

LAND USE CODE ANALYSIS

PROJECT ADDRESS 4726 GROVE ST, MARYSVILLE, WASHINGTON 98270
PARCEL 30052800108700
SITE AREA 15,770 SF
ZONING DOWNTOWN SUBAREA FR (FLEX RESIDENTIAL)

DIMENSIONAL REGULATIONS MMC TABLE 22C.080.140

	REQUIRED	PROVIDED
BASE HEIGHT	45'	41' - 8 3/4"
MAX BASE DENSITY (28 DU/ACRE)	10	16 ¹
MAX DENSITY	16	16 ¹
STREET SETBACK	0-10'	15' - 7"
SIDE YARD SETBACK	0-15'	5'-15' (SEE SITE PLAN)
REAR YARD SETBACK	0-15'	5' - 7" MIN

¹ADDITIONAL UNITS PER 22C.090.030 PUBLIC BENEFITS AND DENSITY INCENTIVES (SEE CALCULATIONS BELOW)

REQUIRED PARKING MMC TABLE 22C.080.230

USE CATEGORY **MIN SPACES PER UNIT**

1 BEDROOM	1.25
2 BEDROOMS OR MORE	1.5

2 @ 1 BEDROOM	2x1.25	2.5
9 @ 2 BEDROOM	9x1.5	13.5
5 @ 3 BEDROOM	5x1.5	7.5
TOTAL		23.5
PROVIDED		24

BLOCK FRONTAGE TYPE MMC TABLE 22C.080.300

PERMITTED FRONTAGE FLEXIBLE

UNDESIGNATED BLOCK FRONTAGE STANDARDS MMC TABLE 22C.080.350(3)

BUILDING PLACEMENT	BUILDING PLACED AT LEAST 15' BEHIND SIDEWALK
BUILDING ENTRANCES	BUILDING ENTRY VISIBLE AND DIRECTLY ACCESSIBLE FROM THE STREET
FACADE TRANSPARENCY	TRANSPARENT WINDOWS EXCEED 10% OF BUILDING FACADE (SEE 1/A3.11)
WEATHER PROTECTION	3' DEEP REQUIRED, 3' - 6' PROVIDED (SEE 1/A2.10)
PARKING	NO PARKING LOT LOCATION RESTRICTIONS
LANDSCAPING	SEE LANDSCAPE PLANS

REQUIRED OPEN SPACE MMC TABLE 22C.080.420(3)

USE CATEGORY **MIN OPEN SPACE PER UNIT**

1 BEDROOM	100 SF
2 BEDROOMS OR MORE	150 SF

2 @ 1 BEDROOM	200 SF
14 @ 2,3 BEDROOM	2100 SF
TOTAL	2300 SF
PROVIDED	2300 SF (SEE OPEN SPACE PLAN ON L-1)

BUILDING MASSING AND ARTICULATION MMC 22C.080.510

ARTICULATION FEATURES (AT LEAST THREE REQUIRED) MMC 22C.080.510(2)(b)

- (i) USE OF A WINDOW FENESTRATION PATTERN
- (ii) USE OF WEATHER PROTECTION FEATURES
- (v) CHANGE IN BUILDING MATERIAL AND/OR SIDING STYLE

MAXIMUM FACADE LENGTH MMC 22C.080.510(3)

NOT APPLICABLE - BUILDING ELEVATION LESS THAN 120'

WINDOW DESIGN STANDARDS MMC 22C.080.520(3)

(a) WINDOWS RECESSED AT LEAST 1-1/2" (SEE 10-12/A8.00)

BUILDING MATERIALS MMC 22C.080.530(2)(d)

- (i) NOT APPLICABLE - RESIDENTIAL USE
- (ii) INTEGRATED MIX OF TEXTURES (PANEL AND LAP SIDING) AND MODULATED BUILDING SURFACES

PUBLIC BENEFITS AND DENSITY INCENTIVES MMC 22C.090.030

BENEFIT	DENSITY INCENTIVE
3. COMMUNITY IMAGE AND IDENTITY	\$15,000 PER BONUS UNIT



SUNRISE GROVE APARTMENTS
4726 GROVE ST, MARYSVILLE, WA 98270

REVISIONS

No.	Description	Date



Project Status

Sheet

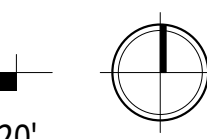
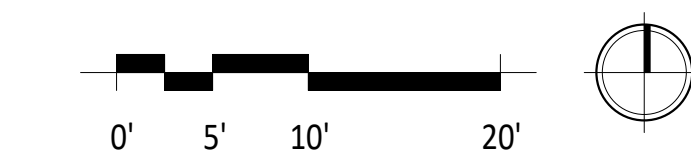
SITE PLAN

Date FEBRUARY 1, 2023

Project A.2206.01

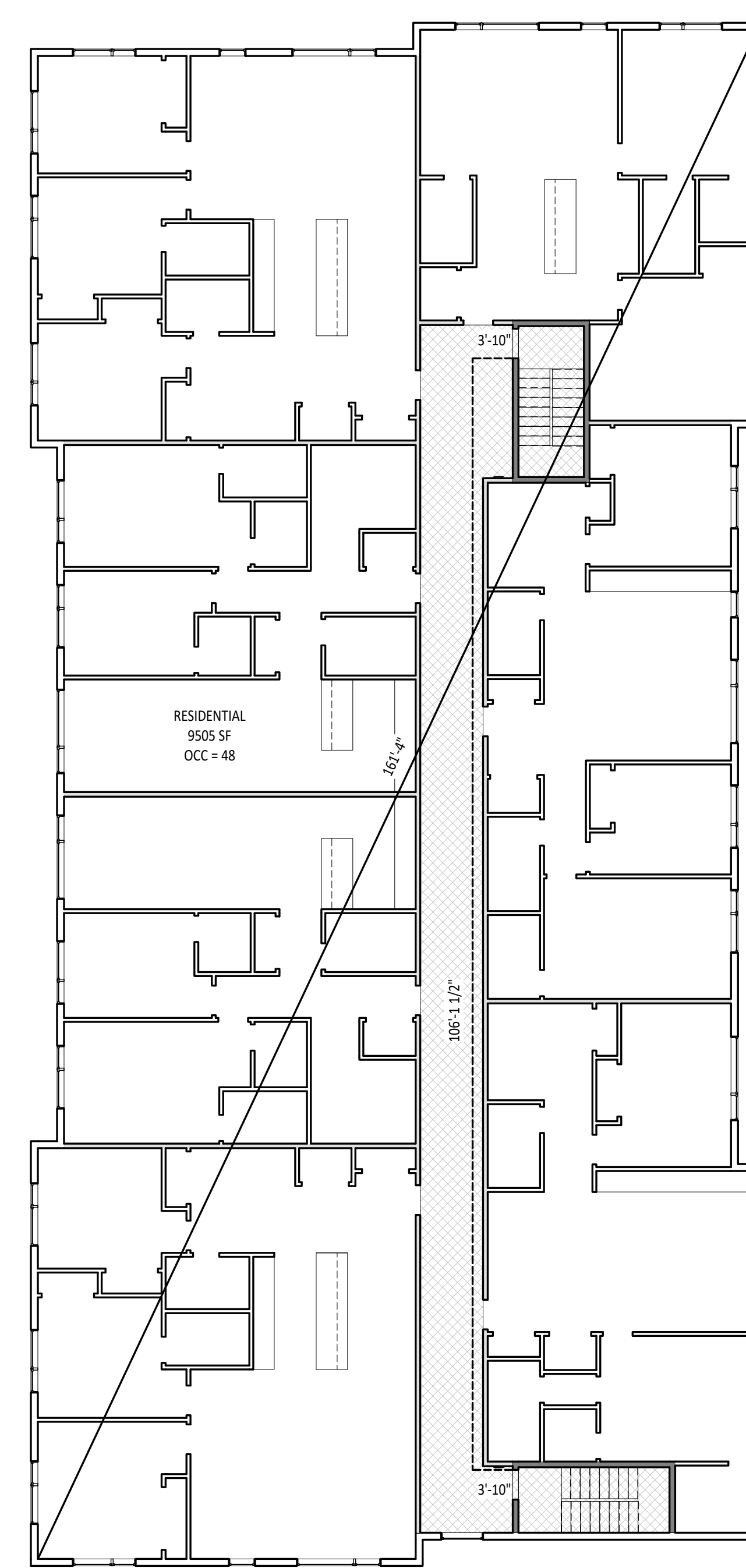
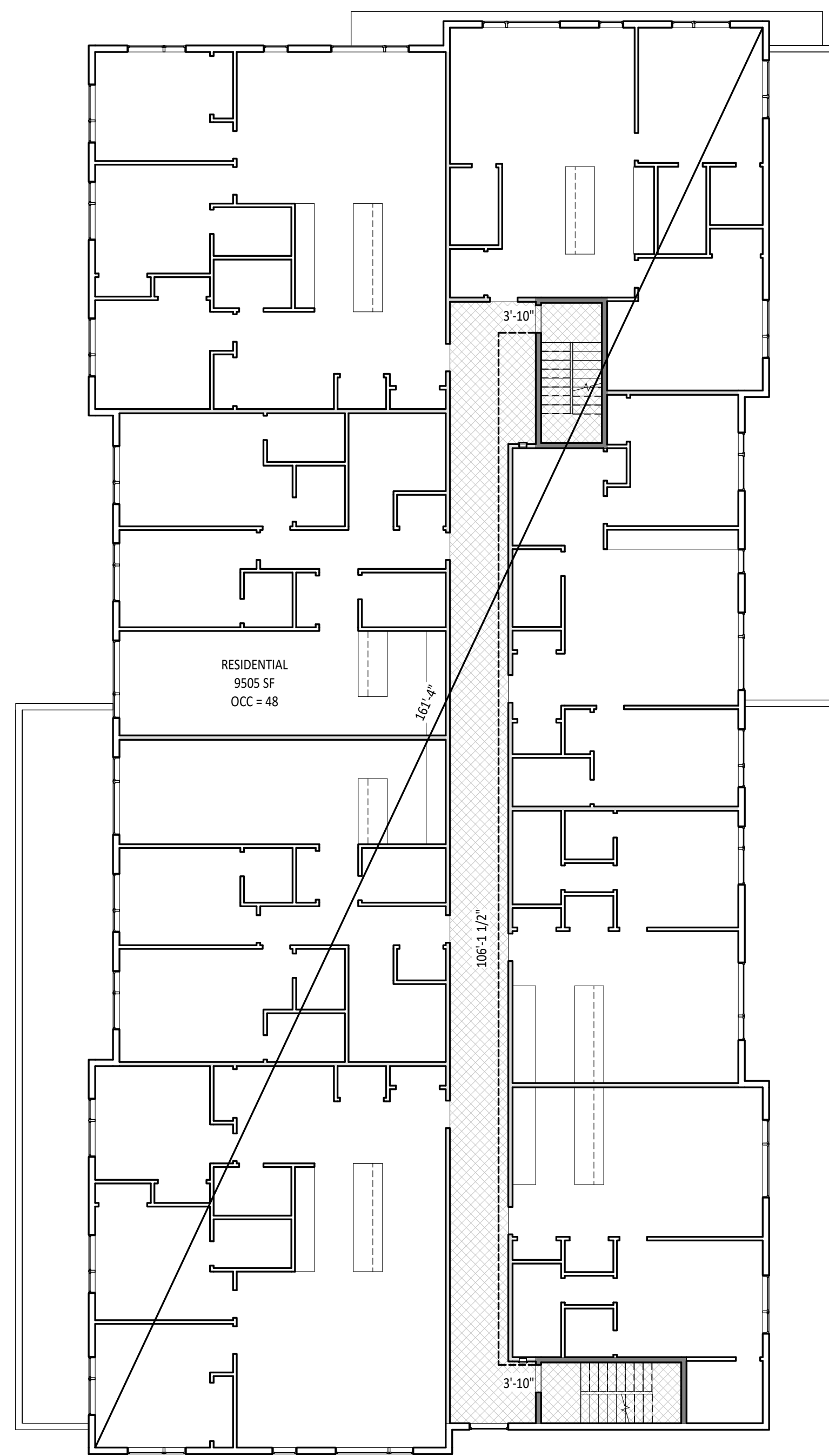
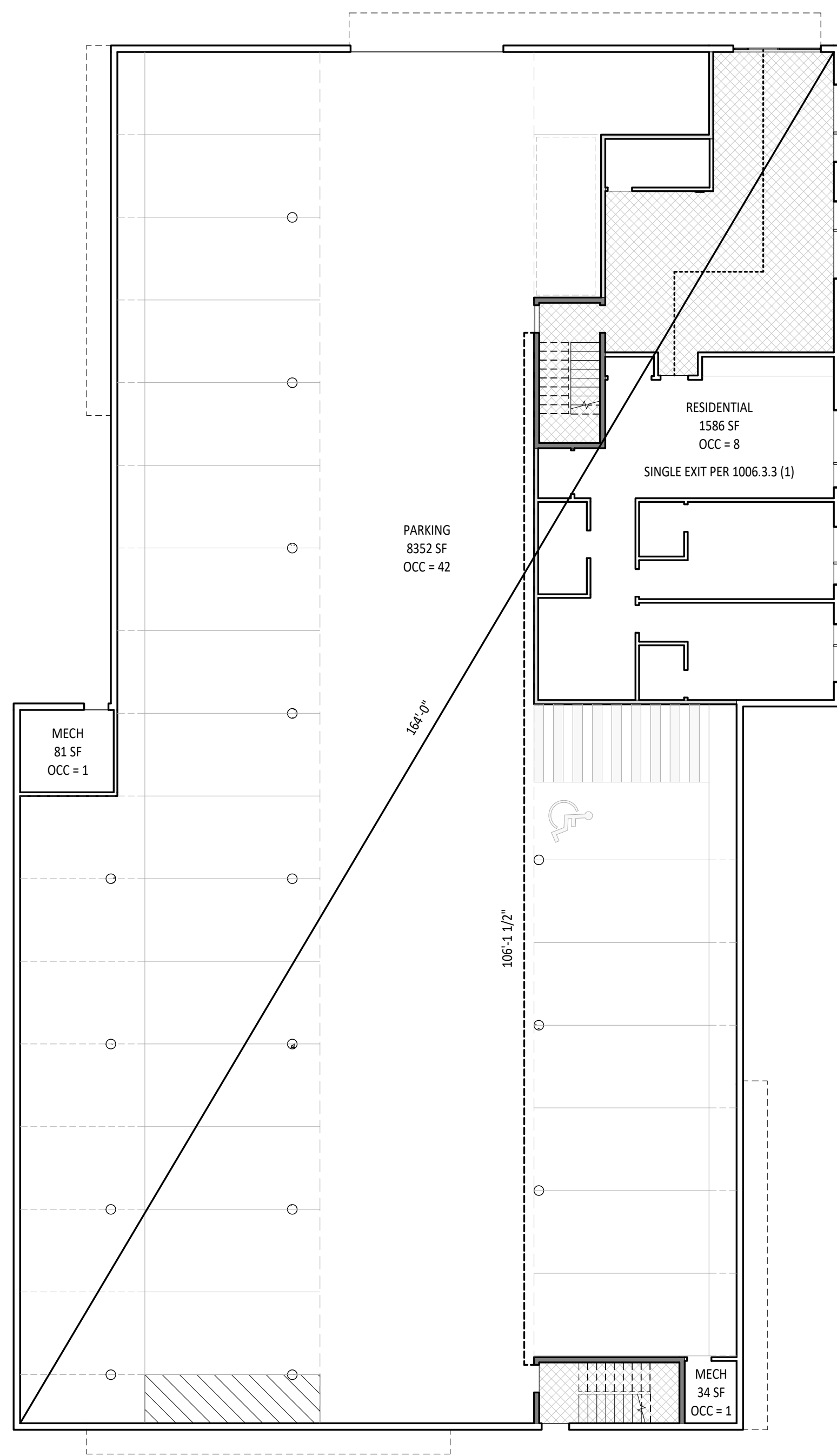
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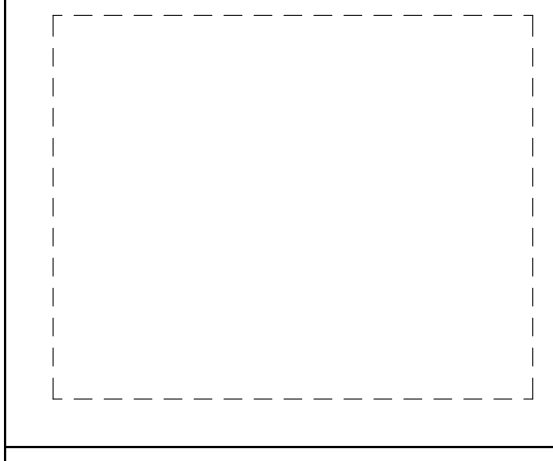


