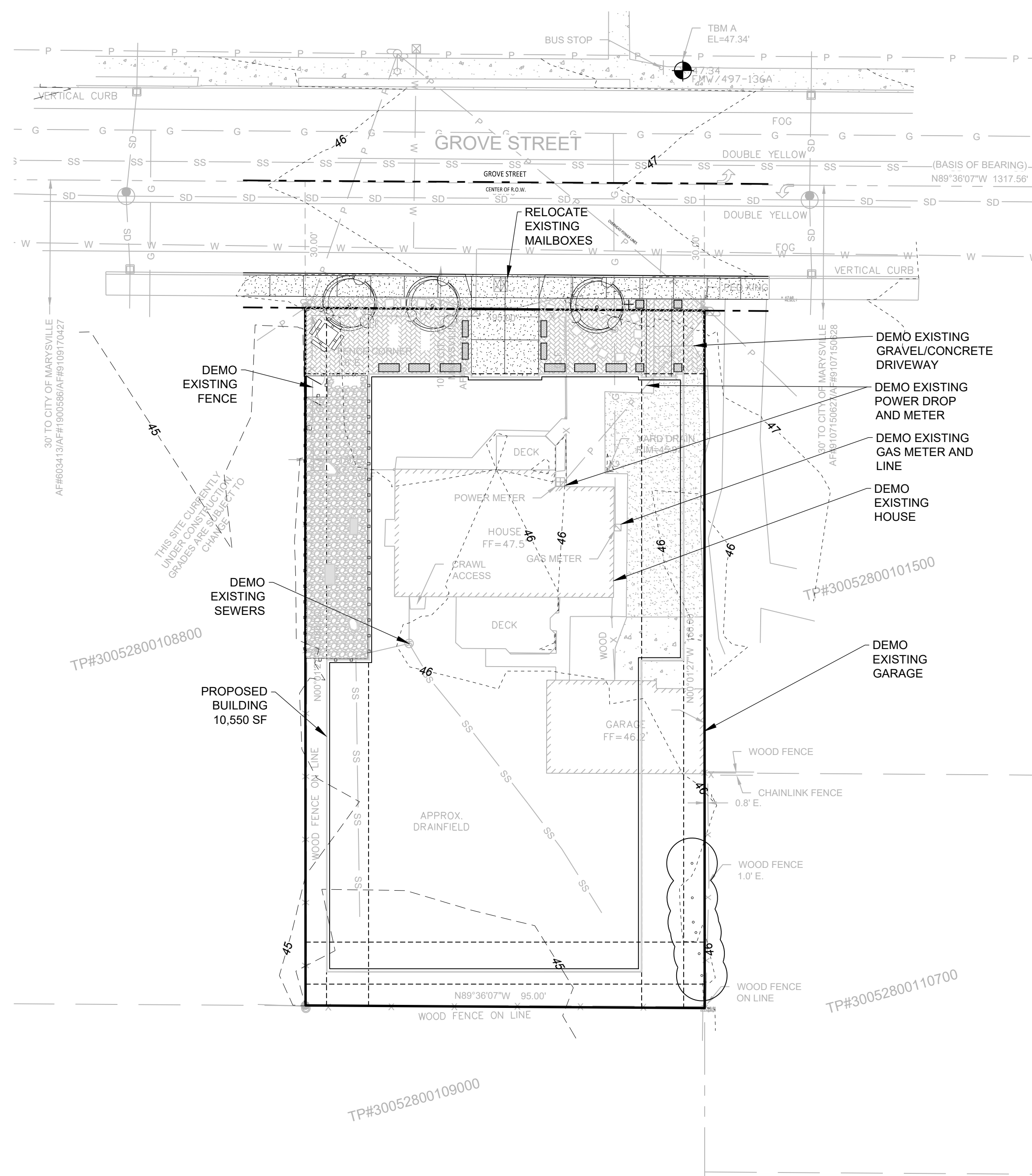
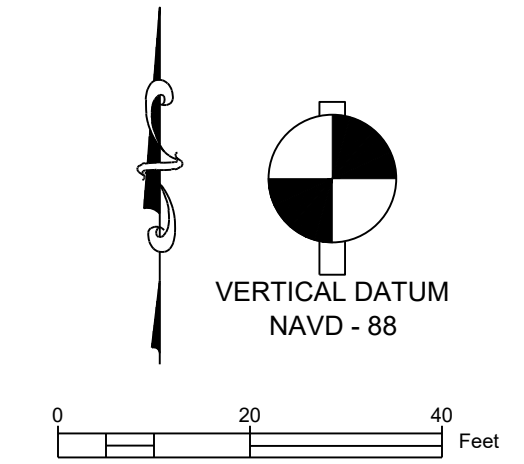


