	20	E	
206	2'-10"	6'-8"	2"	20	E	
207	2'-10"	6'-8"	2"	20	E	
208	2'-10"	6'-8"	2"	20	E	
209	2'-10"	6'-8"	2"	20	E	
210	2'-10"	6'-8"	2"	20	E	
211	2'-10"	6'-8"	2"		F	
212	2'-10"	6'-8"	2"		F	
213	2'-10"	6'-8"	2"		F	
214	2'-6"	6'-8"	2"		F	
215	2'-6"	6'-8"	2"		F	
216	6'-0"	6'-8"	2"		H	
217	5'-0"	6'-8"	2"		H	
218	5'-0"	6'-8"	2"		H	
219	5'-0"	6'-8"	2"		H	
220	4'-6"	6'-8"	2"		H	
221	4'-6"	6'-8"	2"		H	
222	2'-10"	6'-8"	2"		F	
223	2'-10"	6'-8"	2"		F	
224	2'-6"	6'-8"	2"		F	
225	2'-6"	6'-8"	2"		F	
226	2'-6"	6'-8"	2"		G	
227	2'-6"	6'-8"	2"		G	
228	4'-6"	6'-8"	2"		H	
229	5'-0"	6'-8"	2"		H	
230	2'-10"	6'-8"	2"		F	
231	2'-10"	6'-8"	2"		F	
232	2'-6"	6'-8"	2"		F	
233	2'-6"	6'-8"	2"		F	
234	2'-6"	6'-8"	2"		G	
235	2'-6"	6'-8"	2"		G	
236	4'-6"	6'-8"	2"		H	
237	5'-0"	6'-8"	2"		H	
238	2'-10"	6'-8"	2"		F	
239	2'-10"	6'-8"	2"		F	
240	2'-10"	6'-8"	2"		F	
241	2'-6"	6'-8"	2"		F	
242	2'-6"	6'-8"	2"		F	
243	5'-0"	6'-8"	2"		H	

**DOOR SCHEDULE**

DOOR	WIDTH	HEIGHT	THICKNESS	FIRE RATING	HARDWARE	U-VALUE
244	5'-0"	6'-8"	2"		H	
245	6'-0"	6'-8"	2"		H	
246	5'-0"	6'-8"	2"		H	
247	4'-6"	6'-8"	2"		H	
248	4'-6"	6'-8"	2"		H	
249	2'-10"	6'-8"	2"		F	
250	2'-10"	6'-8"	2"		F	
251	2'-6"	6'-8"	2"		F	
252	2'-6"	6'-8"	2"		F	
253	2'-6"	6'-8"	2"		G	
254	5'-0"	6'-8"	2"		H	
255	4'-6"	6'-8"	2"		H	
256	2'-10"	6'-8"	2"		F	
257	2'-10"	6'-8"	2"		F	
258	2'-6"	6'-8"	2"		F	
259	2'-6"	6'-8"	2"		F	
260	4'-6"	6'-8"	2"		H	
261	4'-0"	6'-8"	2"		H	
262	4'-0"	6'-8"	2"		H	
263	4'-0"	6'-8"	2"		H	
264	3'-0"	6'-8"	2"		F	
265	2'-10"	6'-8"	2"		F	
266	2'-6"	6'-8"	2"		F	
267	2'-6"	6'-8"	2"		G	
268	4'-0"	6'-8"	2"		H	
269	4'-0"	6'-8"	2"		H	
270	2'-10"	6'-8"	2"		F	
271	2'-6"	6'-8"	2"		F	
272	2'-6"	6'-8"	2"		G	
273	2'-6"	6'-8"	2"		G	
274	4'-0"	6'-8"	2"		H	
275	4'-0"	6'-8"	2"		H	
301	2'-10"	6'-8"	2"	20	E	
302	2'-10"	6'-8"	2"	20	E	
303	2'-10"	6'-8"	2"	20	E	
304	2'-10"	6'-8"	2"	20	E	
305	2'-10"	6'-8"	2"	20	E	
306	2'-10"	6'-8"	2"	20	E	
307	2'-10"	6'-8"	2"	20	E	
308	2'-10"	6'-8"	2"	20	E	
309	2'-10"	6'-8"	2"	20	E	
310	2'-10"	6'-8"	2"		F	
311	2'-10"	6'-8"	2"		F	
312	2'-10"	6'-8"	2"		F	
313	2'-6"	6'-8"	2"		F	
314	2'-6"	6'-8"	2"		F	
315	6'-0"	6'-8"	2"		H	
316	5'-0"	6'-8"	2"		H	
317	5'-0"	6'-8"	2"		H	
318	5'-0"	6'-8"	2"		H	
319	4'-6"	6'-8"	2"		H	
320	4'-6"	6'-8"	2"		H	
321	2'-10"	6'-8"	2"		F	
322	2'-10"	6'-8"	2"		F	
323	2'-6"	6'-8"	2"		F	
324	2'-6"	6'-8"	2"		F	
325	2'-6"	6'-8"	2"		G	
326	2'-6"	6'-8"	2"		G	
327	4'-6"	6'-8"	2"		H	
328	5'-0"	6'-8"	2"		H	
329	2'-10"	6'-8"	2"		F	