LIFE SAFETY LEGEND		MEANS OF EGRESS CALCULATIONS	
	1-HR FIRE-RATED EGRESS CORRIDOR	OCCUPANCY CLASSIFICATION	IBC 310
	1-HR FIRE-RATED WALLS	R-2	
	2-HR FIRE-RATED WALLS	MAX FLOOR AREA ALLOWANCE	IBC TABLE 1004.5
	EXIT SEPARATION	RESIDENTIAL	200 SF GROSS
	ACCESSIBLE ROUTE	PARKING GARAGES	200 SF GROSS
		ACCESSORY STORAGE, MECH EQUIPMENT ROOM	300 SF GROSS
		TOTAL OCCUPANT LOAD	148
		STAIRWAY CAPACITY	
		148 x 0.2 (PER 1005.3.1, EXCEPTION 1)	29.6"
		EXIT SEPARATION	IBC 1007.1.1
		FLOOR	MAX DIMENSION
		FLOOR 01	164'-0"
		FLOOR 02	161'-4"
		FLOOR 03	161'-4"
		REQ'D SEPARATION	PROVIDED
			106'-1 1/2"
			113'-9 1/2"
			113'-9 1/2"



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LIFE SAFETY PLANS

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Scale As indicated

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1 LIFE SAFETY PLAN - FLOOR 01
3/32" = 1'-0"

2 LIFE SAFETY PLAN - FLOOR 02
3/32" = 1'-0"

3 LIFE SAFETY PLAN - FLOOR 03
3/32" = 1'-0"

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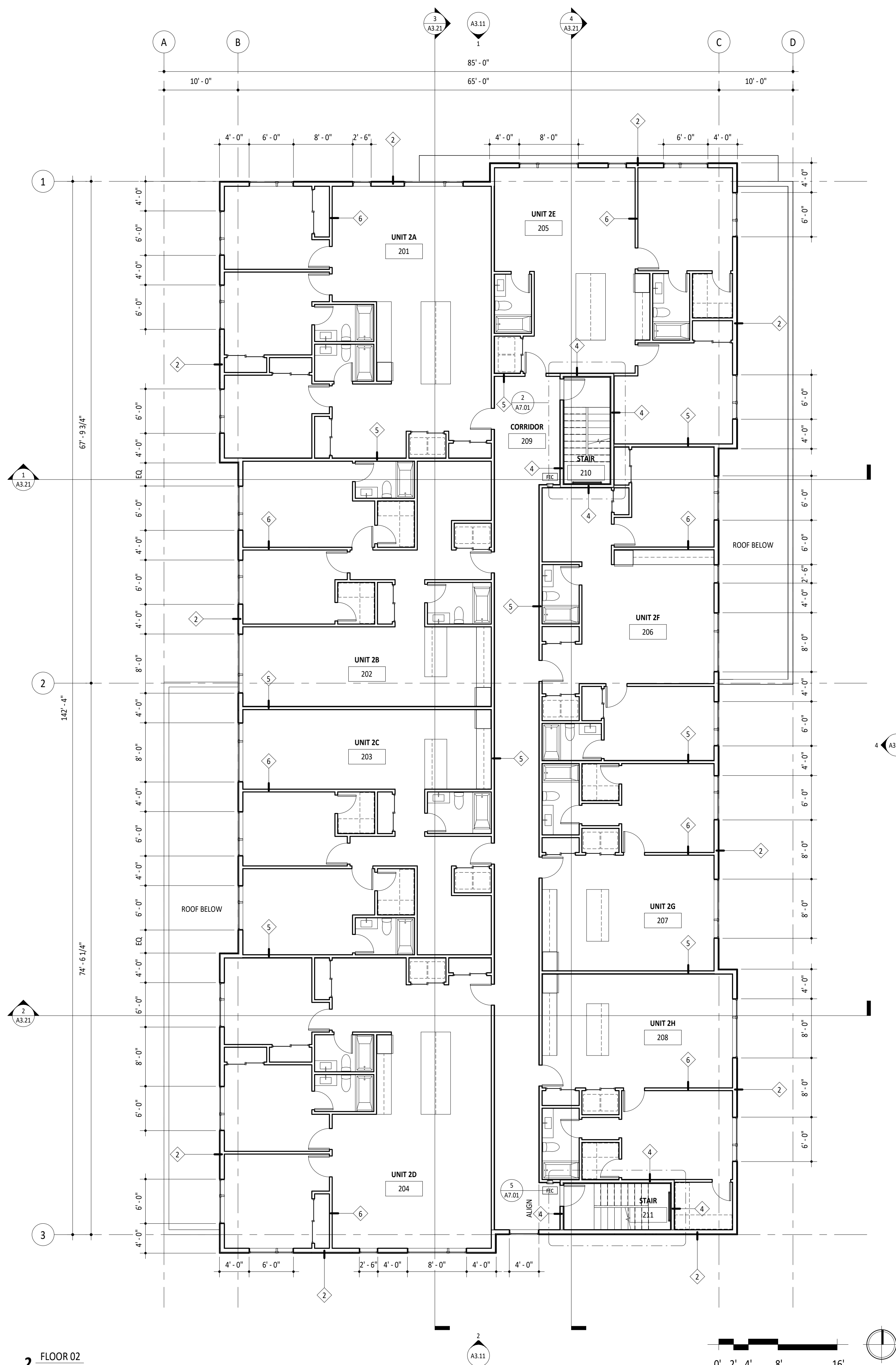
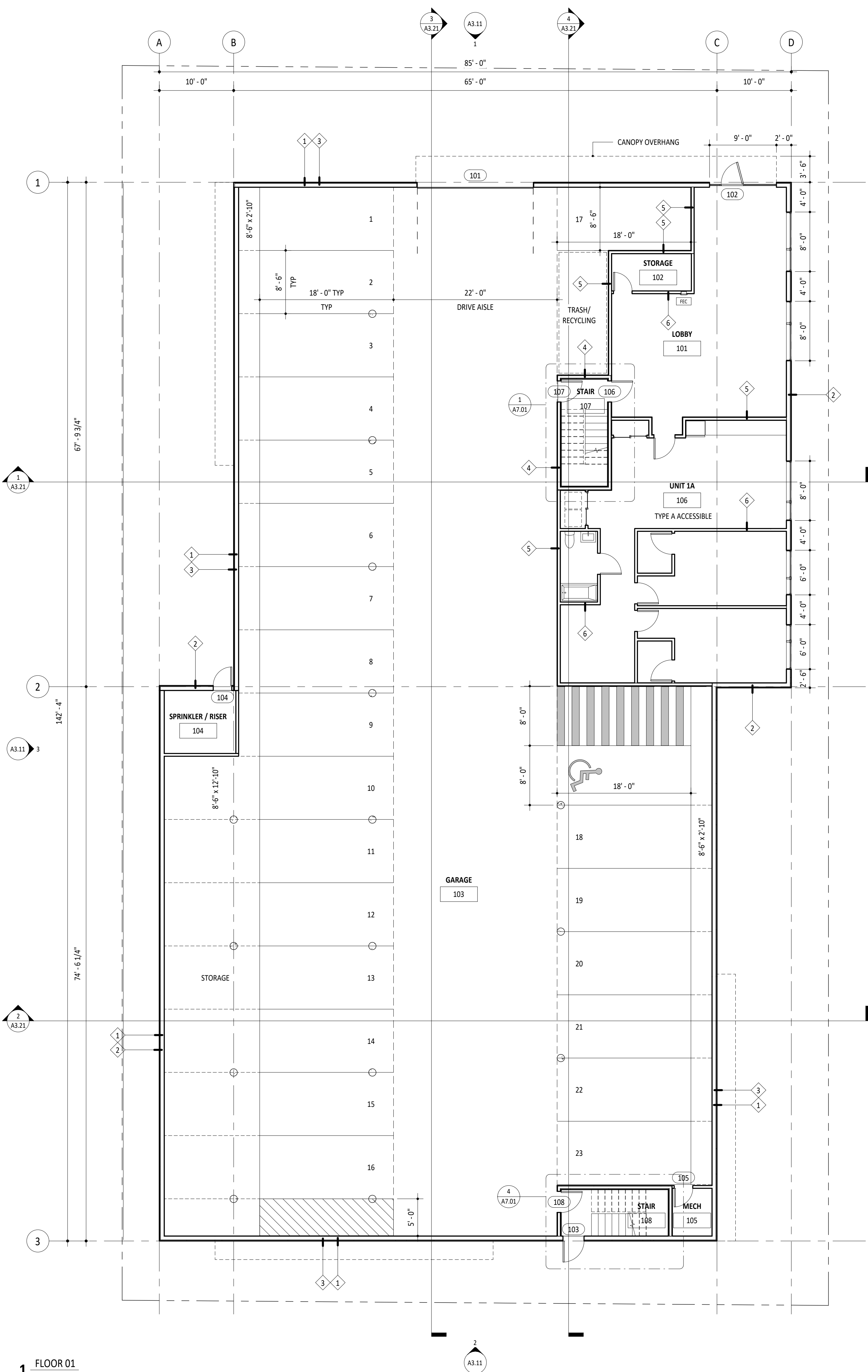
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FLOOR PLANS - FLOORS 01 AND 02

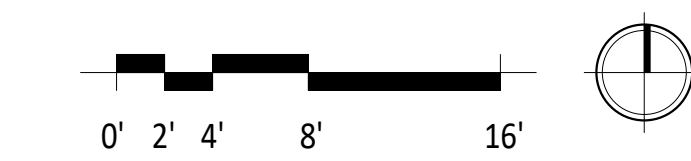
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Project: A.2206.01
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1 FLOOR 01
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2 FLOOR 02
1/8" = 1'-0"