SECTION 28, TOWNSHIP 30 NORTH, RANGE 5 EAST, W.M.



LEGEND

●	FOUND MONUMENT IN CASE	△	TRANSFORMER PAD	x	GROUND SHOT
○	FOUND IRON PIPE AS NOTED	□	MAILBOX	-x-x-x-	FENCE LINE
○	FOUND REBAR AS NOTED	⊥	SIGN POST	-g-	GAS LINE
⊕	FOUND PLAT MONUMENT	○	SEWER MANHOLE	-p-	POWER LINE
⊙	BENCH MARK	□	TELEPHONE PEDESTAL	-UP-	POWER LINE (UNDERGROUND)
▲	CONTROL POINT	⊠	JUNCTION BOX	-ss-	SEWER LINE
▣	CATCH BASIN	⊕	POWER POLE W/ U.G. FEED	-sd-	STORM DRAIN LINE
⊕	WATER VALVE	○	POWER POLE	-t-	TELEPHONE LINE
⊕	GAS VALVE	⊕	FIRE HYDRANT	-UT-	TELEPHONE LINE (UNDERGROUND)
⊕	LUMINAIRE	⊕	WATER METER	-w-	WATER LINE



SITE INFORMATION

4726 72ND ST NE
MARYSVILLE, WA 98270

TAX PARCEL
30052800108700

PROPERTY AREA: 15,770 SF (0.36 ACRES)

NEW IMPERVIOUS 13,390 SF

REPLACED IMPERVIOUS 4,650 SF

POLLUTION GENERATING IMPERVIOUS 0 SF

DISTURBED AREA 16,650 SF

DATUM NAVD 88 BENCHMARK

PROJECT BENCHMARK: FOUND MONUMENT IN CASE AT THE INTERSECTION OF GROVE ST AND 47TH AVE. ELEV. = 43.40'

TBM A: FOUND MAG NAIL & YELLOW PLASTIC WASHER LOCATED IN THE NORTHERLY SIDEWALK ALONG GROVE STREET +/- 5' EAST OF A BUS STOP SIGN.

ELEV. = 47.34'

VERTICAL INFORMATION DERIVED FROM MULTIPLE GPS OCCUPATIONS UTILIZING THE WASHINGTON STATE REFERENCE NETWORK.

LEGAL DESCRIPTION

THE EAST 95 FEET OF THE NORTH 196 FEET OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 28, TOWNSHIP 30 NORTH, RANGE 5 EAST, W.M.