**DOOR SCHEDULE**

DOOR	WIDTH	HEIGHT	THICKNESS	FIRE RATING	HARDWARE	U-VALUE
330	2'-10"	6'-8"	2"		F	
331	2'-6"	6'-8"	2"		F	
332	2'-6"	6'-8"	2"		F	
333	2'-6"	6'-8"	2"		G	
334	2'-6"	6'-8"	2"		G	
335	4'-6"	6'-8"	2"		H	
336	5'-0"	6'-8"	2"		H	
337	2'-10"	6'-8"	2"		F	
338	2'-10"	6'-8"	2"		F	
339	2'-10"	6'-8"	2"		F	
340	2'-6"	6'-8"	2"		F	
341	2'-6"	6'-8"	2"		F	
342	5'-0"	6'-8"	2"		H	
343	5'-0"	6'-8"	2"		H	
344	6'-0"	6'-8"	2"		H	
345	5'-0"	6'-8"	2"		H	
346	4'-6"	6'-8"	2"		H	
347	4'-6"	6'-8"	2"		H	
348	2'-10"	6'-8"	2"		F	
349	2'-10"	6'-8"	2"		F	
350	2'-10"	6'-8"	2"		F	
351	2'-6"	6'-8"	2"		F	
352	2'-6"	6'-8"	2"		G	
353	4'-6"	6'-8"	2"		H	
354	3'-0"	6'-8"	2"		H	
355	5'-0"	6'-8"	2"		H	
356	2'-6"	6'-8"	2"		F	
357	4'-6"	6'-8"	2"		H	
358	4'-0"	6'-8"	2"		H	
359	2'-10"	6'-8"	2"		F	
360	2'-10"	6'-8"	2"		F	
361	2'-6"	6'-8"	2"		F	
362	2'-6"	6'-8"	2"		F	
363	4'-0"	6'-8"	2"		H	
364	5'-0"	6'-8"	2"		H	
365	2'-6"	6'-8"	2"		G	
366	2'-6"	6'-8"	2"		G	
367	4'-0"	6'-8"	2"		H	
368	4'-0"	6'-8"	2"		H	
468	4'-6"	6'-8"	2"		H	
469	5'-0"	6'-8"	2"		H	
470	2'-10"	6'-8"	2"		F	
471	2'-6"	6'-8"	2"		F	
472	2'-10"	6'-8"	2"		F	
473	2'-6"	6'-8"	2"		F	
474	2'-6"	6'-8"	2"		G	

**HARDWARE SCHEDULE**

# GENERAL STRUCTURAL NOTES

300  
TYP.

## DESIGN CRITERIA

- 2018 INTERNATIONAL BUILDING CODE WITH WASHINGTON STATE AMENDMENTS
- RISK CATEGORY II
- CONSTRUCTION LOADS SHALL NOT EXCEED THE DESIGN LIVE LOAD PER SQUARE FOOT

## GEOTECHNICAL PARAMETERS:

MINIMUM FROST DEPTH: 18"  
MAXIMUM NET BEARING: 1,500 PSF STATIC (ASSUMED)

## SEISMIC DESIGN DATA:

RISK CATEGORY: II  
SEISMIC IMPORTANCE FACTOR  $I_e$ : 1.0  
MAPPED SPECTRAL RESPONSE ACCELERATION:  $S_1$ : 0.396 g  $S_s$ : 1.111 g  
SITE CLASS: D (DEFAULT)  
DESIGN SPECTRAL RESPONSE ACCELERATION:  $SDS$ : 0.889 g  $SD1$ : 0.502 g  
SEISMIC DESIGN CATEGORY: D  
SEISMIC FORCE RESISTING SYSTEM: LIGHT FRAMED WOOD SHEAR WALLS  
DESIGN BASE SHEAR: 36,005 LBS SEISMIC  
85,011 LBS WIND  
SEISMIC RESPONSE COEFFICIENT: 0.137  
RESPONSE MODIFICATION COEFFICIENT: 6.5  
ANALYSIS PROCEDURE USED: EQUIVALENT LATERAL FORCE

## WIND DESIGN DATA:

ULTIMATE DESIGN WIND SPEED: 110 MPH  
RISK CATEGORY: II  
EXPOSURE: B (SUBURBAN)

## SNOW DESIGN DATA:

GROUND SNOW LOAD: 25 PSF  
SLOPED ROOF SNOW LOAD: 25 PSF  
UNBALANCED ROOF SNOW LOAD: N/A  
SNOW EXPOSURE FACTOR  $C_e$ : 1.0  
IMPORTANCE FACTOR,  $I_s$ : 1.0  
THERMAL FACTOR,  $C_t$ : 1.0

## OTHER DESIGN VALUES USED:

TRUSSES: PER TRUSS MANUFACTURER  
FRAMING LUMBER: STUDS: HEM FIR  
STRUCTURAL LUMBER: DOUG FIR LARCH #2  
GLULAM: 24F-V4 DF/DF

## LIVE LOADS:

ROOF: 20 PSF  
FLOOR: 40 PSF  
GARAGE: 100 PSF

## CRITERIA:

ALL MATERIALS, WORKMANSHIP, DESIGN, AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, AND THE INTERNATIONAL BUILDING CODE (2018 EDITION)

## SPECIAL INSPECTIONS, TESTS, AND OBSERVATIONS:

- BUILDING OFFICIAL INSPECTIONS SHALL BE PERFORMED IN ACCORDANCE WITH IBC SECTION 110:
- ANCHORAGE
  - INSTALLATION OF POST INSTALLED ANCHORS: PERIODIC
- WOOD
  - PERIODIC INSPECTIONS:
    - ANCHOR BOLTS, HOLD DOWNS, DRAG STRUT CONNECTIONS, NAILING SIZE AND SPACING
    - VERIFICATION OF MOISTURE CONTENT OF STUDS, PLATES, BEAMS, AND JOISTS
    - PREFABRICATED PANELIZED SHEAR WALL CONNECTIONS
    - 2X AND 3X BOTTOM PLATES AND PLATE WASHERS
  - CONTINUOUS INSPECTION:
    - FIELD GLUING OPERATIONS

- STRUCTURAL OBSERVATIONS, WHEN REQUIRED BY THE PROVISIONS OF IBC CHAPTER 17, THE OWNER OR OWNER'S AUTHORIZED AGENT SHALL EMPLOY THE EOR TO PERFORM STRUCTURAL OBSERVATIONS. STRUCTURAL OBSERVATIONS DO NOT INCLUDE OR WAIVE THE RESPONSIBILITY FOR BUILDING DEPARTMENT INSPECTIONS OR THIRD PARTY SPECIAL INSPECTIONS, OR ANY OTHER INSPECTIONS REQUIRED BY CODE.

## GENERAL:

LINES SHOWN ON DRAWINGS MAY BE ASSOCIATED WITH CAD MODELING AND MAY NOT REPRESENT REQUIRED OR ALLOWED JOINTS. SEE DETAILS FOR CLARIFICATION ON REQUIRED AND ALLOWED JOINTS. ALL FASTENERS INSTALLED IN TREATED LUMBER SHALL BE HOT-DIP GALVANIZED.

VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCH DRAWINGS, DO NOT SCALE PLANS

COORDINATE CURBS AND ELECTRICAL & MECHANICAL FLOOR OPENINGS AND PENETRATIONS WITH ARCHITECTURAL DRAWINGS

MOISTURE PROOF ALL BELOW GRADE WALLS PER ARCH SPECIFICATIONS

VERIFY POINT LOADS ARE SUPPORTED CONTINUOUSLY THROUGH FLOORS TO FTG

ALL EXTERIOR WALLS TO BE 2X6 @ 16" O.C., TYP UNO. ALL INTERIOR BEARING AND SHEAR WALLS TO BE 2X4 @ 16" O.C. UNO.

## DEFERRED SUBMITTALS:

ALL PRE-ENGINEERED, PRE-FABRICATED, AND PRE-MANUFACTURED PRODUCTS DESIGNED BY OTHERS SHALL BE DESIGNED FOR ALL APPLICABLE LOADING AND DEFLECTIONS OUTLINED ABOVE. DESIGN SHALL CONFORM TO THE PROJECT DRAWINGS, REFERENCE STANDARDS, AND THE GOVERNING CODE.

DRAWINGS, CALCULATIONS, AND PRODUCT DATA FOR THE DESIGN AND FABRICATIONS OF DEFERRED SUBMITTAL ITEMS SHALL BEAR THE SEAL AND SIGNATURE OF A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF WASHINGTON WHO IS RESPONSIBLE FOR THE DESIGN OF THE ITEMS. DEFERRED SUBMITTALS SHALL BE SUBMITTED TO THE ARCHITECT/EOR AND BUILDING AND BUILDING DEPARTMENT AS REQUIRED FOR REVIEW PRIOR TO FABRICATION. EOR REVIEW IS FOR GENERAL CONFORMANCE WITH THE DESIGN CRITERIA AND PROJECT DRAWINGS. ALL NECESSARY HARDWARE, ANCHORAGE, AND BRACING SPECIFICATION SHALL BE FURNISHED BY THE MANUFACTURER. THE DESIGN AND CONNECTION TO THE PRIMARY STRUCTURE IS THE RESPONSIBILITY OF THE ENGINEER IN CHARGE OF THE DEFERRED SUBMITTAL ITEMS.

THE FOLLOWING ITEMS HAVE BEEN DEFERRED FOR SUBMITTAL TO THE BUILDING OFFICIAL UNTIL AFTER ISSUANCE OF THE BUILDING PERMIT:

- PREFABRICATED METAL-PLATE-CONNECTED WOOD TRUSSES

## REINFORCED CONCRETE:

- REINFORCING STEEL SHALL BE DETAILED (INCLUDING HOOKS AND BENDS) IN ACCORDANCE WITH ACI 318-99 AND 318-14. LAP ALL REINFORCEMENTS IN ACCORDANCE WITH THE "REINFORCING SPLICE AND DEVELOPMENT LENGTH SCHEDULE" - SEE THIS SHEET. PROVIDE CORNER BARS AT ALL WALL INTERSECTIONS.
- NO BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE SHALL BE FIELD BENT UNLESS SPECIFICALLY DETAILED OR APPROVED BY THE STRUCTURAL ENGINEER.
- CONCRETE PROTECTION FOR REINFORCING STEEL SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED:
  - FOOTINGS AND OTHER UNIFORMED SURFACES CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH ..... 3"
  - FORMED SURFACES EXPOSED TO EARTH (WALLS BELOW GRADE), WATER OR WEATHER (#6 BARS OR SMALLER) ..... 2"

## ABBREVIATIONS:

AL - ALUMINUM  
CHK - CHECKERED  
CL - CENTERLINE  
CLR - CLEAR  
EA - EACH  
EF - EACH FACE  
FB - FLAT BAR  
GALV - GALVANIZED  
HORZ - HORIZONTAL  
LLV - LONG LEG VERT  
O.C. - ON CENTER  
PL - PLATE  
RB - ROUND BAR  
RST - REINF. STEEL  
SST - STAINLESS STEEL  
T&B - TOP & BOTTOM  
VERT - VERTICAL  
PIJF - PREMOLDED JOINT FILLER

REINFORCEMENT SPLICE AND DEVELOPMENT SCHEDULE					
BAR	Ld, MINIMUM STRAIGHT DEVELOPMENT LENGTHS			MINIMUM LAP SPLICE LENGTHS	
	MINIMUM	TOP BARS	OTHERWISE	CLASS A	CLASS B
#3	19"	25"	29"	Ld	1.3xLd
#4	24"	32"	36"	Ld	1.3xLd
#5	29"	38"	43"	Ld	1.3xLd
#6	42"	55"	63"	Ld	1.3xLd

\*"MINIMUM" IF:  
MIN COVER OF ONE BAR Ø AND MIN SPACING OF TWO BAR DIAMETERS  
MIN COVER ONE Ø, MIN SPACING OF ONE BAR Ø, AND TIES OR STIRRUPS  
LESS THAN 12" OF FRESH CONCRETE BELOW HORIZONTAL BARS  
\*"TOP BARS" IF:  
MEETS CRITERIA FOR MIN EXCEPT 12" OR MORE FRESH CONC BELOW  
\*"OTHERWISE" IF:  
DOES NOT MEET REQUIREMENTS FOR MIN DEVELOPMENT LENGTH  
\*"CLASS A" IF:  
ONLY HALF OF BARS LAPPED AT ONE LOCATION AND  
TWICE THE REINFORCING FOR TENSION IS PROVIDED  
\*"CLASS B" IF:  
LAP SPLICES DO NOT MEET CLASS A REQUIREMENTS