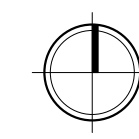
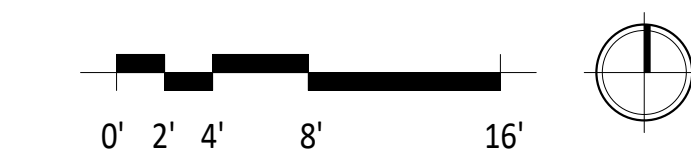
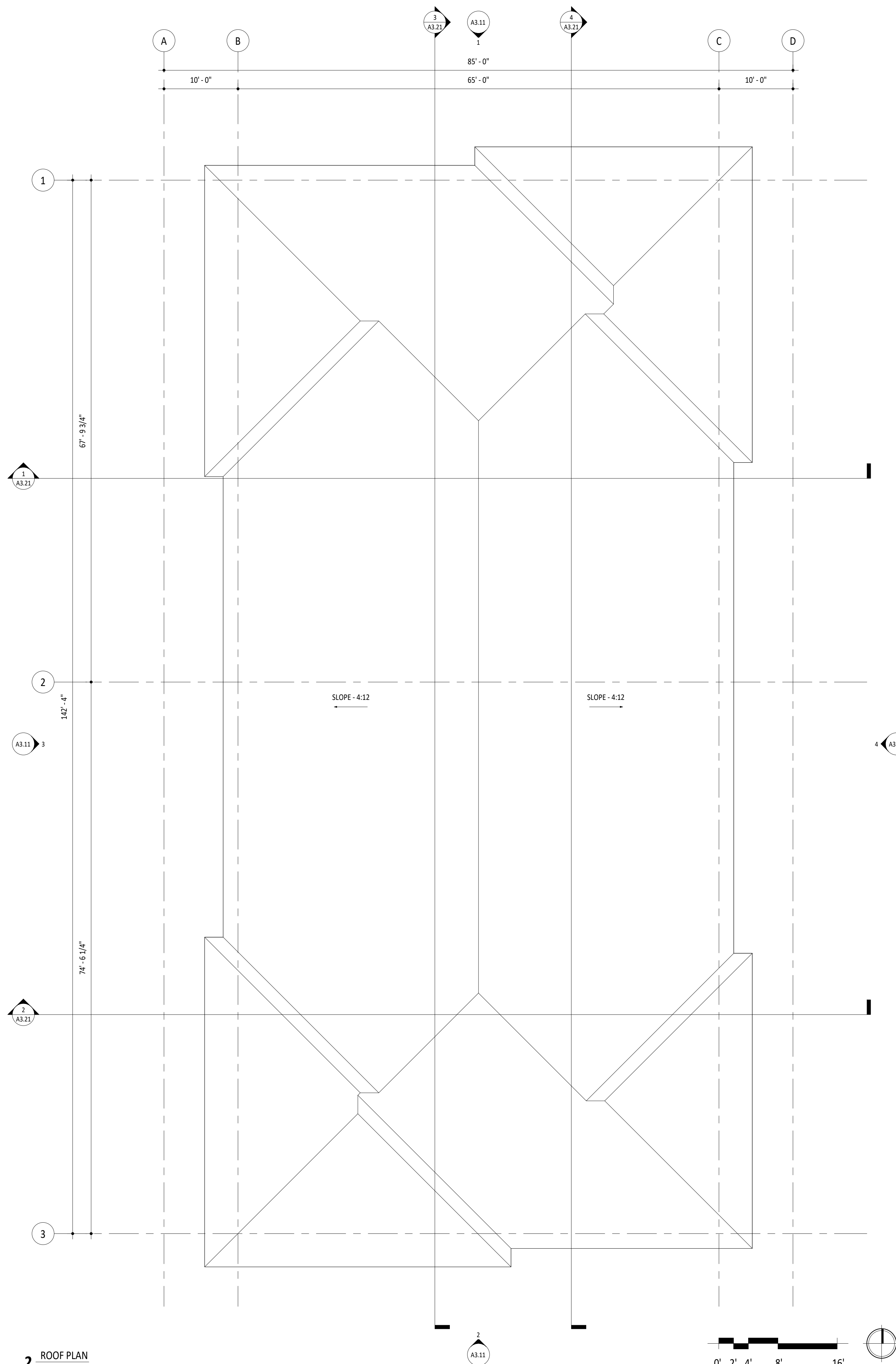
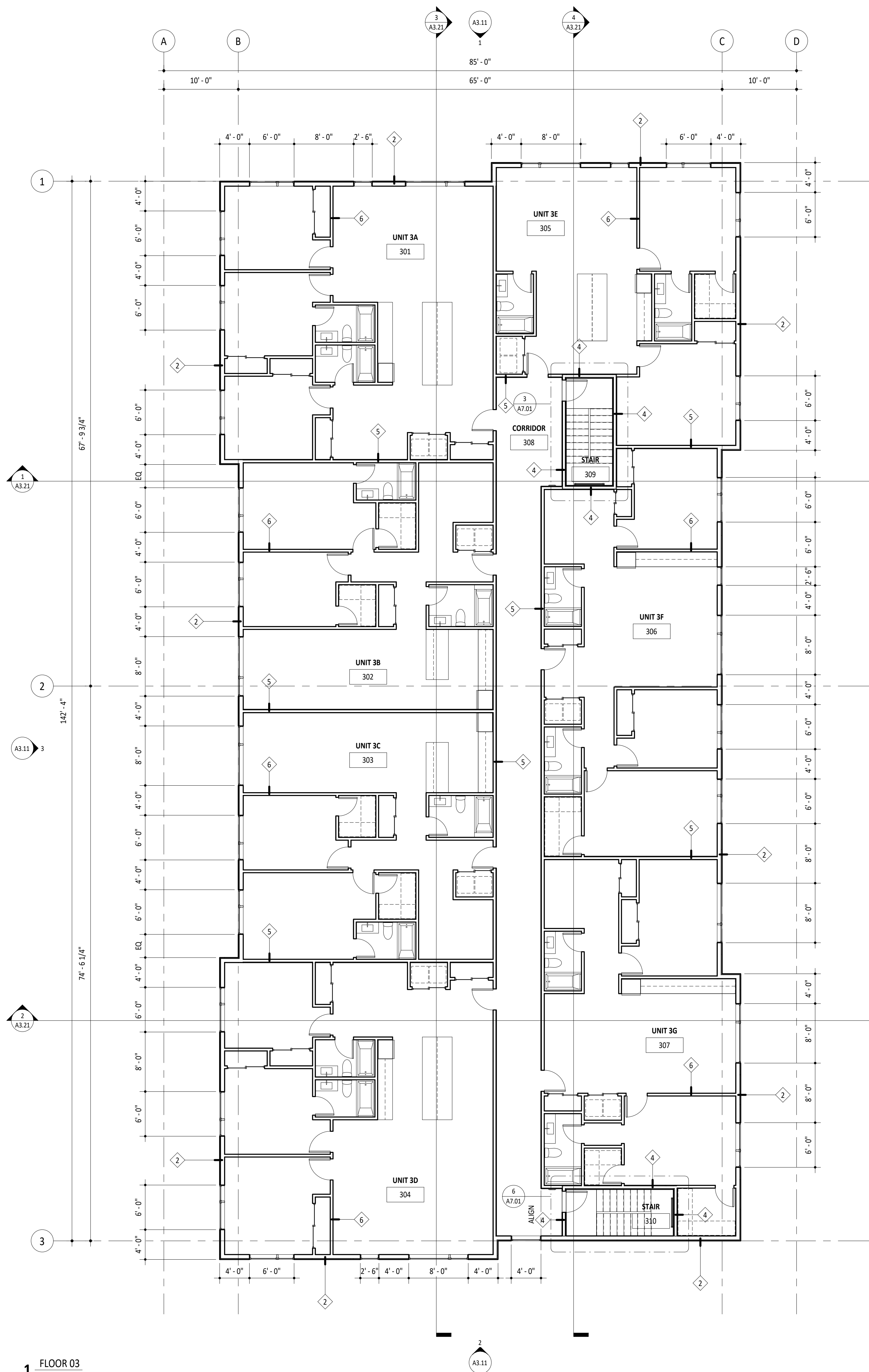
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**FLOOR PLANS - FLOOR 03
AND ROOF**

Date FEBRUARY 1, 2023
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ALLOWABLE OPENING AREA
IBC TABLE 705.8

MAXIMUM AREA OF EXTERIOR WALL OPENINGS

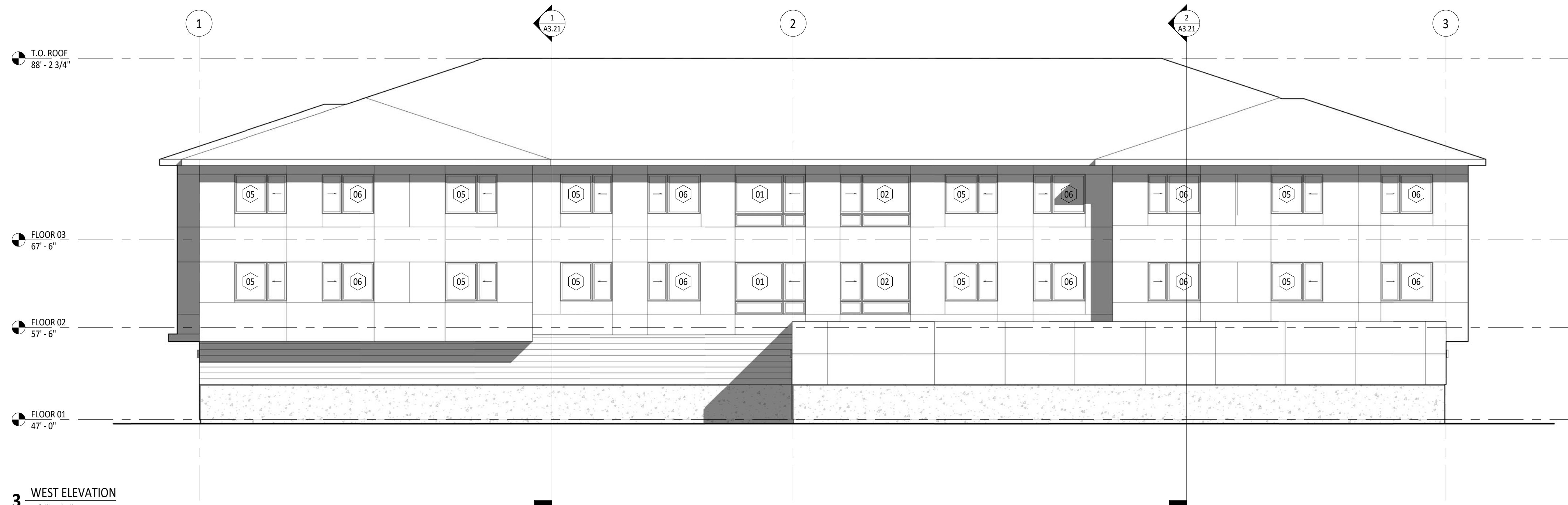
FIRE SEPARATION DISTANCE: 15 TO LESS THAN 10 FEET (1F)
10 TO LESS THAN 15 FEET (2F-3F)

DEGREE OF OPENING PROTECTION: UNPROTECTED, SPRINKLERED

ALLOWABLE AREA: 25% (1F)
45% (2F-3F)

	EXT WALL SURFACE AREA	OPENING AREA	PERCENTAGE
1F	4874 SF	404 SF	08.29%
2F	4346 SF	981 SF	22.57%
3F	3708 SF	981 SF	26.45%

PER IBC 903.3.1.1 AUTOMATIC SPRINKLER SYSTEM TO BE INSTALLED THROUGHOUT IN ACCORDANCE WITH NFPA 13



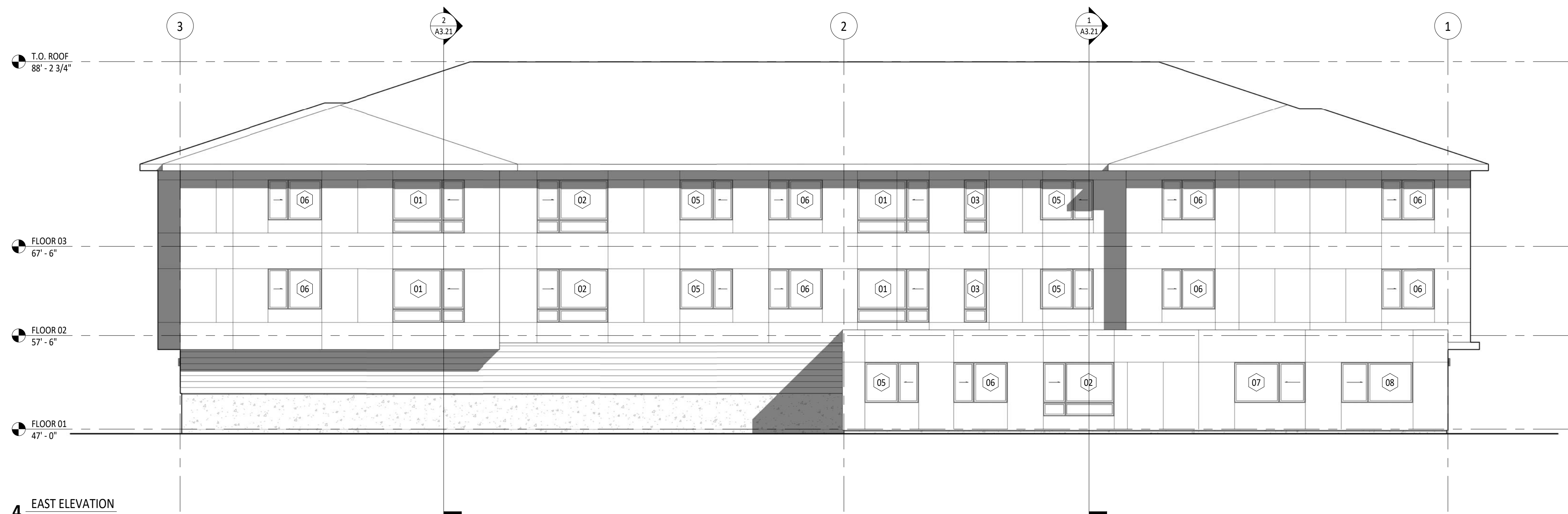
3 WEST ELEVATION
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1 NORTH ELEVATION
1/8" = 1'-0"



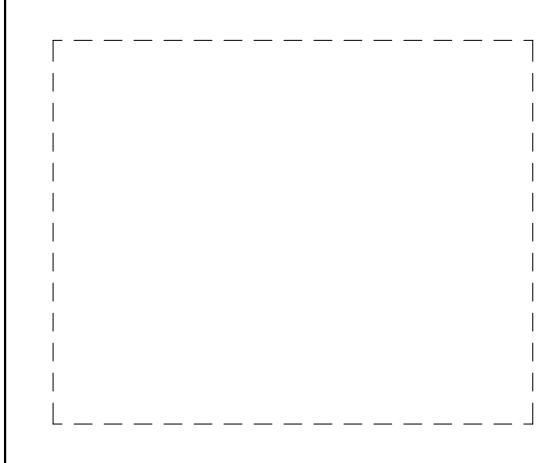
2 SOUTH ELEVATION
1/8" = 1'-0"



4 EAST ELEVATION
1/8" = 1'-0"

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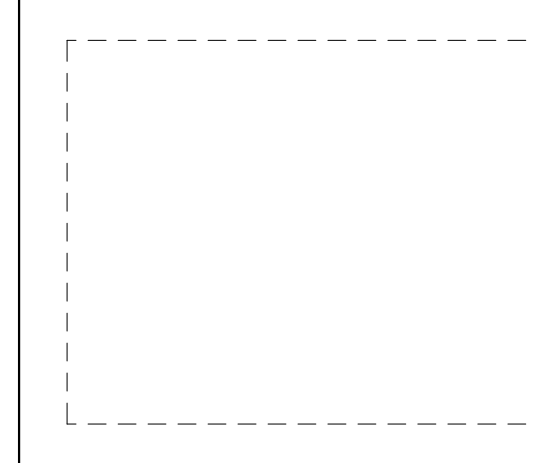
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EXTERIOR ELEVATIONS