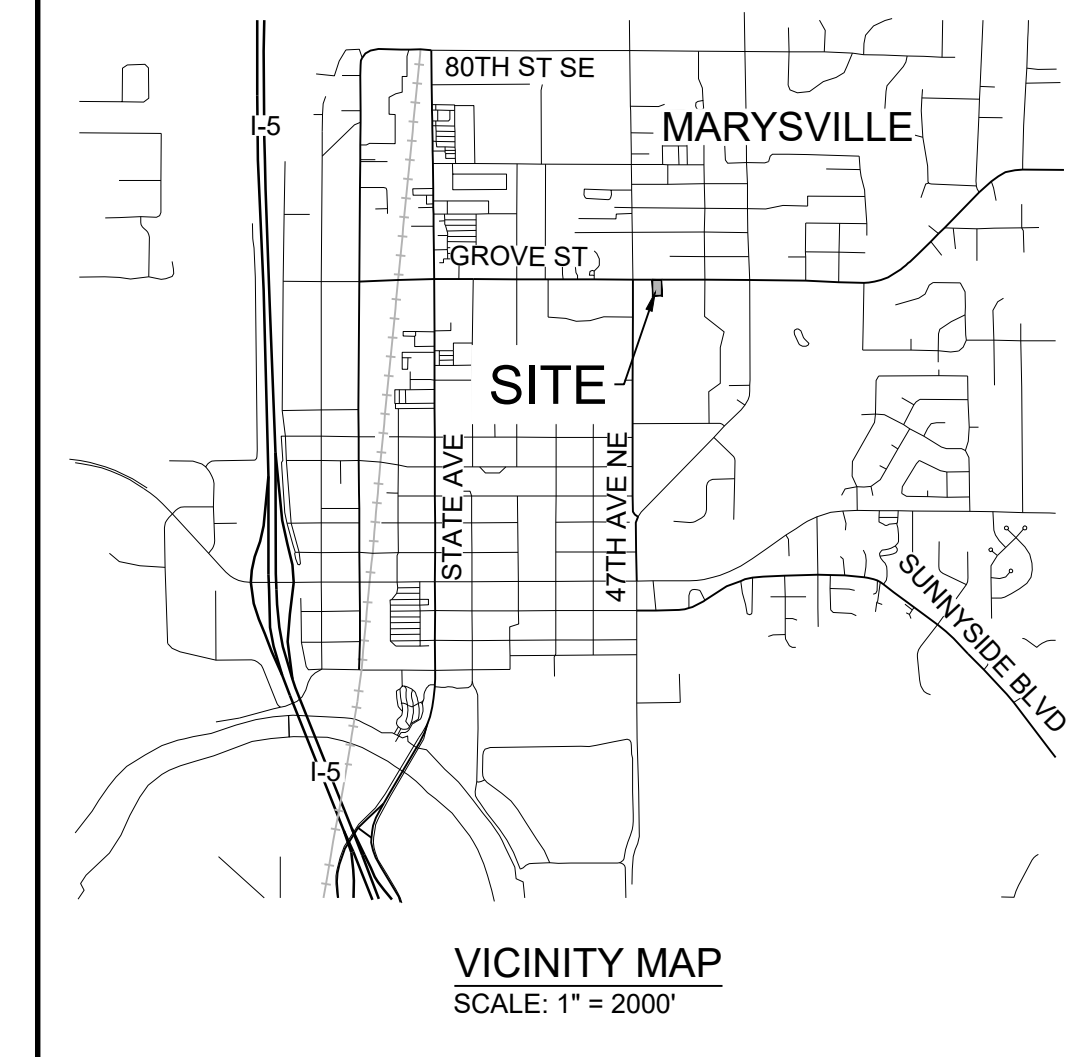
LESS 20 FEET FOR ROAD

LESS THE NORTH 10 FEET ADDITIONAL RIGHT OF WAY TO THE CITY OF MARYSVILLE PER STATUTORY WARRANTY DEED RECORDED UNDER AUDITORS FILE NUMBER 8212170191.

SITUATE IN THE CITY OF MARYSVILLE, COUNTY OF SNOHOMISH, STATE OF WASHINGTON.

BASIS OF BEARING

NORTH 89°36'07" WEST BETWEEN FOUND MONUMENTS ALONG THE CENTERLINE OF GROVE STREET.



VICINITY MAP
SCALE: 1" = 2000'