## FRAMING NOTES:

- ALL FRAMING MEMBERS AND BLOCKING SHALL BE 2" NOMINAL OR GREATER. ALL JOINTS IN SHEATHING SHALL OCCUR OVER AND BE FASTENED TO COMMON FRAMING MEMBERS OR COMMON BLOCKING.
- FOR BUNDLED END STUDS, STITCH NAIL TOGETHER WITH FASTENER DIAMETER AND SPACING TO MATCH THE BOTTOM PLATE NAILING TO RIM.
- ALL NAILS ARE COMMON, UNLESS NOTED OTHERWISE. NAILS SHALL BE DRIVEN WITH THE HEAD OF THE NAIL FLUSH WITH THE SURFACE OF THE SHEATHING. OTHER APPROVED FASTENERS SHALL BE DRIVEN AS REQUIRED FOR PROPER INSTALLATION OF THE FASTENER.
- FOUNDATION ANCHOR BOLTS SHALL HAVE A GALVANIZED STEEL PLATE WASHER UNDER EACH NUT NOT LESS THAN 0.229"x3"x3" IN SIZE. PROVIDE A MINIMUM 6" ANCHOR BOLT EMBEDMENT INTO THE FOUNDATION. PROVIDE AN ANCHOR BOLT AT EACH END OF EACH SILL PLATE WITH AN END DISTANCE OF 6".
- ALL SHEAR WALL PANELS SHALL NOT BE LESS THAN 4'X8", EXCEPT AT BOUNDARIES AND CHANGES IN FRAMING. ALL EDGES OF ALL PANELS SHALL BE SUPPORTED BY AND FASTENED TO FRAMING MEMBERS OR BLOCKING.
- NAILS SHALL BE LOCATED AT LEAST 3/8" FROM THE PANEL EDGES. REFERENCE SCHEDULE ABOVE AND PLAN FOR EDGE NAIL SPACING. NAILS AT THE INTERMEDIATE FRAMING MEMBERS SHALL BE THE SAME SIZE AS NAILS SPECIFIED FOR THE PANEL EDGE NAILING. THE MAXIMUM NAIL SPACING AT INTERMEDIATE FRAMING MEMBERS IS 12" O.C. THE MAXIMUM STUD SPACING IS 16" O.C.
- ALL FRAMING CLIPS AND HARDWARE MUST BE INSTALLED PER THE MANUFACTURER'S INSTALLATION INSTRUCTIONS TO OBTAIN THE MAXIMUM HARDWARE CAPACITY.
- EDGE NAILING IS REQUIRED IN ALL HOLDOWN POSTS. EDGE NAILING IS REQUIRED TO EACH STUD USED IN BUILT UP HOLDOWN POSTS.
- NAILS AT ALL PANEL EDGES SHALL BE STAGGERED.
- PROVIDE HOT DIPPED GALVANIZED NAILS AND FRAMING CLIPS AT PRESSURE TREATED LUMBER
- TYPICAL TOP PLATE SPLICE: PROVIDE 48" LAP W/ 16d NAILS @ 6" O.C. STAGGERED
- SUPPORT ALL BEAMS WITH (2) 2X STUDS MINIMUM, UNO.
- ALL DUCTS, CHASES, PIPE, AND CONDUIT OPENINGS SHALL BE PER ARCHITECTURAL, MECHANICAL, PLUMBING, & ELECTRICAL DRAWINGS. CONTACT EOR FOR APPROVAL OF ANY OPENING IN FLOOR SHEATHING OR FRAMING MEMBERS NOT SHOWN IN THE STRUCTURAL DRAWINGS. REFER TO [SHEET] FOR ACCEPTABLE OPENINGS IN FRAMING
- FULLY BLOCK FLOOR CAVITY AT ALL POINT LOADS. VERIFY POINT LOADS ARE SUPPORTED CONTINUOUSLY THROUGH FLOORS TO THE FOUNDATION

FASTENING SCHEDULE (IRC R602.3(1))		
BUILDING ELEMENTS	FASTENER TYPE & QTY	SPACING & LOCATION
<b>ROOF SCHEDULE</b>		
1. BLOCKING BETWEEN CEILING JOISTS OR RAFTERS TO TOP PLATE	(3) 8d COMMON (2 1/2" X 0.131")	TOE NAIL
2. CEILING JOISTS TO TOP PLATE	(3) 8d COMMON (2 1/2" X 0.131")	PER JOIST, TOE NAIL
3. CEILING JOISTS NOT ATTACHED TO PARALLEL, LAPS OVER PARTITIONS	(3) 16d COMMON (3 1/2" X 0.162")	FACE NAIL
5. RAFTER OR ROOF TRUSS TO TOP PLATE	(3) 16d BOX (3 1/2" X 0.135")	(2) TOE NAILS ON ONE SIDE, 1 TOE NAIL ON OPPOSITE SIDE
6. ROOF RAFTERS TO RIDGE, VALLEY/HIP RAFTER/ROOF RAFTER TO RIDGE BEAM	(4) 16d BOX (3 1/2" X 0.135")	TOE NAIL
	(3) 16d BOX (3 1/2" X 0.135")	END NAIL
<b>WALL SCHEDULE</b>		
7. STUD TO STUD	10d BOX (3" X 0.128")	16" O.C. FACE NAIL
8. BUILT UP HEADER (2" TO 2" HEADER W/ SPACER)	16d BOX (3 1/2" X 0.135")	12" O.C EACH EDGE FACE NAIL
9. CONTINUOUS HEADER TO STUD	(4) 8d COMMON (2 1/2" X 0.131")	TOE NAIL
10. TOP PLATE TO TOP PLATE	10d BOX (3" X 0.128")	12" O.C. FACE NAIL
11. DOUBLE TOP PLATE SPLICE	(12) 10d BOX (3" X 0.128")	FACE NAIL, EA SIDE OF JOINT (24" SPLICE)
12. BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST, OR BLOCKING	16d BOX (3 1/2" X 0.135")	12" O.C. FACE NAIL
13. TOP/BOT PLATE TO STUD	(4) 8d COMMON (2 1/2" X 0.131")	TOE NAIL
	(3) 10d BOX (3" X 0.128")	END NAIL
14. TOP PLATES, LAPS AT CORNERS/INTERSECTIONS	(3) 10d BOX (3" X 0.128")	FACE NAIL
<b>FLOOR SCHEDULE</b>		
15. JOIST TO SILL, TOP PLATE OR GIRDER	(3) 8d COMMON (2 1/2" X 0.131")	TOE NAIL
16. RIM / BAND JOIST OR BLOCKING TO SILL/TOP PLATE	8d COMMON (2 1/2" X 0.131")	6" O.C. TOE NAIL
17. LEDGER SUPPORTING JOISTS OR RAFTERS	(4) 16d BOX (3 1/2" X 0.135")	EA JOIST/RAFTER, FACE NAIL
18. BRIDGING OR BLOCKING TO JOIST	(2) 8d COMMON (2 1/2" X 0.131")	EA END, TOE NAIL
18. SHEAR WALLS	PER PLANS	PER PLANS
19. ROOF & FLOOR DIAPHRAGMS	PER PLANS	PER PLANS