Date: FEBRUARY 1, 2023
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Scale: As indicated
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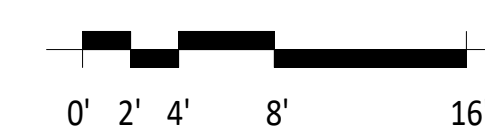
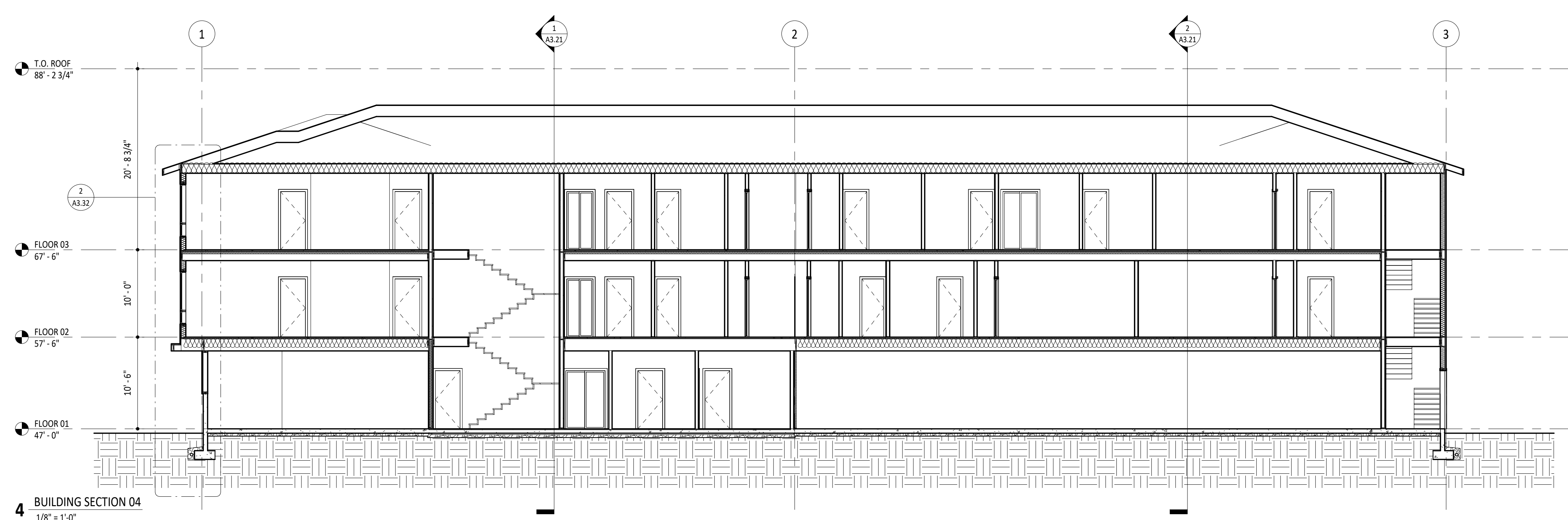
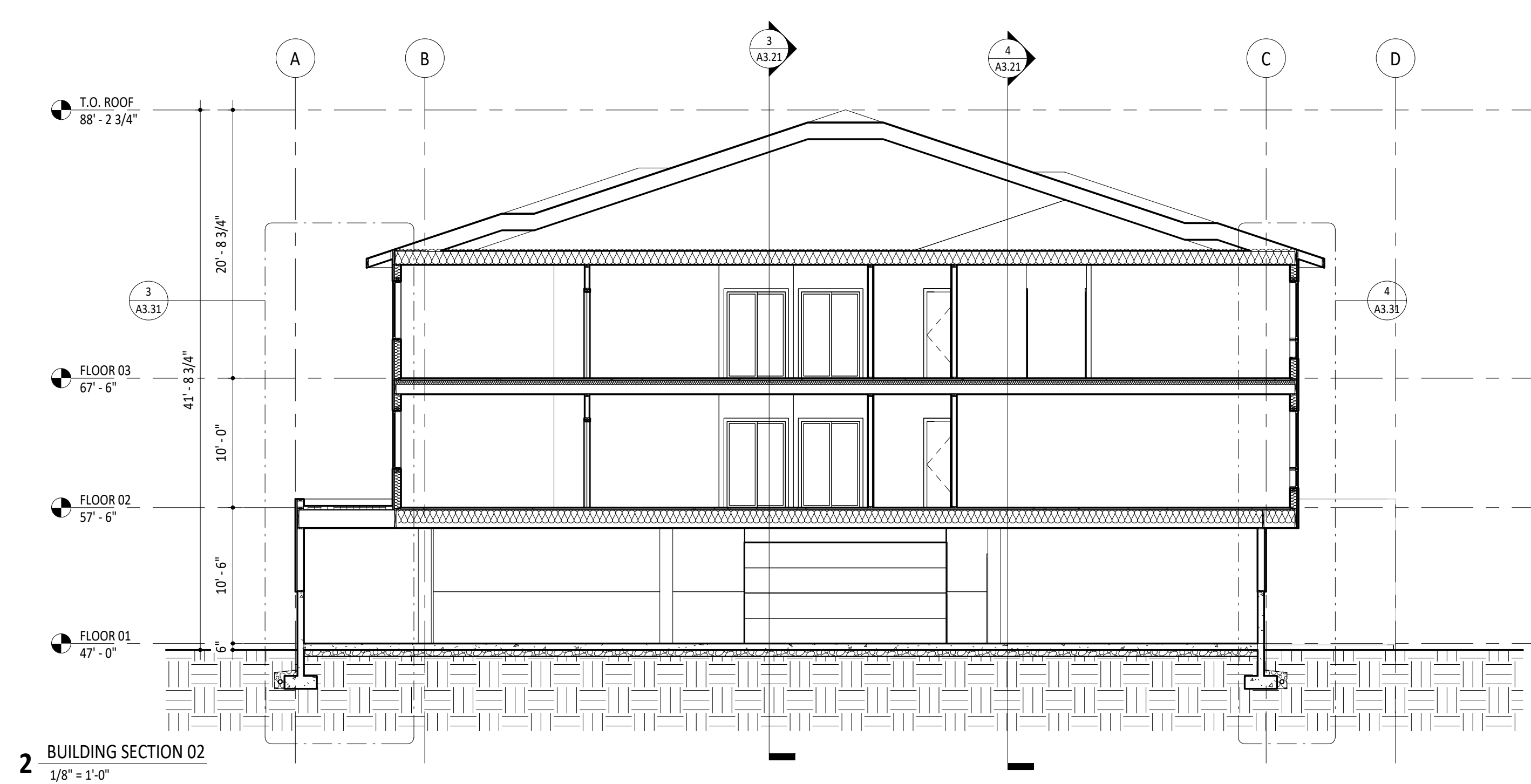
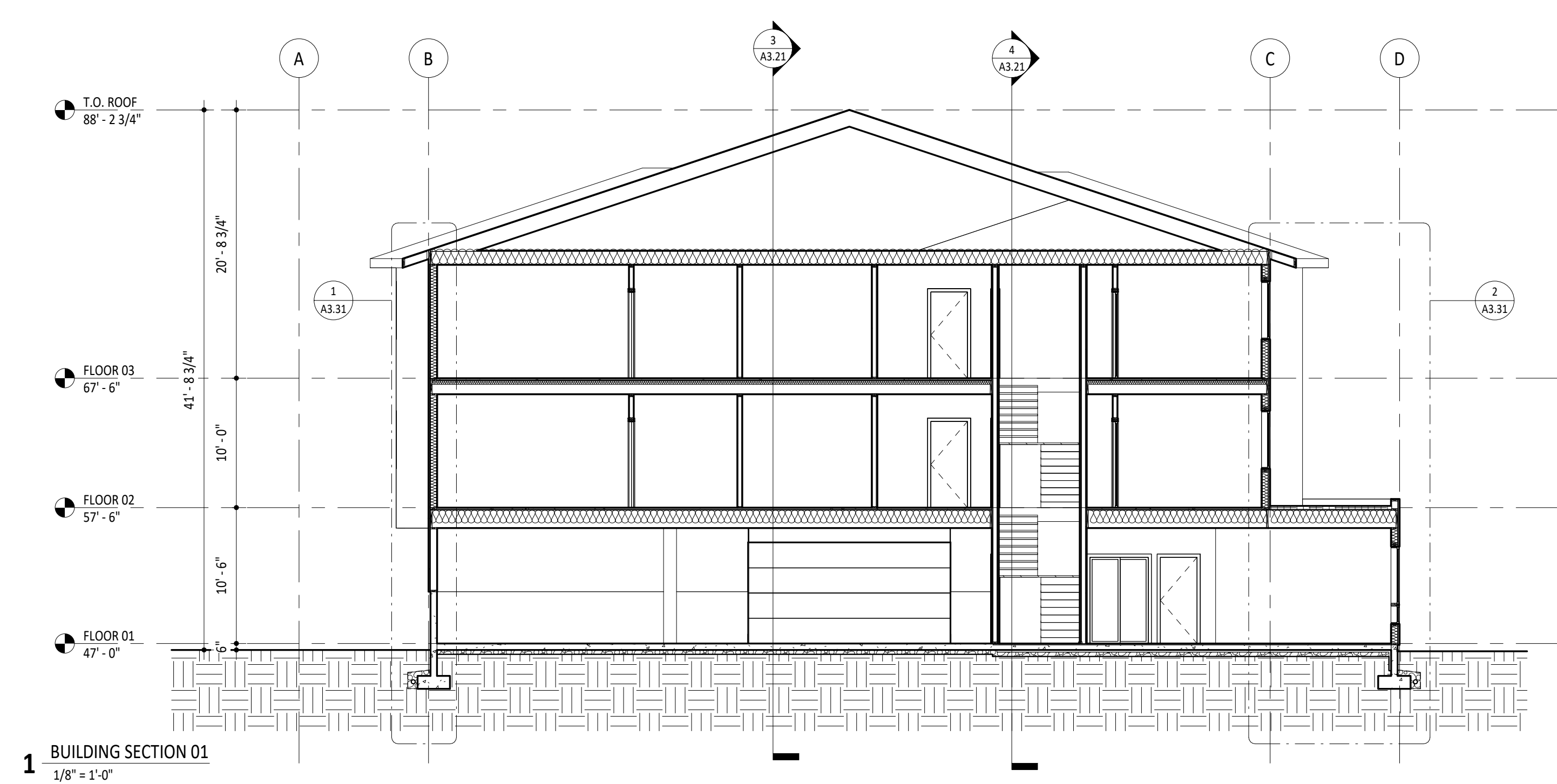
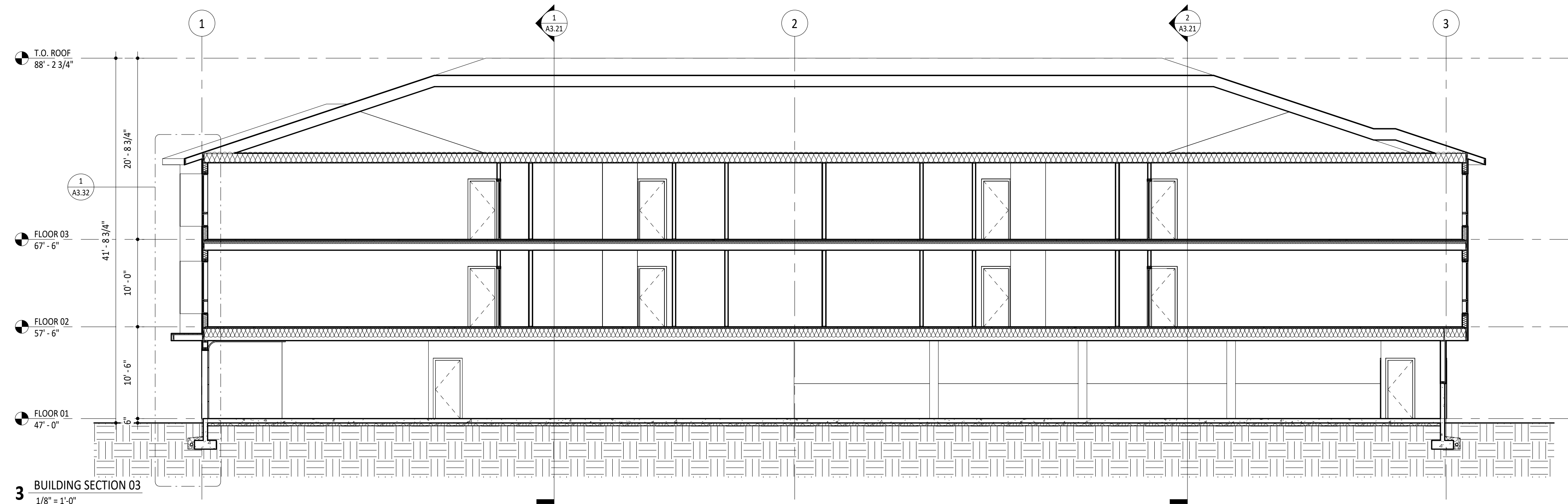


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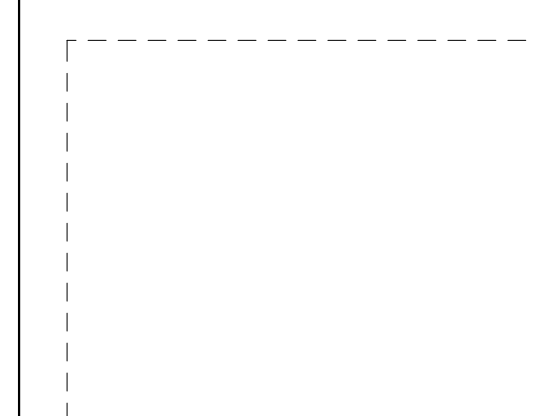


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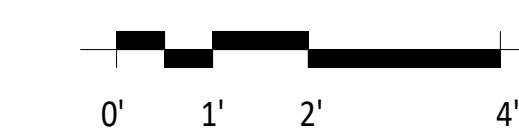
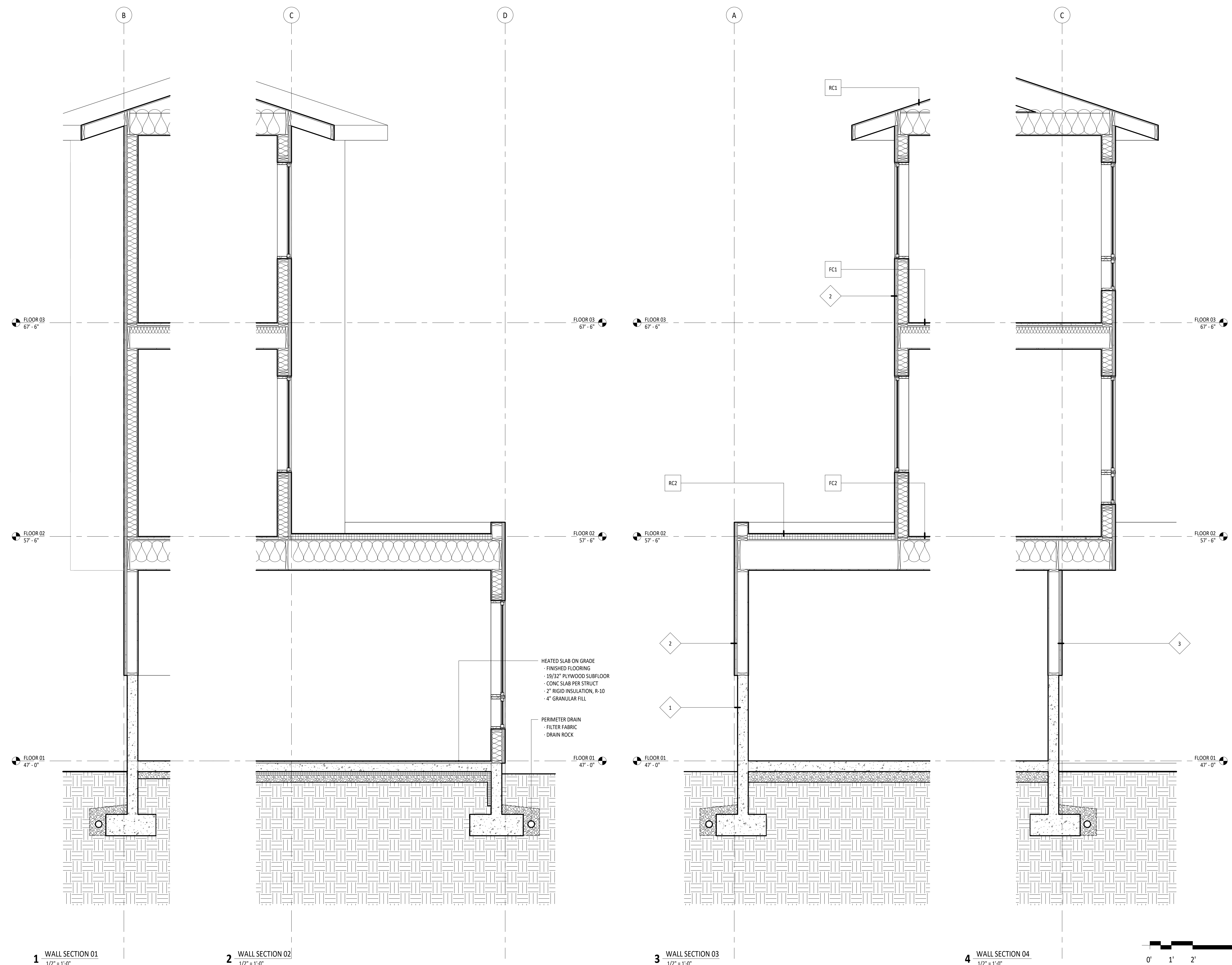
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WALL SECTIONS