REVISIONS

ENGINEERS SURVEYORS
(360) 794-7811
(206) 343-5903
FAX: (360) 805-9732

HARMSEN
2822 COLBY AVE., SUITE 300
EVERETT, WA 98201



SUNRISE GROVE APARTMENT
4726 72ND ST NE
MARYSVILLE, WA 98270

PRELIMINARY SITE PLAN
OVERVIEW

CITY OF MARYSVILLE
CONSTRUCTION DRAWING REVIEW ACKNOWLEDGEMENT

THIS PLAN SHEET HAS BEEN REVIEWED AND EVALUATED FOR GENERAL COMPLIANCE WITH THE APPLICABLE CITY OF MARYSVILLE CODES AND ORDINANCES. CONFORMANCE OF THIS DESIGN WITH ALL APPLICABLE LAWS AND REGULATIONS IS THE FULL AND COMPLETE RESPONSIBILITY OF THE LICENSED DESIGN ENGINEER, WHOSE STAMP AND SIGNATURE APPEAR ON THIS SHEET. ACKNOWLEDGEMENT OF CONSTRUCTION DRAWING REVIEW DOES NOT IMPLY CITY APPROVAL FOR CONSTRUCTION ACTIVITIES THAT REQUIRE OTHER COUNTY, STATE OR FEDERAL