SUNRISE GROVE APARTMENTS

4726 GROVE ST  
MARYSVILLE, WA 98270

Project number

Date December 9, 2022

Drawn by JMC

Checked by BS

Revisions

No.	Date	Description
1		
2		

STRUCTURAL NOTES

**S01**

Scale 1/8" = 1'-0"





SUNRISE GROVE APARTMENTS

4726 GROVE ST  
MARYSVILLE, WA 98270

Project number  
Date December 9, 2022  
Drawn by JMC  
Checked by BS

Revisions		
No.	Date	Description
1		
2		

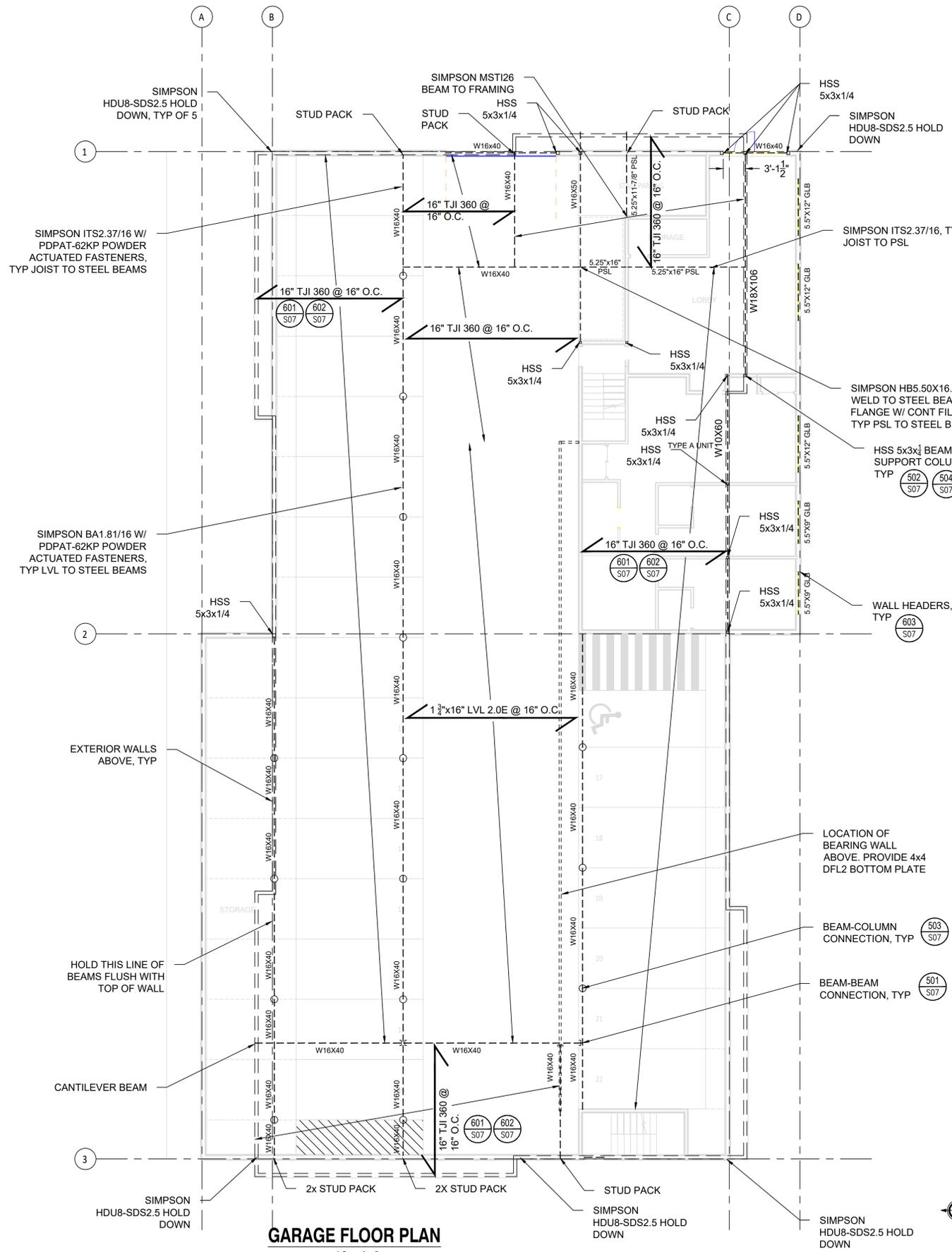
Jurisdiction Stamps

GARAGE FLOOR PLAN

**S03**

Scale AS SHOWN

1ST FLOOR SHEAR WALL SCHEDULE:  
- 3/8" SHEATHING GRADE PANELS  
- 8d NAILS @ 3" O.C. AT PANEL EDGES,  
- 8d NAILS @ 12" O.C. FIELD  
- TYP ALL EXT WALLS



**GARAGE FLOOR PLAN**

1/8" = 1'-0"