Date FEBRUARY 1, 2023

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Scale 1/2" = 1'-0"

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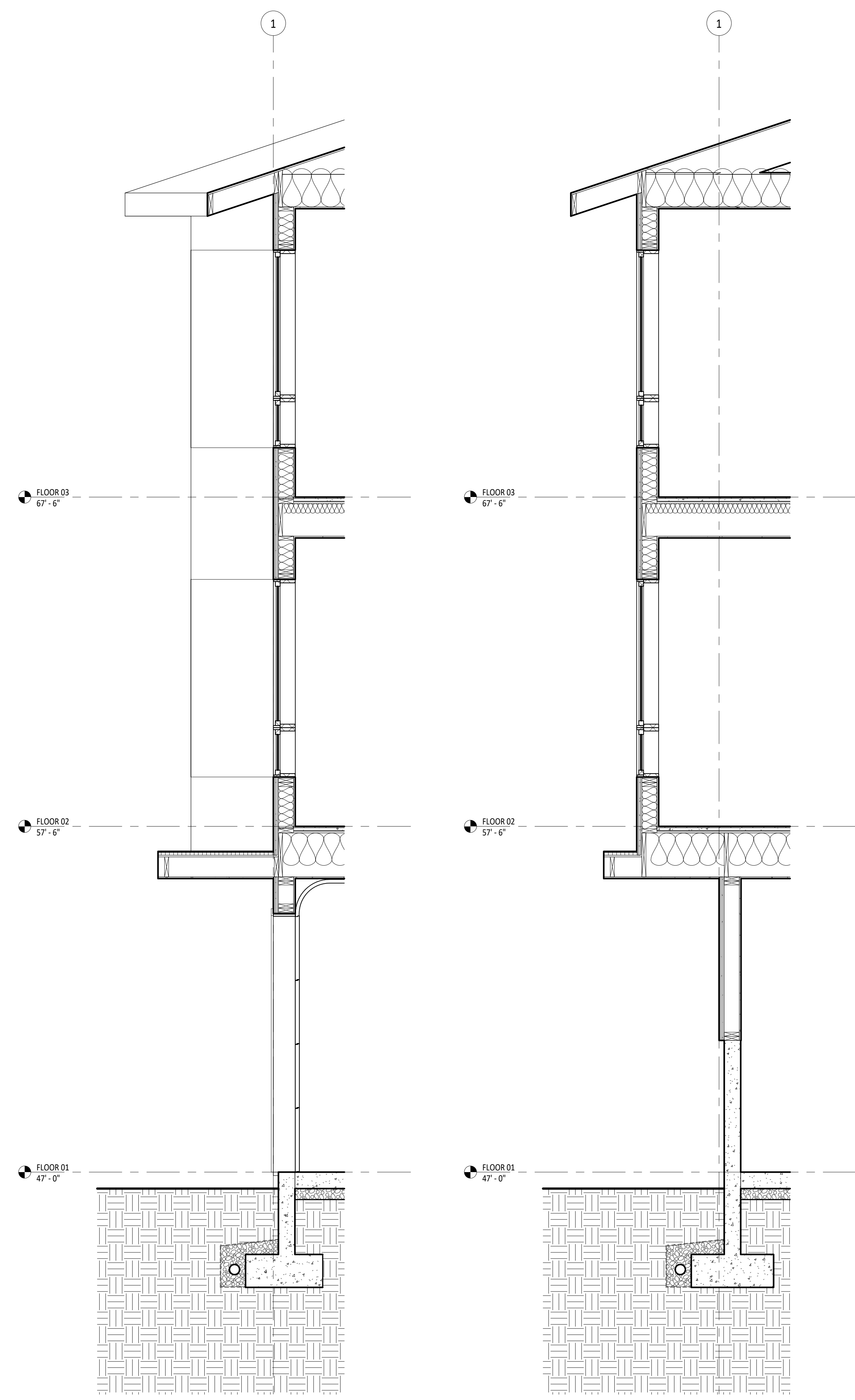
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WALL SECTIONS

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Scale 1/2" = 1'-0"

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1 WALL SECTION 05
1/2" = 1'-0"

2 WALL SECTION 06
1/2" = 1'-0"

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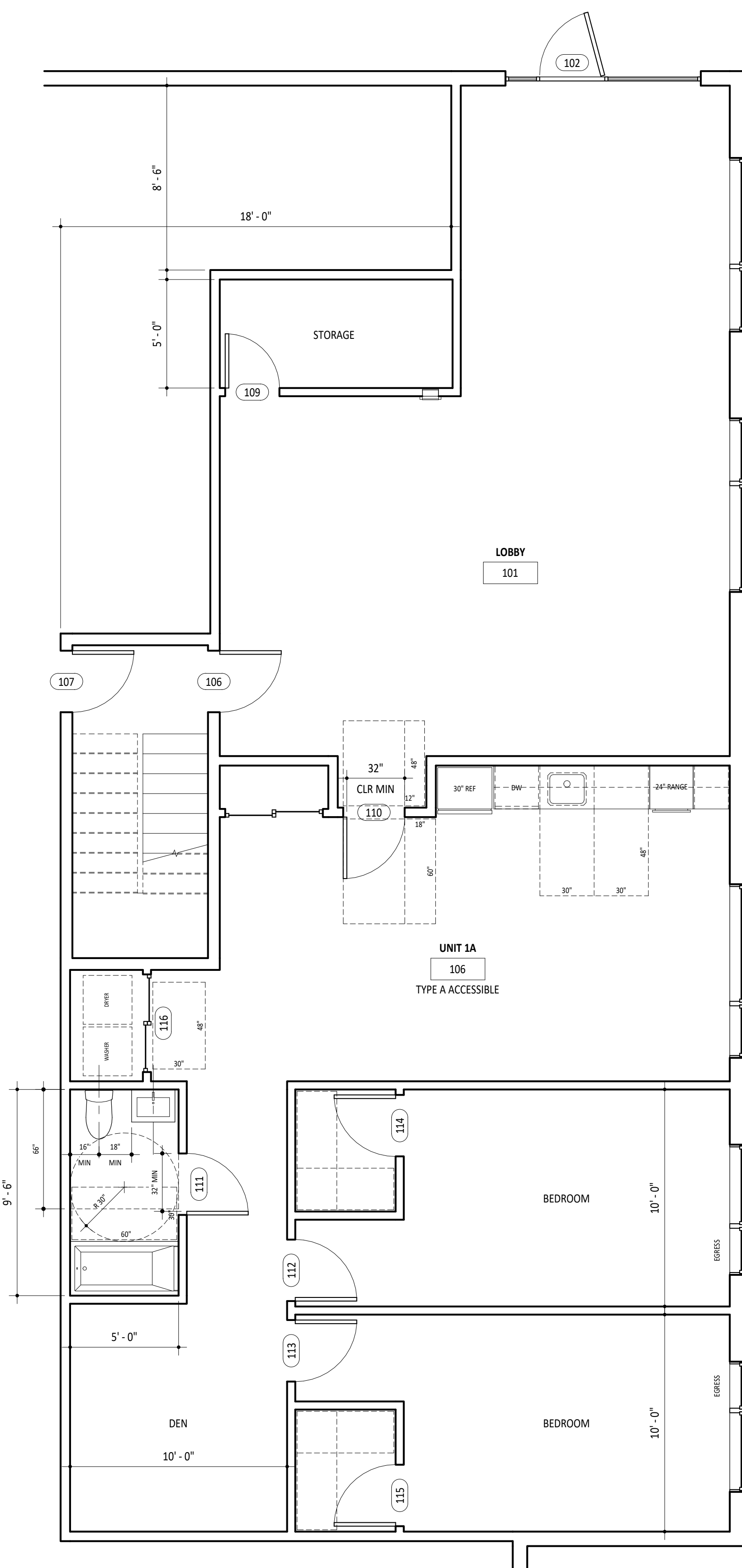
ENLARGED UNIT PLANS AND ACCESSIBILITY DETAILS

Date FEBRUARY 1, 2023

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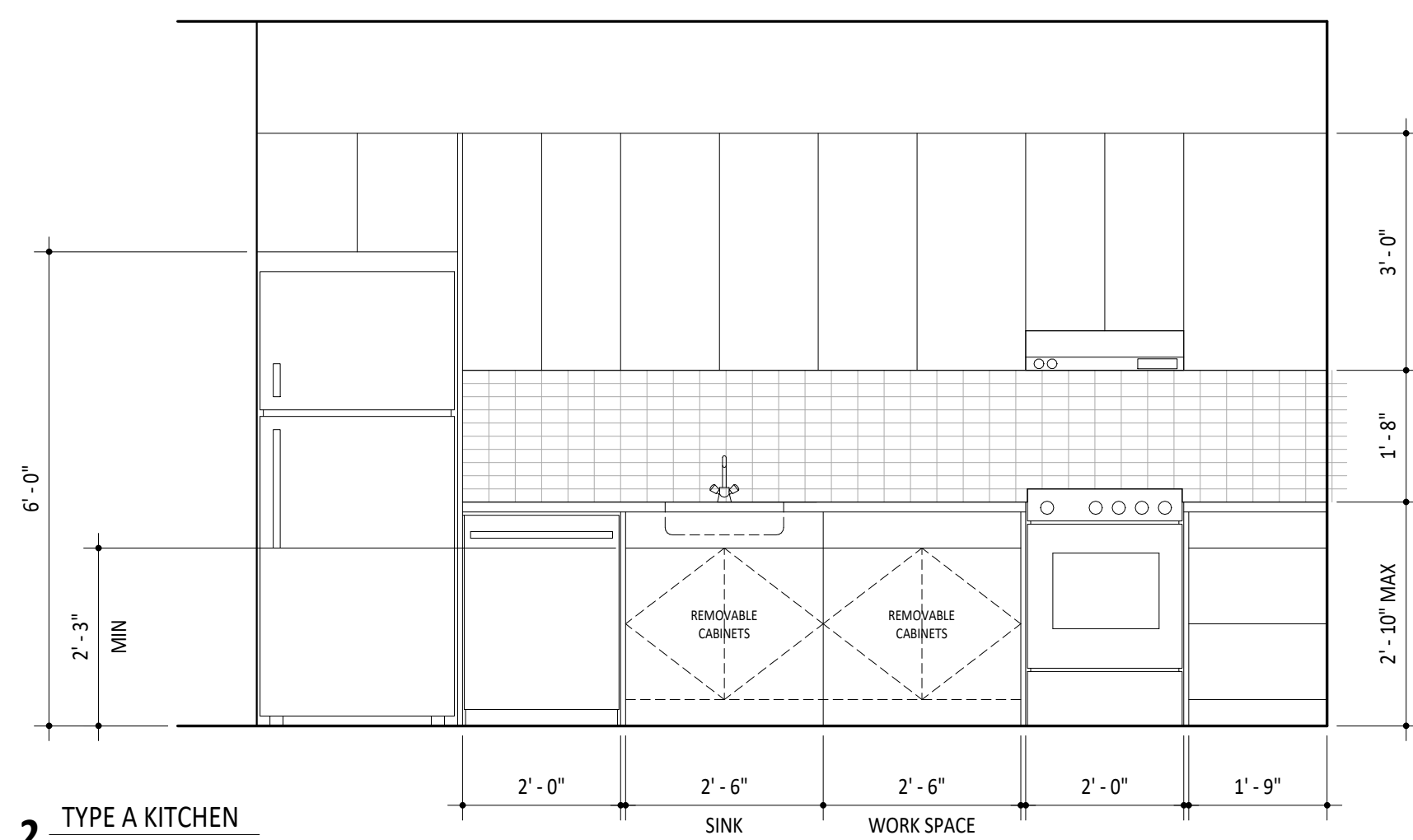
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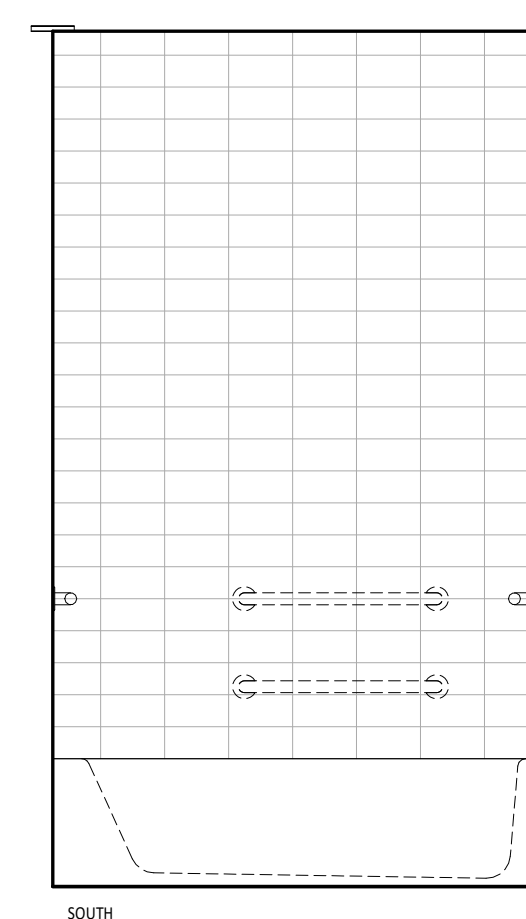