PERMIT REVIEW AND APPROVAL. THE PROPERTY OWNER AND LICENSED DESIGN ENGINEER SHALL BE RESPONSIBLE FOR THE ACQUISITION AND COMPLIANCE OF ALL APPLICABLE PERMITS OR AUTHORIZATIONS WHICH MAY INCLUDE, BUT ARE NOT LIMITED TO, WSDFW HYDRAULIC PROJECT APPROVAL (HPA), WSDOE NOTICE OF INTENT (NOI), ANY CORP OF ENGINEERS FILL PERMITS AND THE REQUIREMENTS OF THE ENDANGERED SPECIES ACT.

THIS _____ DAY OF _____, 202__.

BY: _____
KEN MCINTYRE, PE, DEVELOPMENT SERVICES MANAGER

THESE APPROVED CONSTRUCTION PLANS EXPIRE AFTER PERIOD OF 60 MONTHS FROM THE DATE SHOWN ABOVE OR UPON EXPIRATION OF PRELIMINARY PLAT OR SITE PLAN APPROVAL, PER MMC 22A.040.020 AND 22A.040.030.

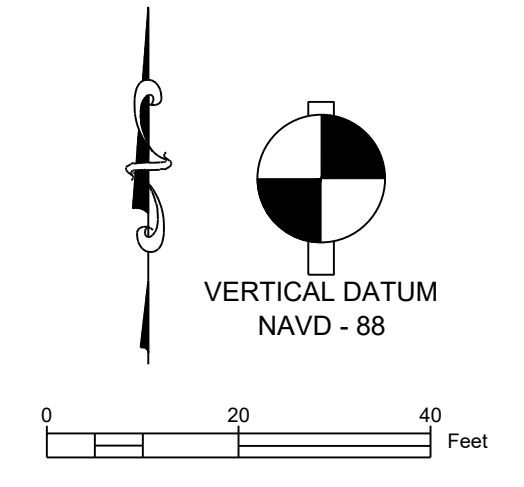
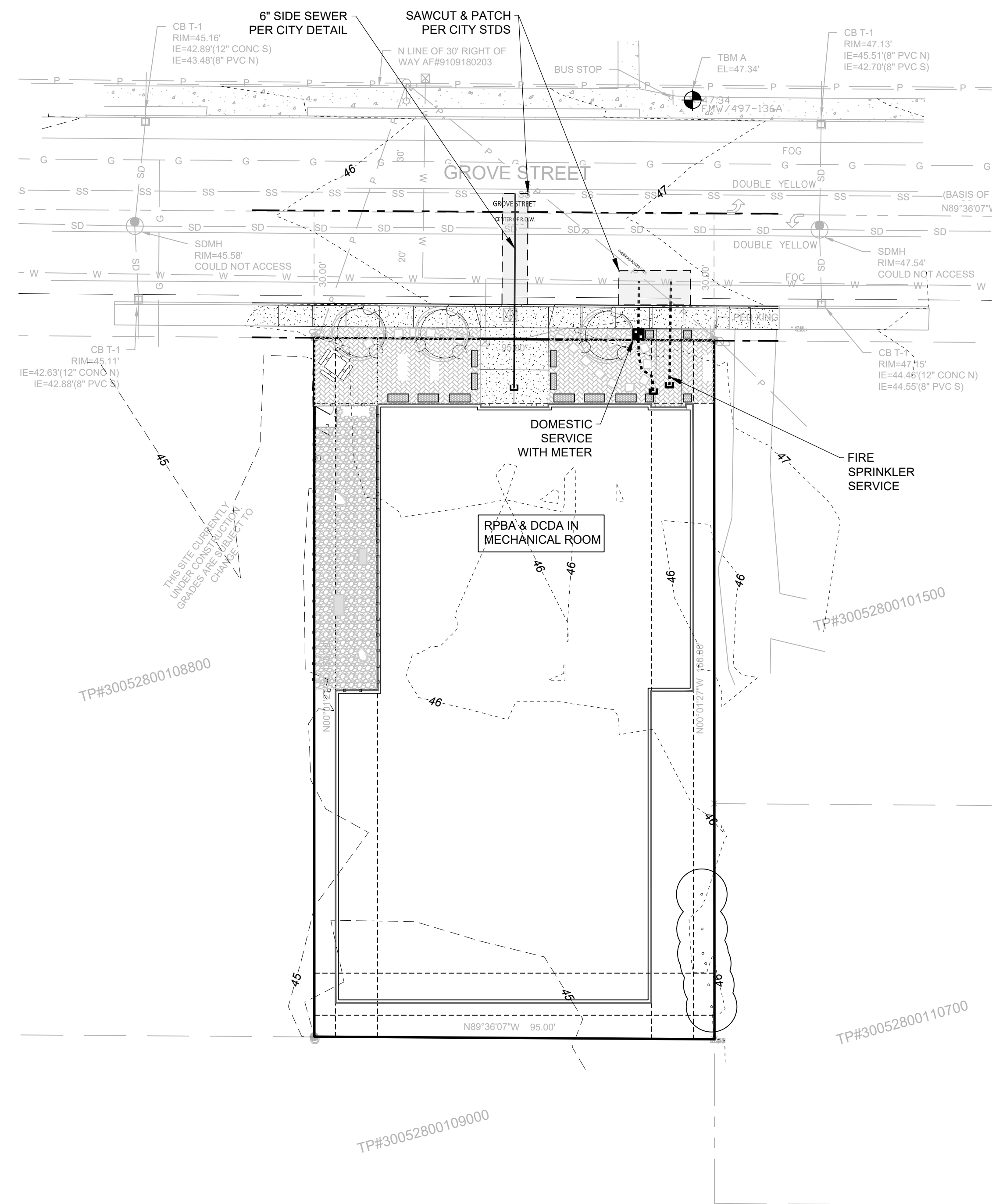
DATE: 12/1/22