**SUNRISE GROVE APARTMENTS**

**4726 GROVE ST  
MARYSVILLE, WA 98270**

Project number  
Date December 9, 2022  
Drawn by JMC  
Checked by BS

Revisions		
No.	Date	Description
1		
2		

Jurisdiction  
Stamps

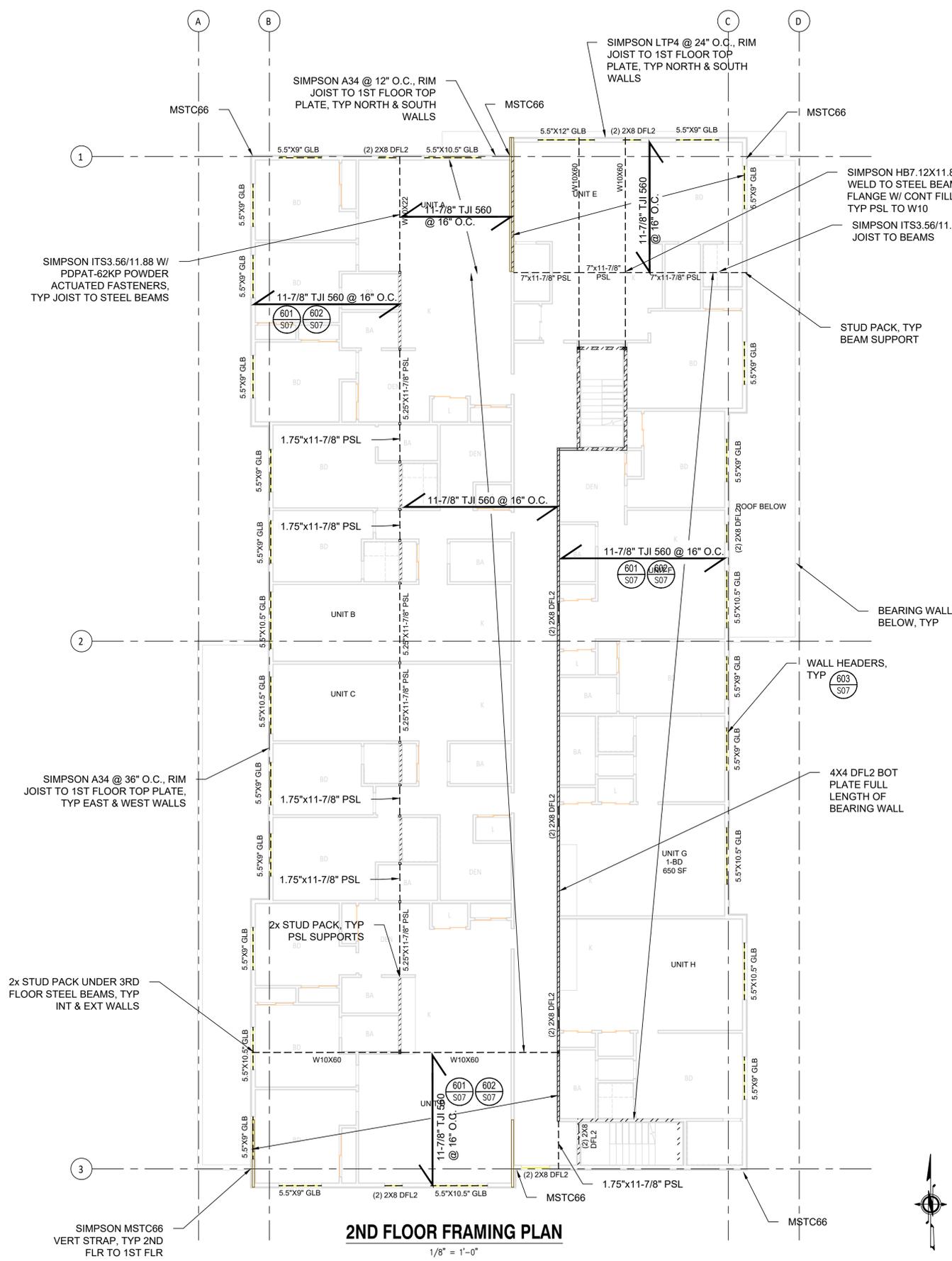
2ND FLOOR PLAN

**S04**

Scale AS SHOWN

**2ND FLOOR SHEAR WALL SCHEDULE:**  
 - 3/8" SHEATHING GRADE PANELS  
 - 8d NAILS @ 4" O.C. AT PANEL EDGES,  
 - 8d NAILS @ 12" O.C. FIELD  
 - TYP ALL EXT WALLS

**2ND FLOOR FRAMING NOTES:**  
 - 2ND FLOOR HEADERS AND OVERHEAD BEAMS SHOWN  
 - SUPPORT ALL 3RD FLOOR BEAMS WITH 2X STUD PACKS AT INTERIOR AND EXTERIOR WALLS.  
 - SECURE BEAMS TO SUPPORTS W/ 3/4"x3" LAG SCREWS, CENTERED IN SUPPORT STUDS, EA SIDE OF BEAM WEB



**2ND FLOOR FRAMING PLAN**

1/8" = 1'-0"





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	1		
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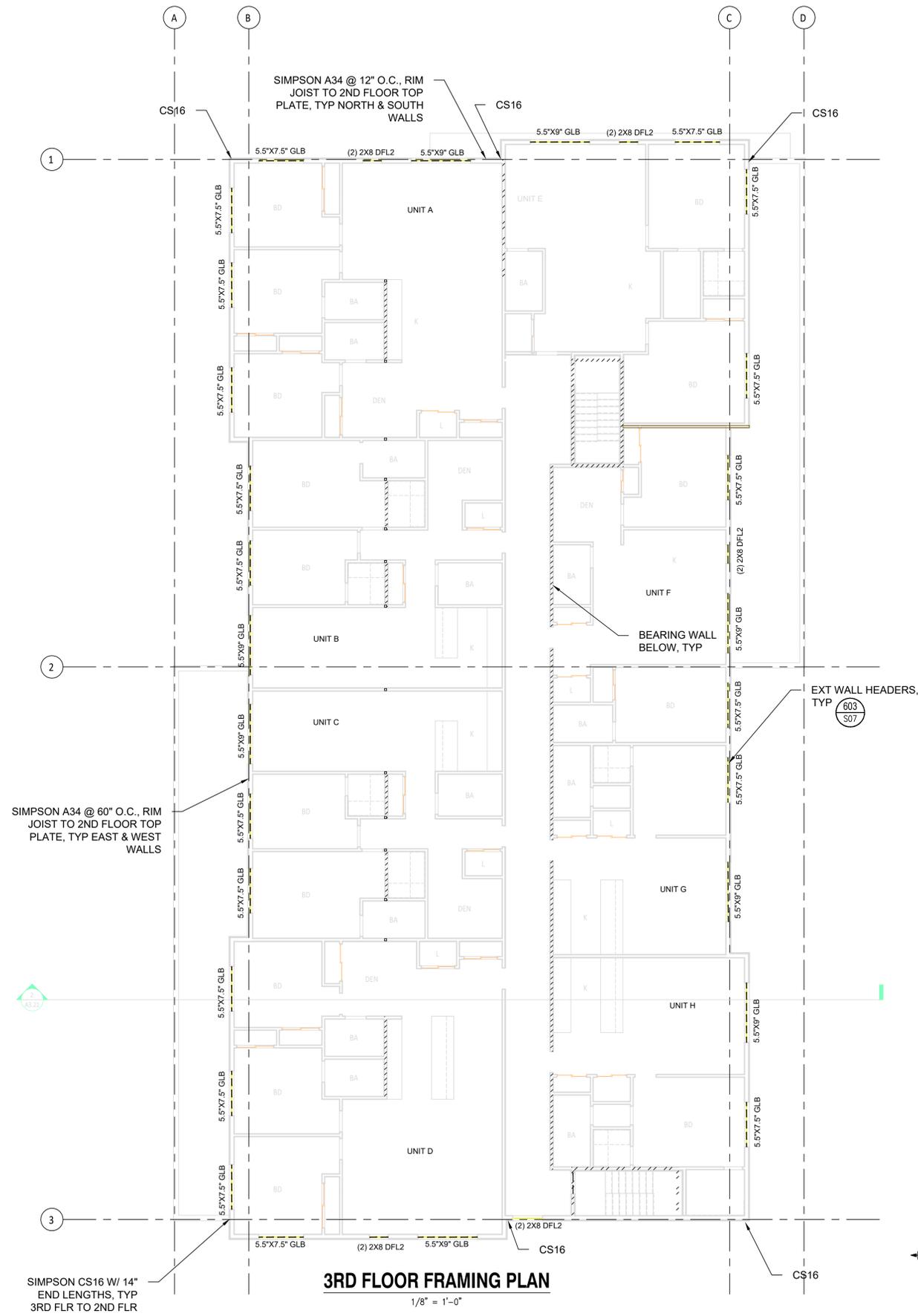
Jurisdiction  
Stamps