INTERIOR ELEVATION NOTES

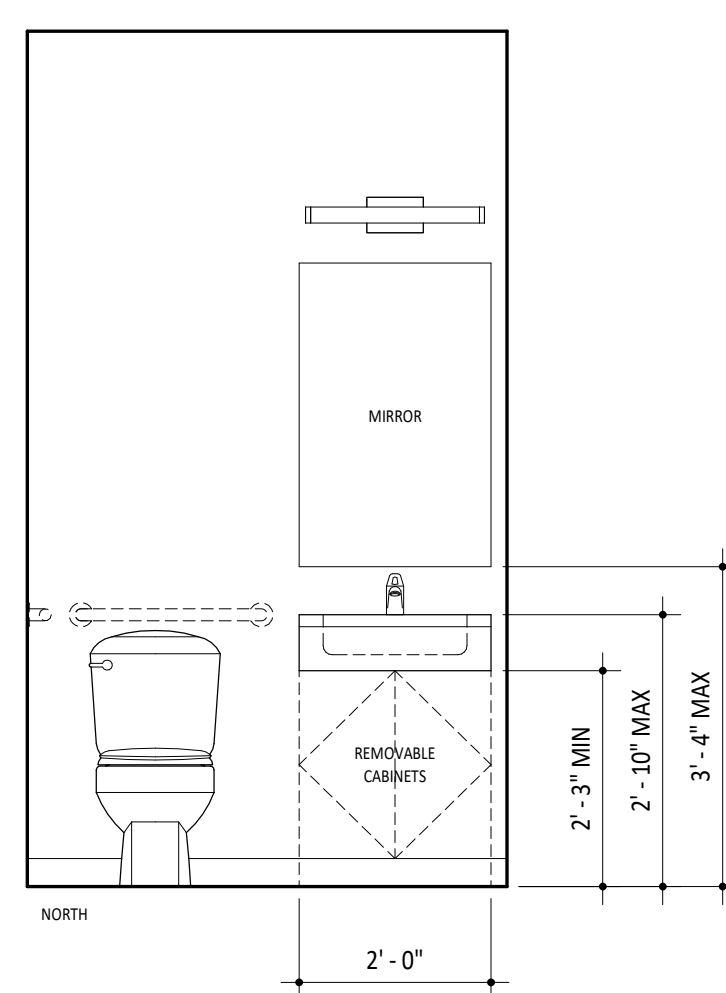
- 1 IN TYPE A UNITS CABINERY SHALL BE PERMITTED UNDER THE WORK SURFACE PROVIDED THE CABINERY CAN BE REMOVED WITHOUT REMOVAL OR REPLACEMENT OF THE WORK SURFACE. THE FLOOR FINISH EXTENDS UNDER THE CABINERY, AND THE WALLS BEHIND AND SURROUNDING THE CABINERY ARE FINISHED.
- 2 IN TYPE A UNITS CABINERY SHALL BE PERMITTED UNDER THE SINK PROVIDED THE CABINERY CAN BE REMOVED WITHOUT REMOVAL OR REPLACEMENT OF THE SINK; THE FLOOR FINISH EXTENDS UNDER THE CABINERY, AND THE WALLS BEHIND AND SURROUNDING THE CABINERY ARE FINISHED.
- 3 IN TYPE A AND TYPE B UNITS, REINFORCEMENT SHALL BE PROVIDED FOR FUTURE INSTALLATION OF GRAB BARS.
- 4 IN TYPE A AND TYPE B UNITS CABINERY SHALL BE PERMITTED UNDER THE LAVATORY PROVIDED THE CABINERY CAN BE REMOVED WITHOUT REMOVAL OR REPLACEMENT OF THE LAVATORY; THE FLOOR FINISH EXTENDS UNDER THE CABINERY; AND THE WALLS BEHIND AND SURROUNDING THE CABINERY ARE FINISHED.
- 5 WATER SUPPLY AND DRAINPIPES UNDER LAVATORIES AND SINKS SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES OR SINKS.



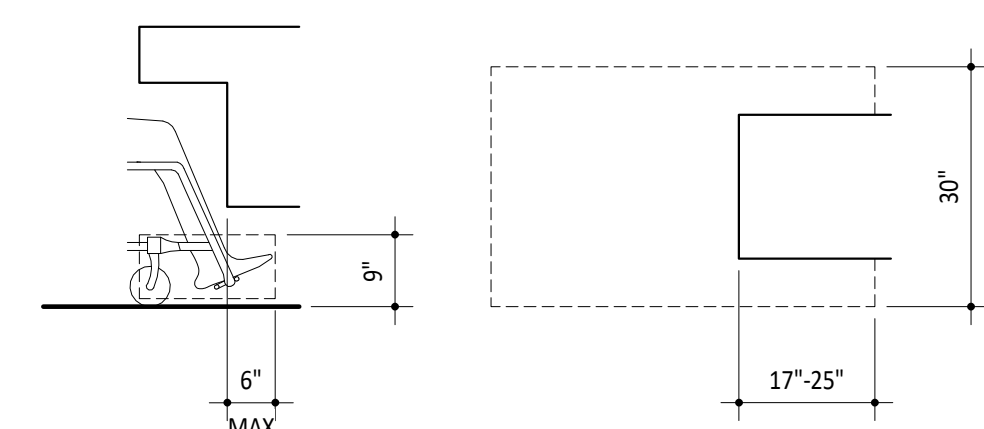
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3 TYPE A BATH
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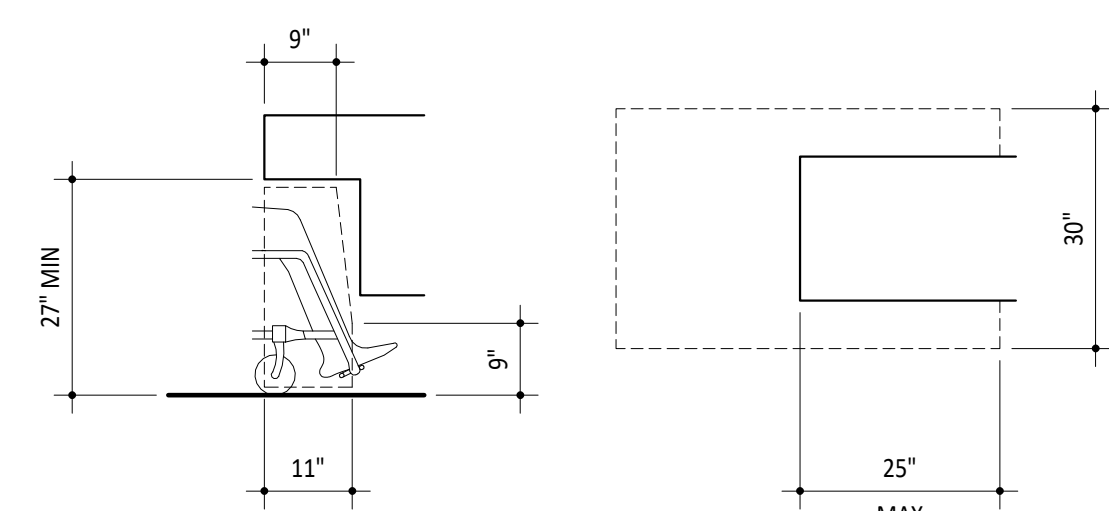


ACCESSIBILITY DETAILS

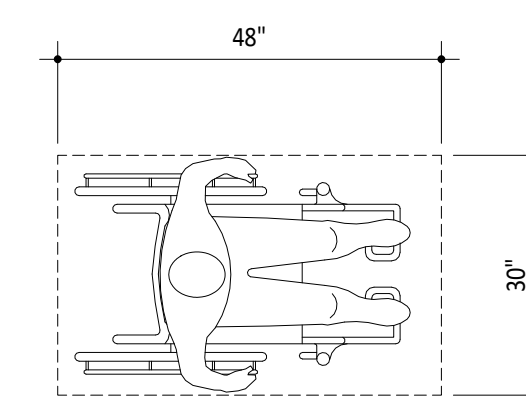


TOE CLEARANCE

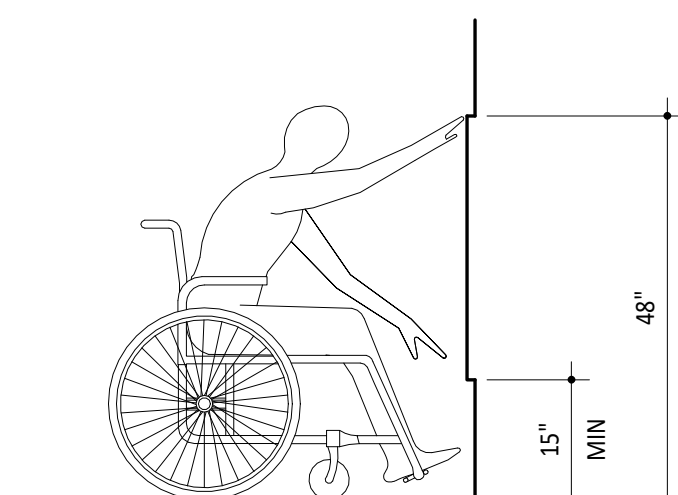
- 1 REINFORCEMENT SHALL BE PROVIDED FOR FUTURE INSTALLATION OF GRAB BARS COMPLYING WITH SECTION 604.5 AT WATER CLOSETS AND SECTION 607.4 AT BATHTUBS.
- 2 IN ALL ACCESSIBLE UNITS OPERABLE PARTS SHALL BE LOCATED WITH A HIGH REACH OF 48" MAXIMUM AND A LOW REACH OF 15" MINIMUM ABOVE THE FLOOR.
- 3 IN ALL TYPE A ACCESSIBLE UNITS MIRRORS ABOVE LAVATORIES SHALL HAVE THE BOTTOM EDGE 40" MAXIMUM ABOVE FLOOR.
- 4 IN ALL TYPE A ACCESSIBLE UNITS AT LEAST ONE SECTION OF COUNTER SHALL PROVIDE A WORK SURFACE 30" MINIMUM IN LENGTH, 34" MAXIMUM ABOVE FLOOR. SINK SHALL BE LOCATED ON A WORK SURFACE 30" MINIMUM IN LENGTH, 34" MAXIMUM ABOVE FLOOR. A CLEAR FLOOR SPACE, POSITIONED FOR A FORWARD APPROACH SHALL BE PROVIDED. KNEE AND TOES CLEARANCE COMPLYING WITH SECTION 306 SHALL BE PROVIDED.