JOB #: 21-371



C1.0

SECTION 28, TOWNSHIP 30 NORTH, RANGE 5 EAST, W.M.



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SUNRISE GROVE APARTMENT
4726 72ND ST NE
MARYSVILLE, WA 98270
**PRELIMINARY SITE PLAN
SEWER & WATER PLAN**

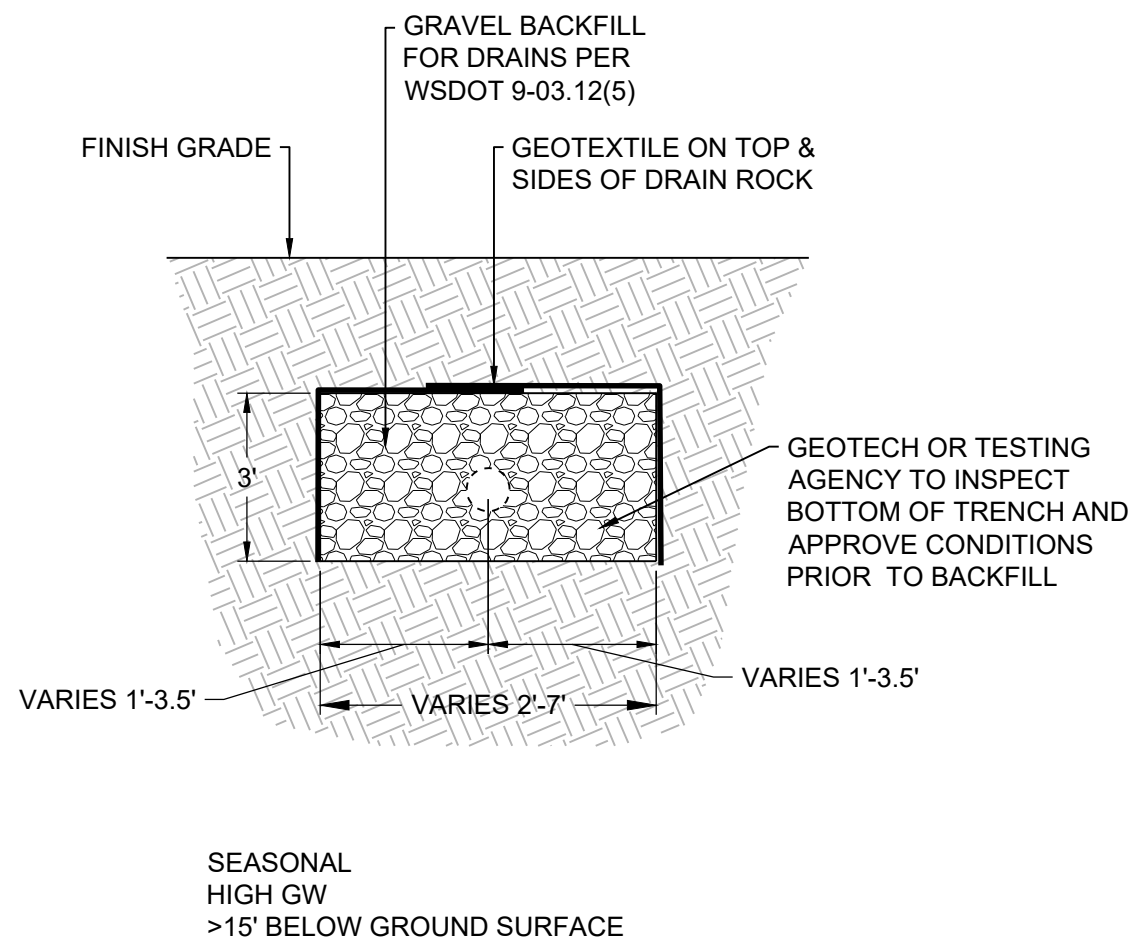
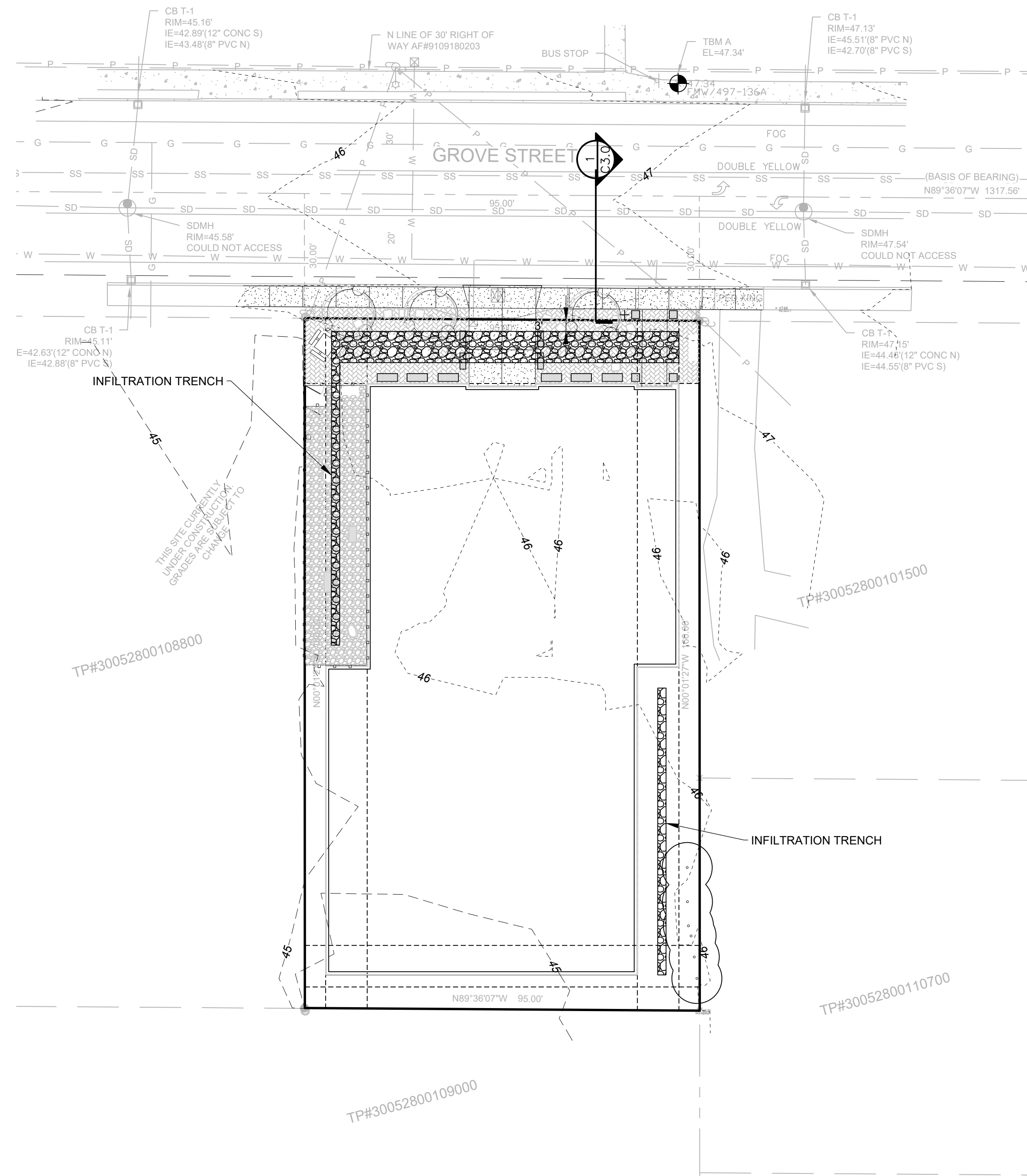
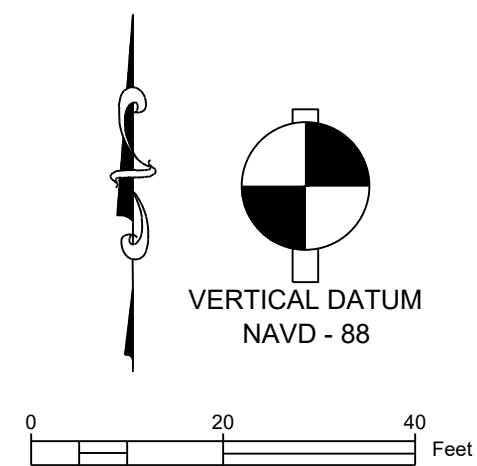
DATE: 12/1/22