3RD FLOOR PLAN

**S05**

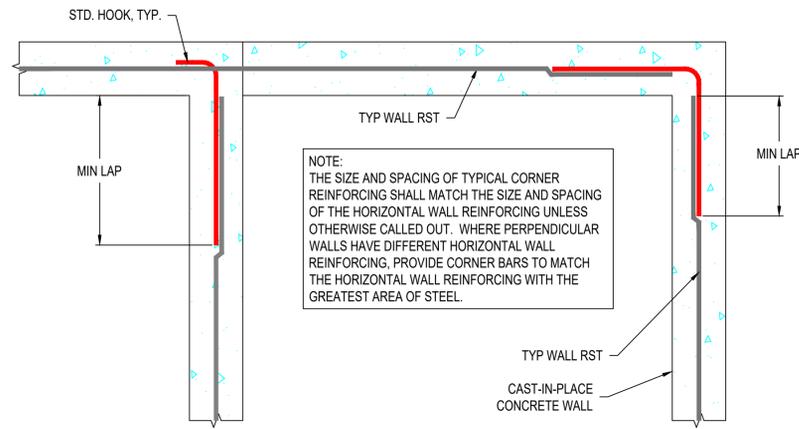
Scale AS SHOWN

**3RD FLOOR SHEAR WALL SCHEDULE:**  
 - 3/8" SHEATHING GRADE PANELS  
 - 8d NAILS @ 6" O.C. AT PANEL EDGES,  
 - 8d NAILS @ 12" O.C. FIELD  
 - TYP ALL EXT WALLS





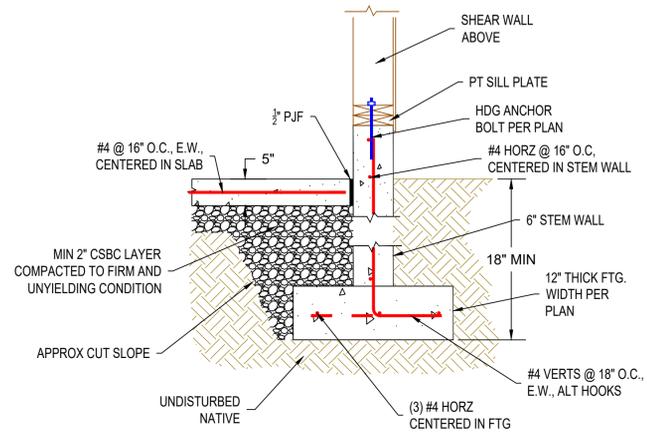




**CONCRETE WALL INTERSECTION / CORNER**

1" = 1'-0"

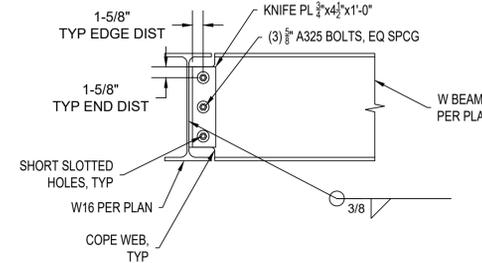
301  
TYP.



**EXTERIOR WALL FOOTING**

1" = 1'-0"

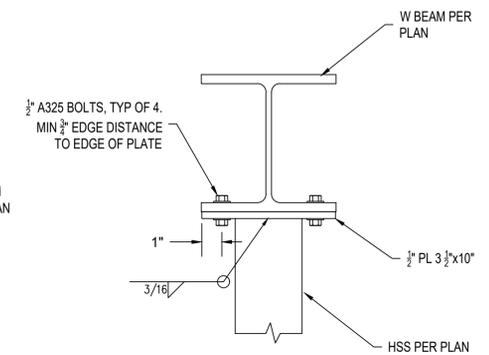
302  
TYP.