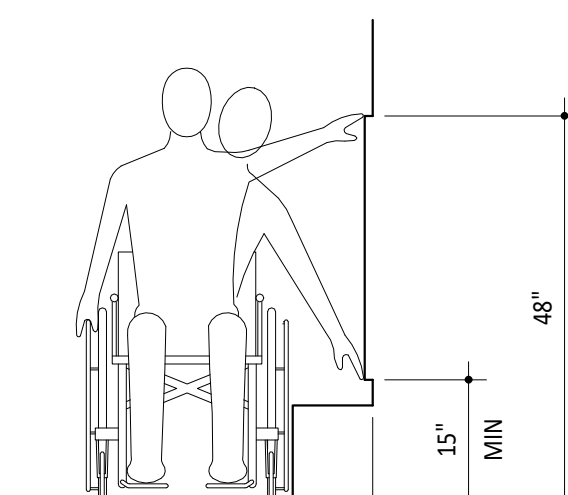
KNEE CLEARANCE



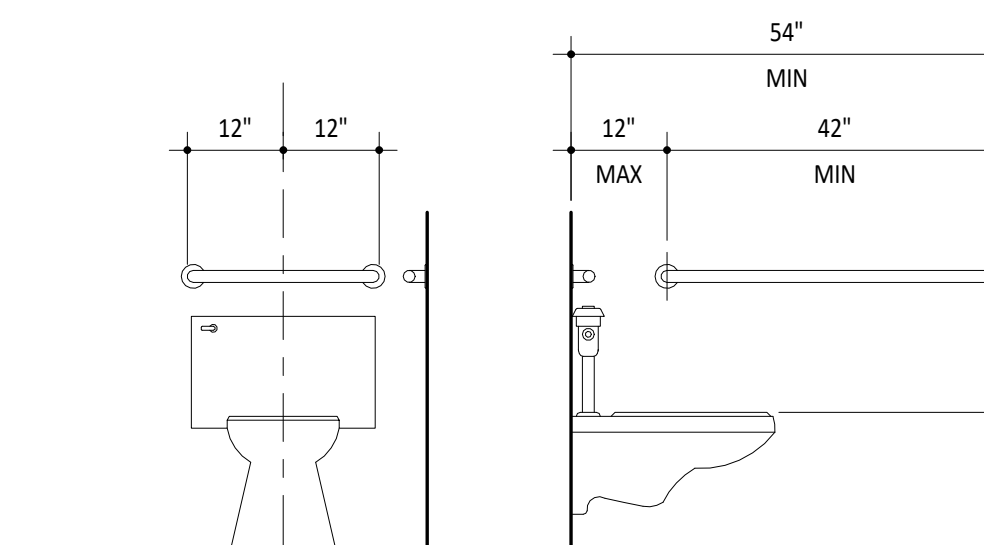
CLEAR FLOOR SPACE



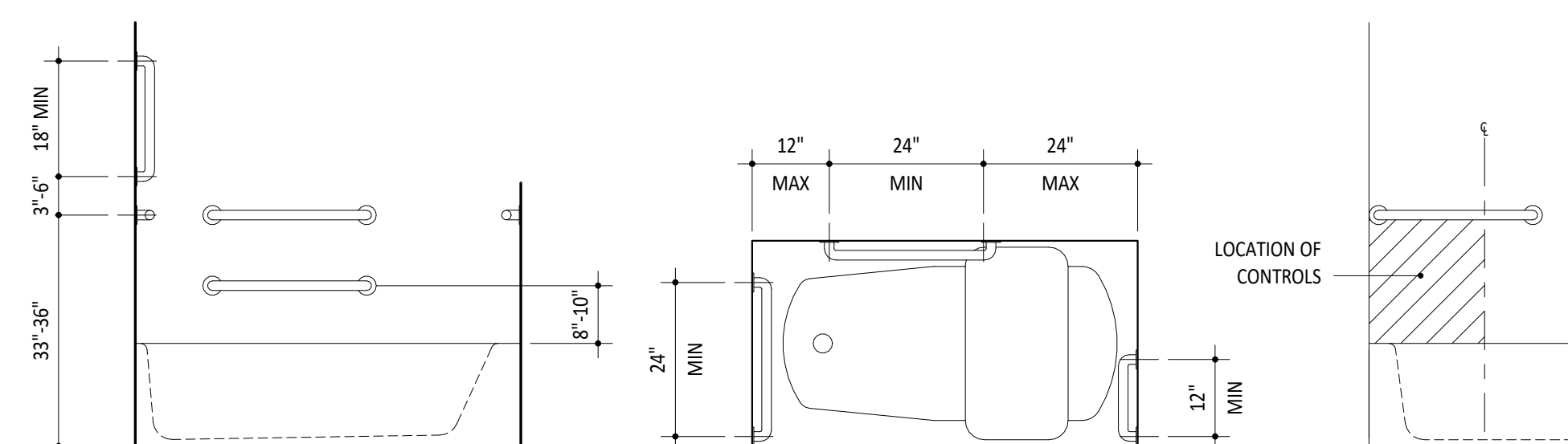
UNOBSTRUCTED FORWARD REACH



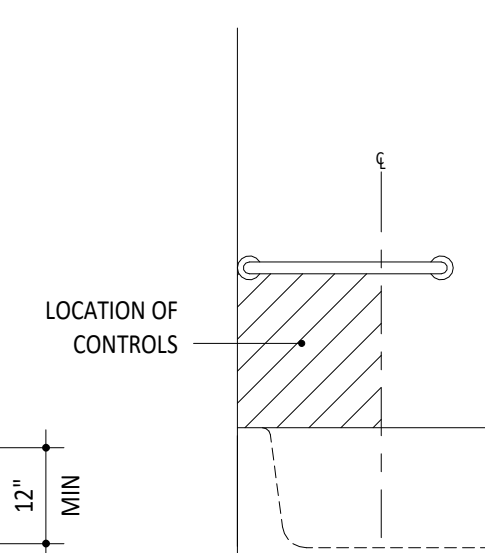
UNOBSTRUCTED SIDE REACH



GRAB BARS AT WATER CLOSET



GRAB BARS FOR BATHTUBS



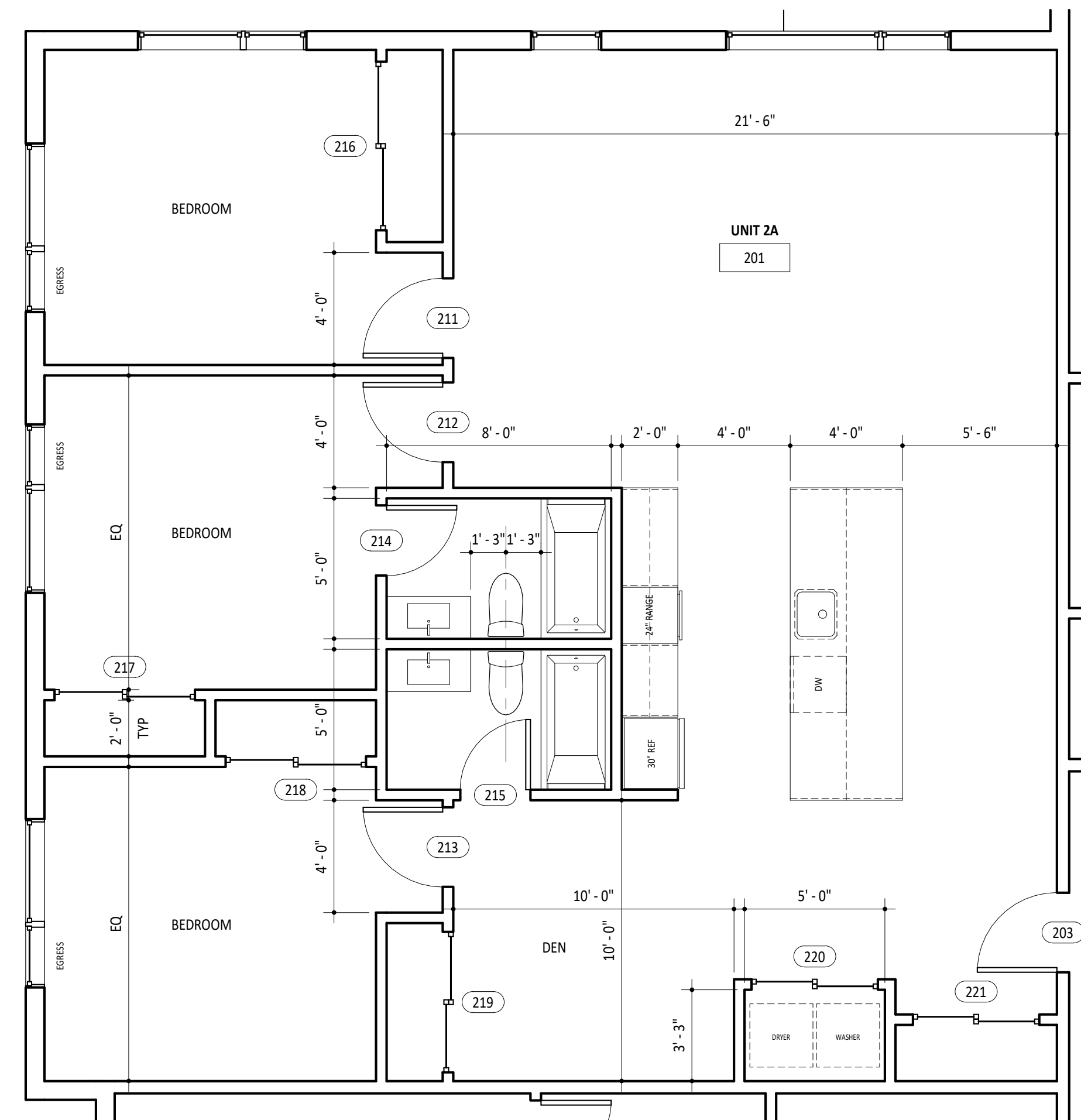
LOCATION OF CONTROLS



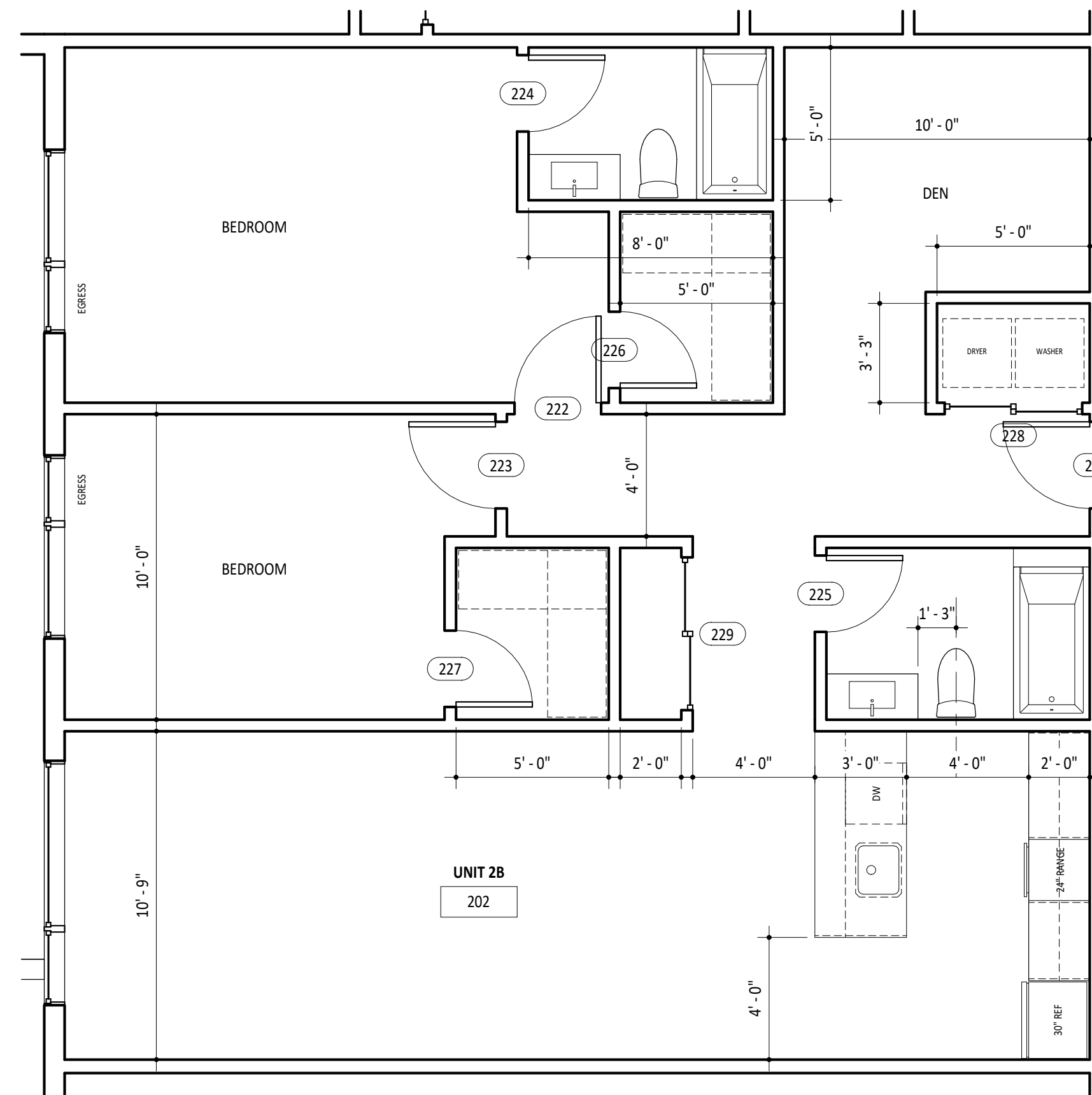
SUNRISE GROVE APARTMENTS
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GENERAL PLAN NOTES

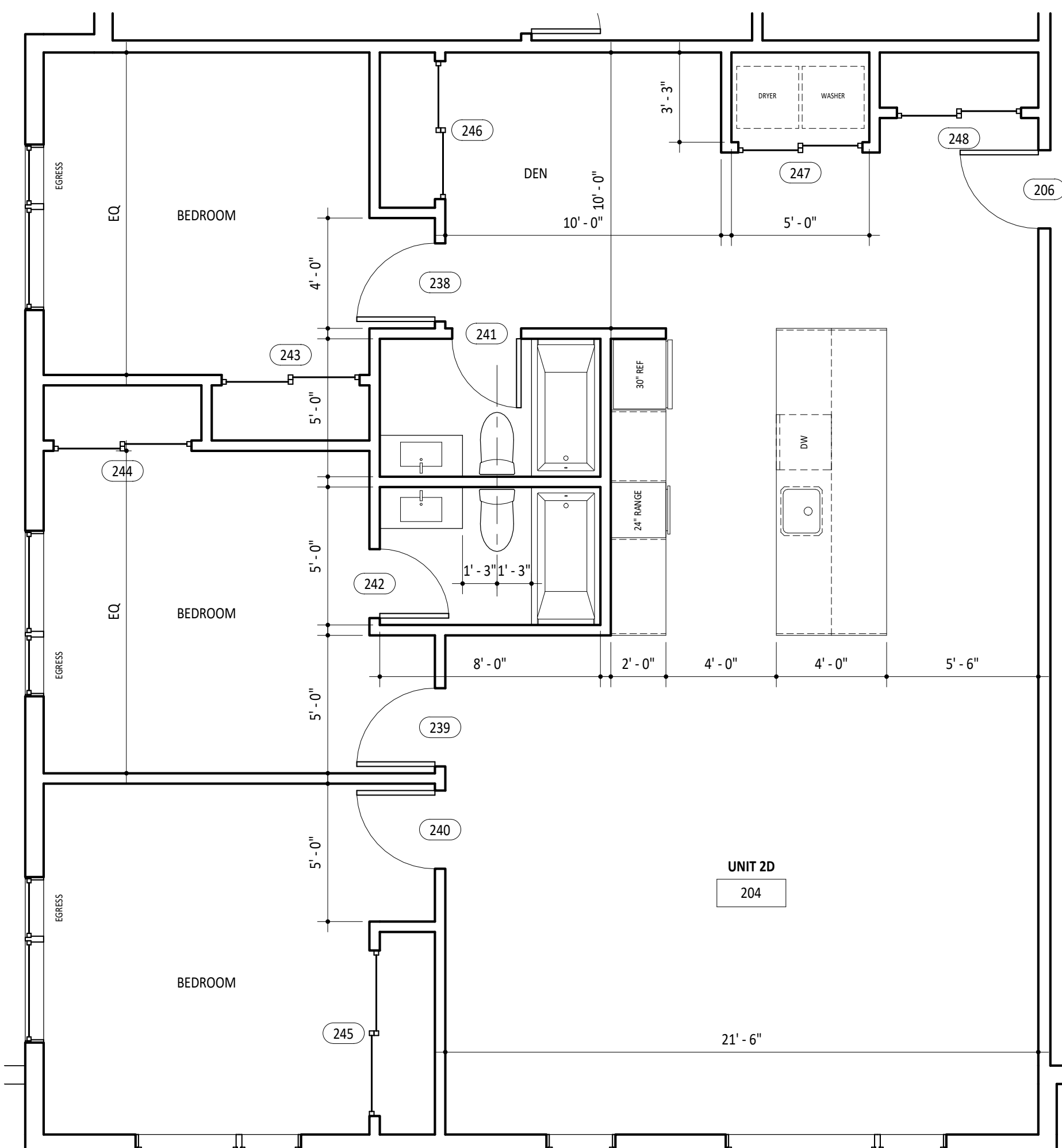
- 1 EVERY SLEEPING ROOM SHALL HAVE ONE OPERABLE EGRESS WINDOW WITH A 5.7 S.F. MIN. NET CLEAR OPENING, 20" CLEAR OPENING MIN. WIDTH AND 24" MIN. CLEAR OPEN HEIGHT.
- 2 ALL HANDRAIL AND HANDRAIL EXTENSIONS SHALL BE PLACED 36" ABOVE TREAD NOSING AND LANDINGS. HANDRAIL GRASPING DIMENSION SHALL BE 1-1/4" MINIMUM AND 2" MAXIMUM.
- 3 DRAFT STOPS SHALL BE INSTALLED IN FLOOR-CEILING ASSEMBLIES SO THAT CONCEALED SPACE DOES NOT EXCEED 1000 S.F. FIREBLOCKING SHALL BE PROVIDED.
- 4 ELECTRICAL OUTLETS IN ALL BATHROOMS, KITCHENS AND GARAGES SHALL BE PROVIDED WITH GFI PROTECTION.
- 5 SHOWERS SHALL BE LIMITED TO 23 GALLONS PER MINUTE. LAVATORY FAUCETS SHALL BE LIMITED TO 25 GALLONS PER MINUTE. TOILETS SHALL BE LIMITED TO 16 GALLONS PER FLUSH.
- 6 ALL PENETRATIONS THROUGH FLOORS AND CEILINGS SHALL BE CAULKED AND SEALED.
- 7 LOCKING DEVICES SHALL BE INSTALLED ON ALL OPERABLE WINDOWS AND SLIDING DOORS WITHIN 10" VERTICALLY OF GRADE.
- 8 ALL WINDOW AND DOOR HEADERS SHALL BE INSULATED WITH A MINIMUM OF R-10 INSULATION.
- 9 U-FACTORS OF FENERSTRATION PRODUCTS SHALL BE DETERMINED IN ACCORDANCE WITH NFRC 100, LABELED AND CERTIFIED BY MANUFACTURER