JOB #: 21-371



C2.0

SECTION 28, TOWNSHIP 30 NORTH, RANGE 5 EAST, W.M.



ROOF INFILTRATION TRENCH DETAIL

NOTES

- CITY OF MARYSVILLE CONSTRUCTION STANDARDS CAN BE FOUND ONLINE AT THE CITY'S WEBSITE.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. AGENCIES INVOLVED SHALL BE NOTIFIED WITHIN REASONABLE TIME PRIOR TO START OF CONSTRUCTION.
- CALL FOR INSPECTION OF THE EXISTING STORM DRAINAGE SYSTEM WHEN THE POINT OF CONNECTION HAS BEEN EXCAVATED.

THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. AGENCIES INVOLVED SHALL BE NOTIFIED WITHIN A REASONABLE TIME PRIOR TO THE START OF CONSTRUCTION.

FOOTING DRAIN NOTES

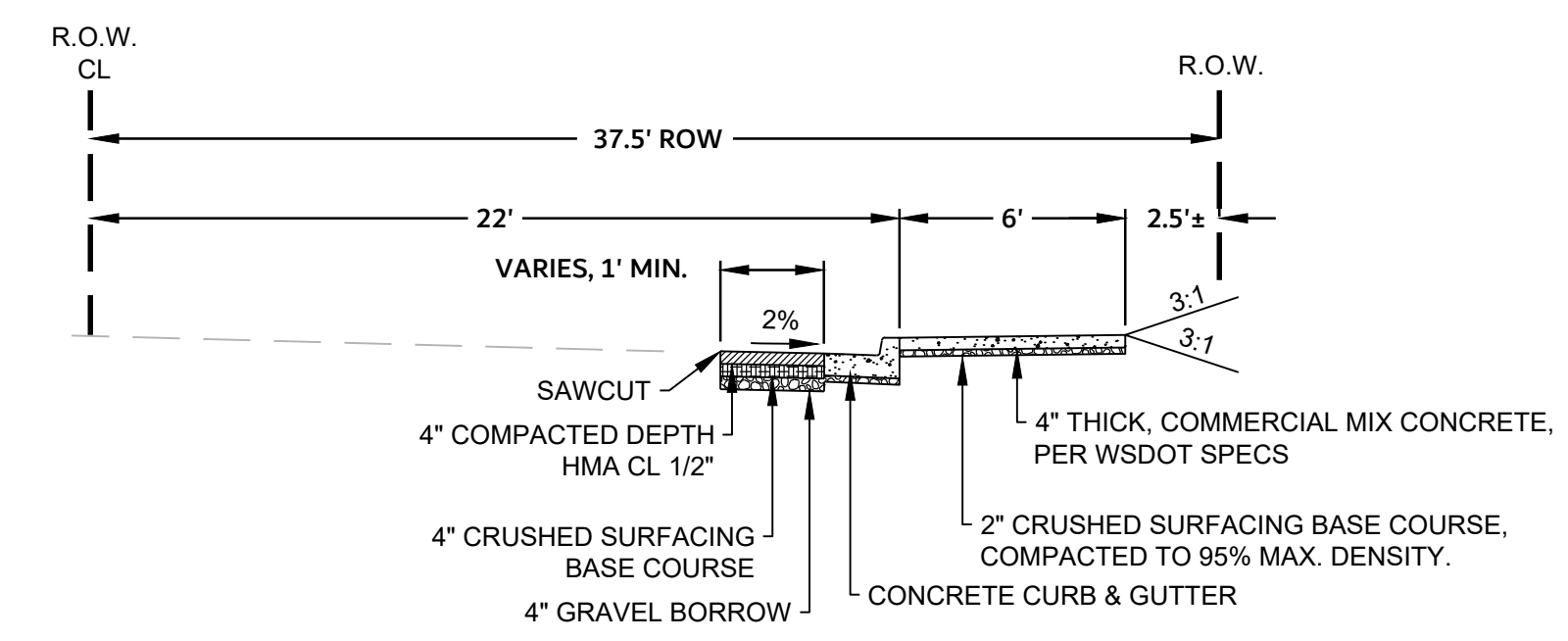
- CONNECT BUILDING PERIMETER DRAINS TO INFILTRATED TRENCH.
- PROVIDE 6" PVC PIPE WITH MINIMUM PIPE SLOPE OF 0.5% FROM FOOTING DRAIN ELEVATION AT BUILDING TO CONNECTION AT STORM LINE.

YARD DRAIN NOTES

- YARD DRAINS SHALL BE 8" SQUARE PLASTIC DRAINS OR APPROVED EQUAL, ADA COMPLIANT AND HEEL PROOF. CONNECTED BY MIN 4" RIGID PVC PIPE, S=0.01 FT/FT MIN.

ROOF DRAIN NOTES

- VERIFY DOWNSPOUT LOCATIONS WITH ARCHITECTURAL PLANS.
- ROOF DRAINS FROM EACH BUILDING TO BE CONNECTED TO 200 LF 6" PERF PIPE UNDER PERVIOUS PAVEMENT PER DETAIL 2/C3.0.
- INSTALL CLEANOUTS AT TEES, BENDS 45° OR GREATER AND AT INTERVALS NO GREATER THAN 150 LF.
- PROVIDE NECESSARY FITTINGS TO CONNECT ROOF STUB TO DOWNSPOUT.



1 GROVE STREET FRONTAGE IMPROVEMENTS SECTION
SCALE: 1" = 5'

REVISIONS

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SUNRISE GROVE APARTMENT
4726 72ND ST NE
MARYSVILLE, WA 98270
PRELIMINARY SITE PLAN
STORM DRAINAGE & PAVING PLAN

DATE: 12/1/22

JOB #: 21-371



C3.0