**BEAM/BEM CONNECTION**

1" = 1'-0"

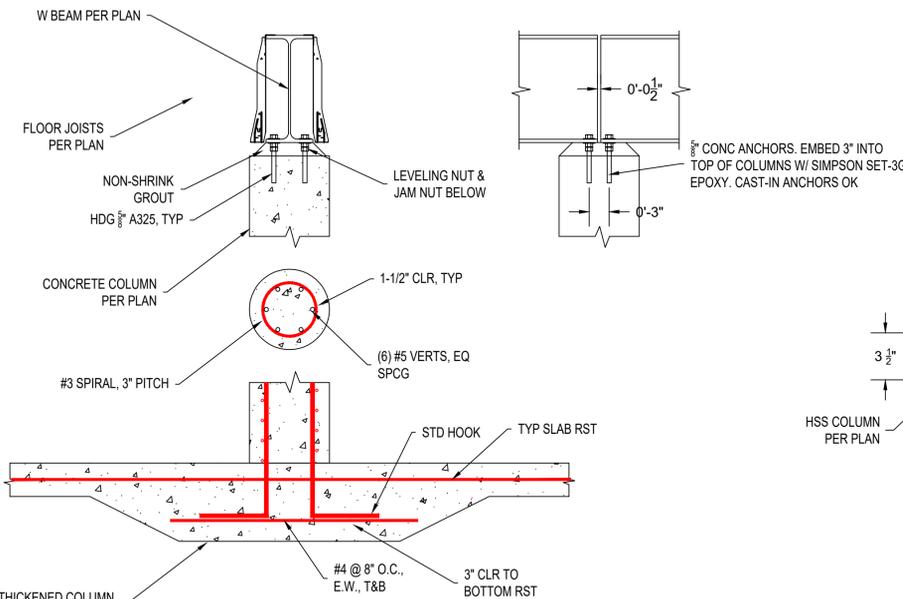
501  
TYP.



**STEEL COLUMN CONNECTION**

2" = 1'-0"

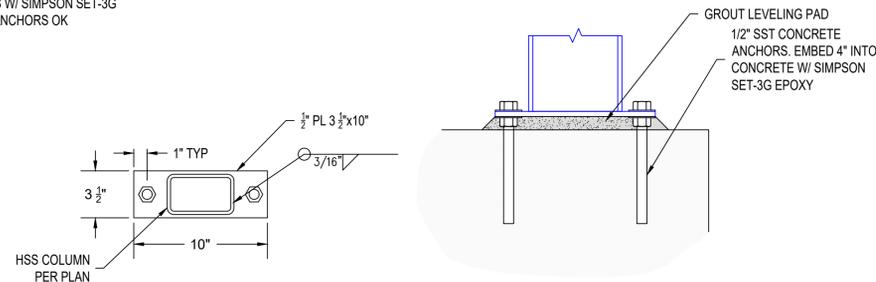
502  
TYP.



**BEAM/COLUMN CONNECTION**

1" = 1'-0"

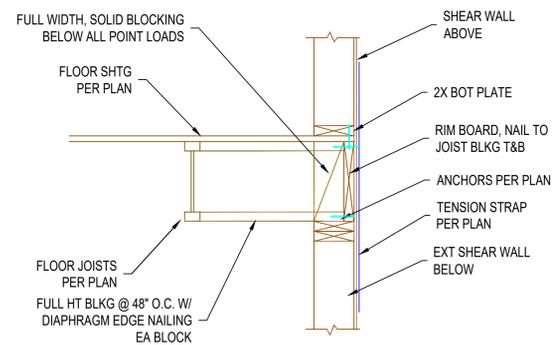
503  
TYP.



**STEEL COLUMN BASE CONNECTION**

2" = 1'-0"

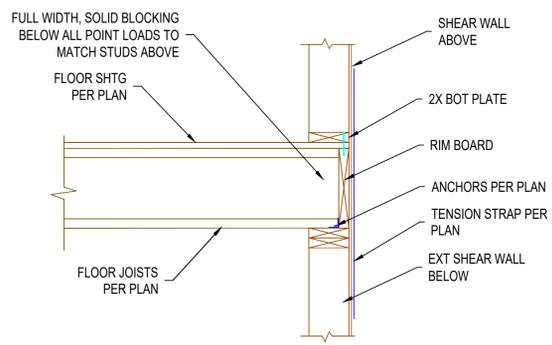
504  
TYP.



**JOISTS PARALLEL TO WALL**

1" = 1'-0"

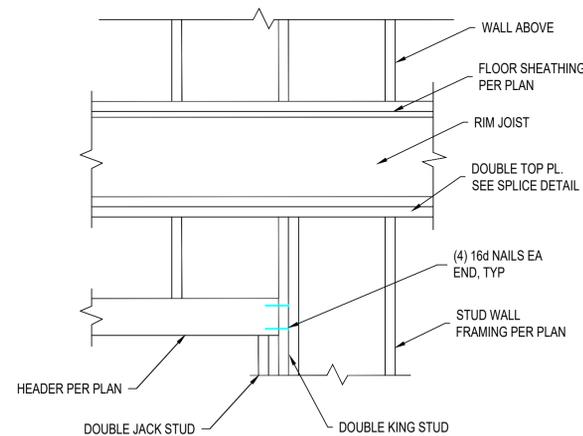
601  
TYP.



**JOISTS PERPENDICULAR TO WALL**

1" = 1'-0"

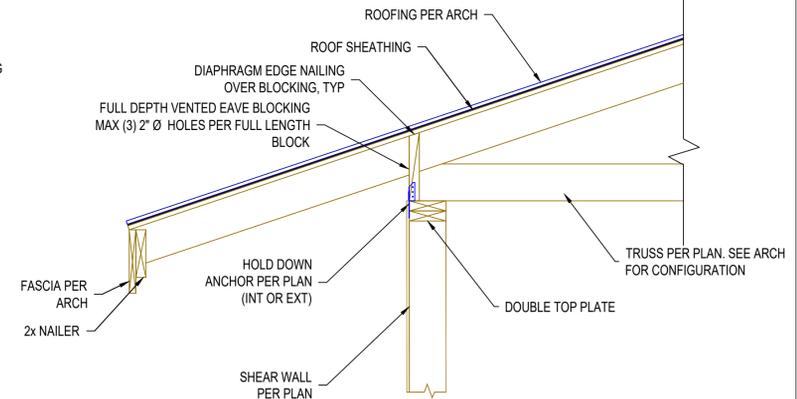
602  
TYP.



**HEADER FRAMING**

1" = 1'-0"

603  
TYP.



**WALL/TRUSS CONNECTION**

1" = 1'-0"

604  
TYP.



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STRUCTURAL DETAILS

**S07**

Scale AS SHOWN