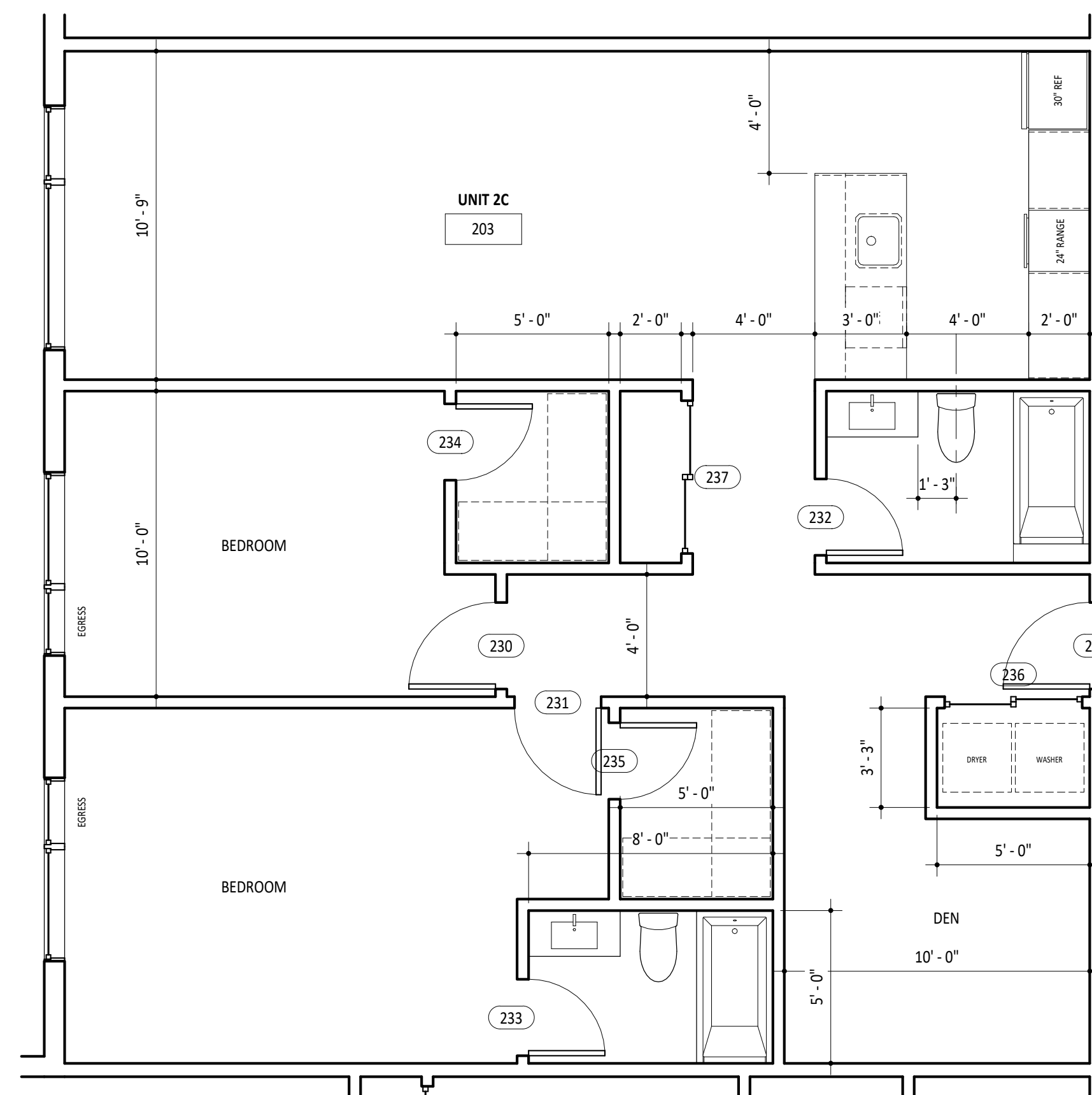
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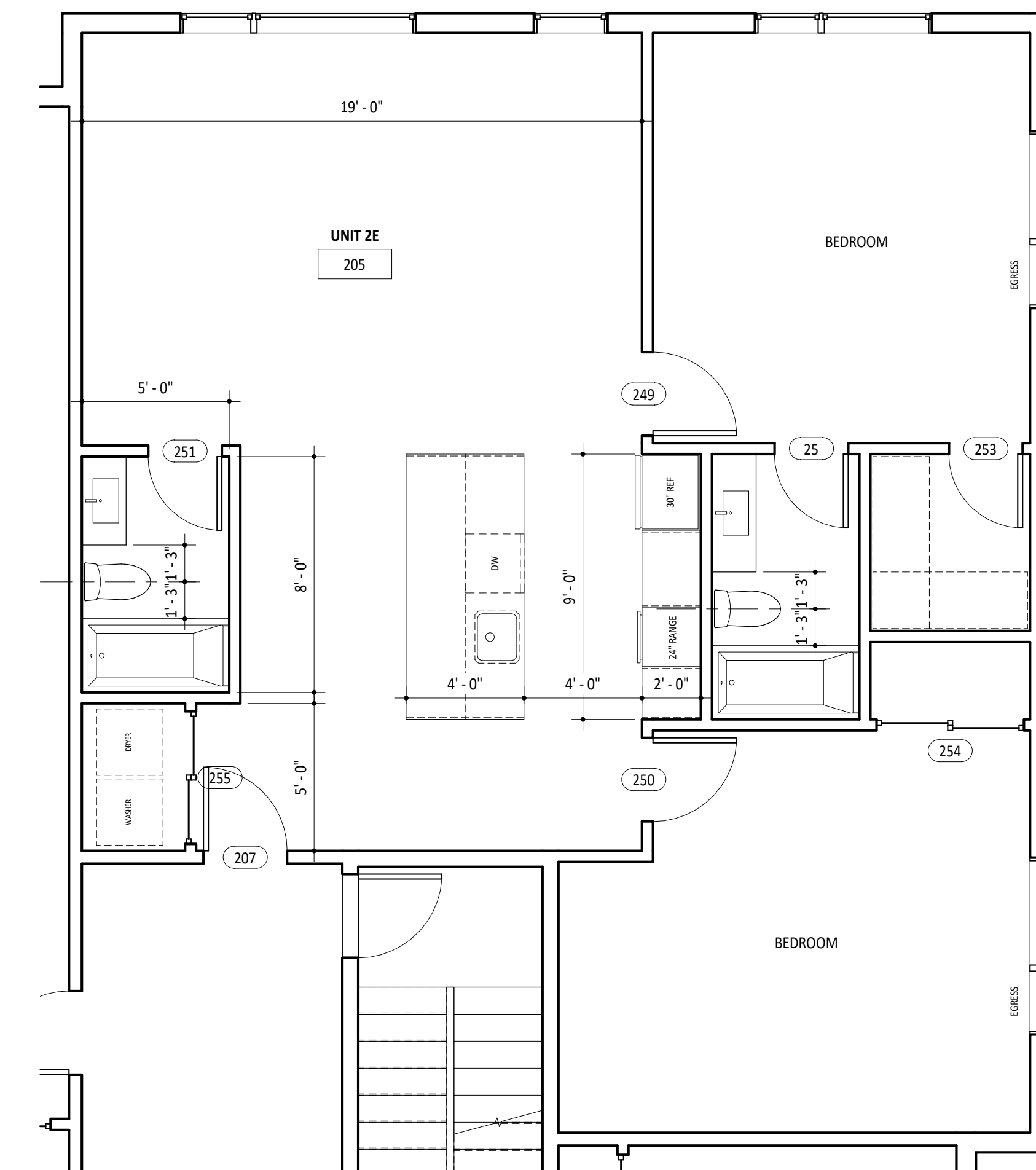
3 ENLARGED FLOOR PLAN - UNIT 2B/3B
1/4" = 1'-0"



2 ENLARGED FLOOR PLAN - UNIT 2D/3D
1/4" = 1'-0"



4 ENLARGED FLOOR PLAN - UNIT 2C/3C
1/4" = 1'-0"

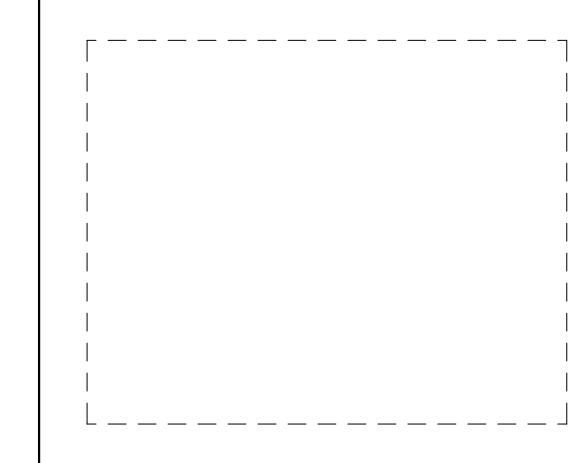


5 ENLARGED FLOOR PLAN - UNIT 2E/3E
1/4" = 1'-0"



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ENLARGED UNIT PLANS

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ENLARGED UNIT PLANS

Date FEBRUARY 1, 2023

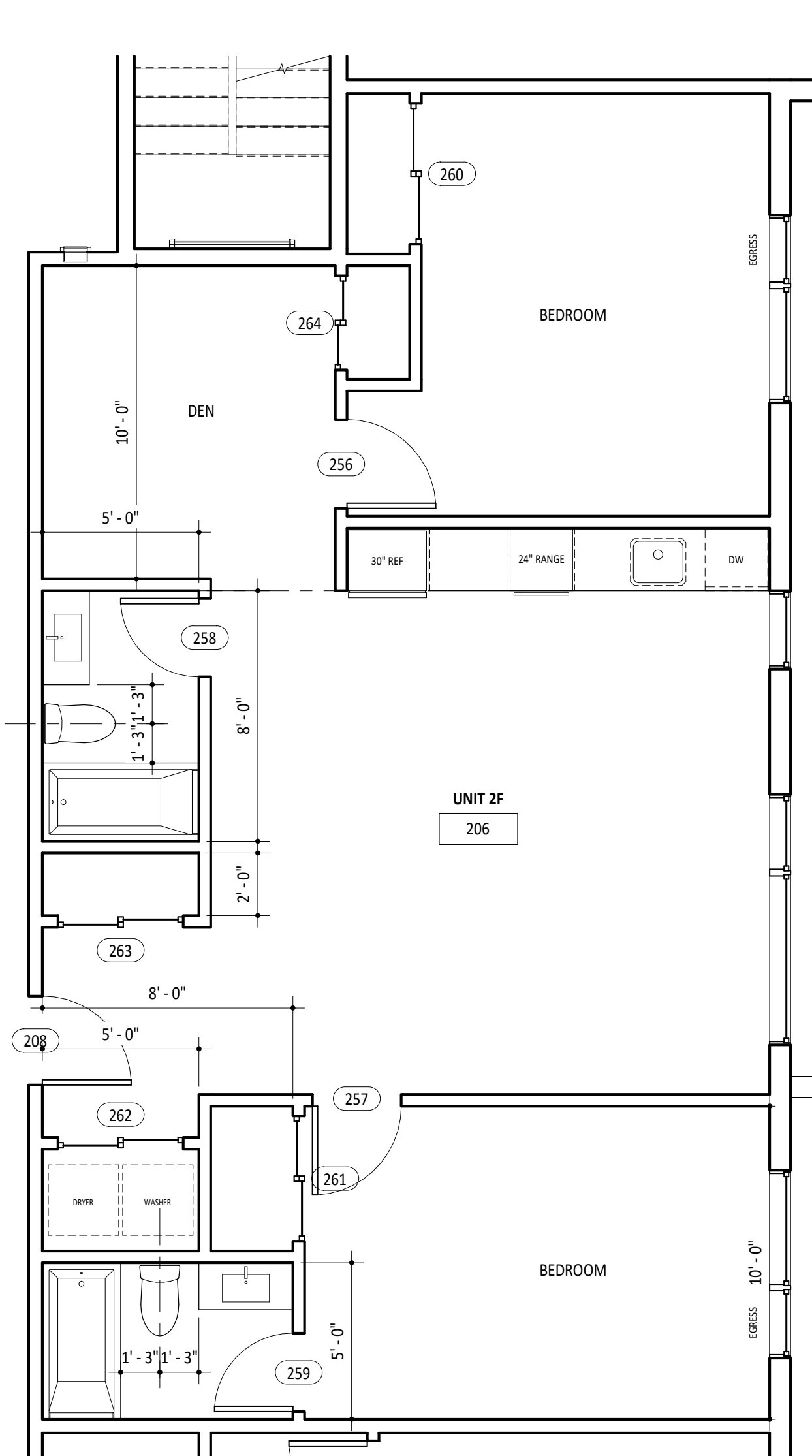
Project A.2206.01

Scale 1/4" = 1'-0"

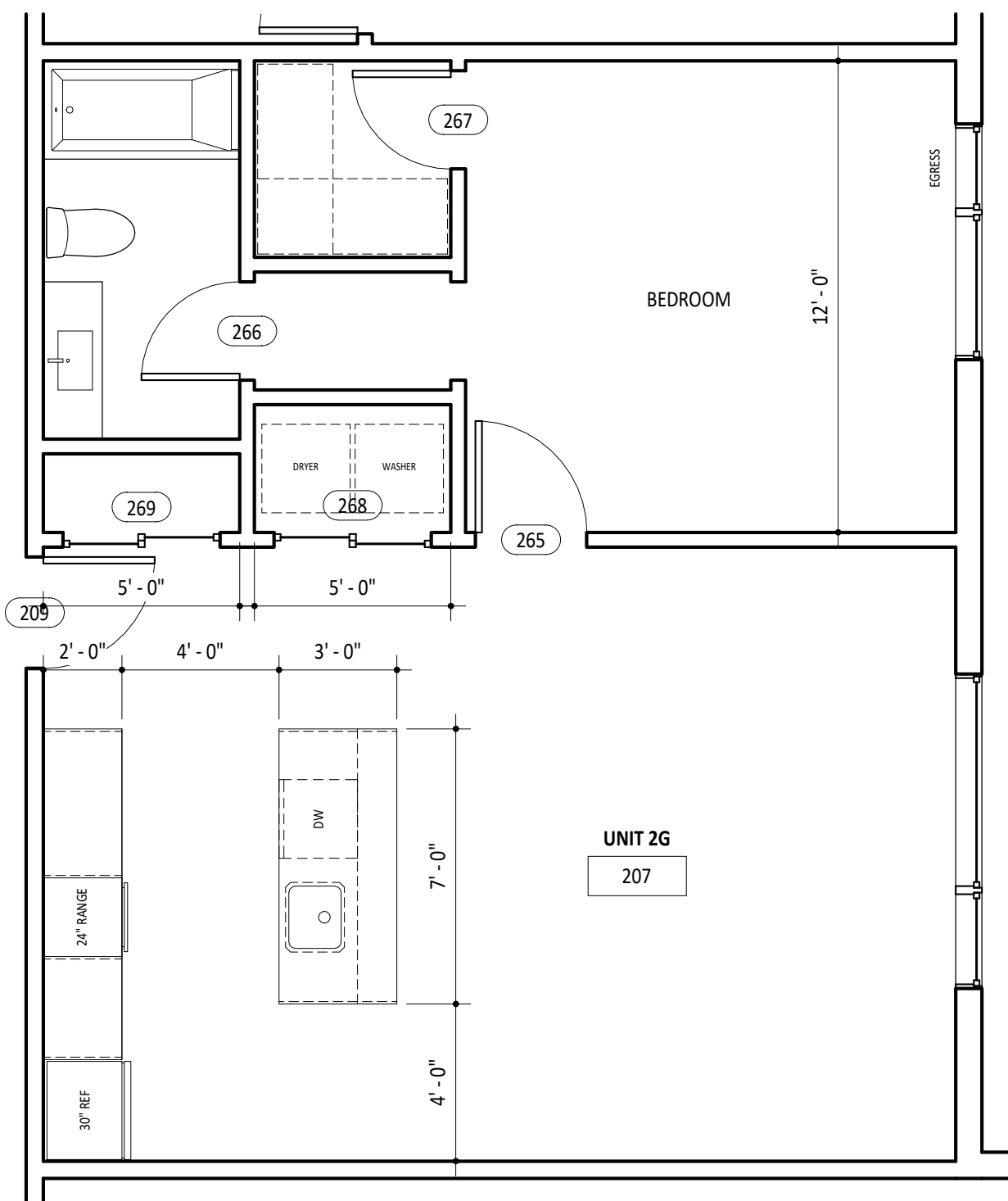
A4.13

GENERAL PLAN NOTES

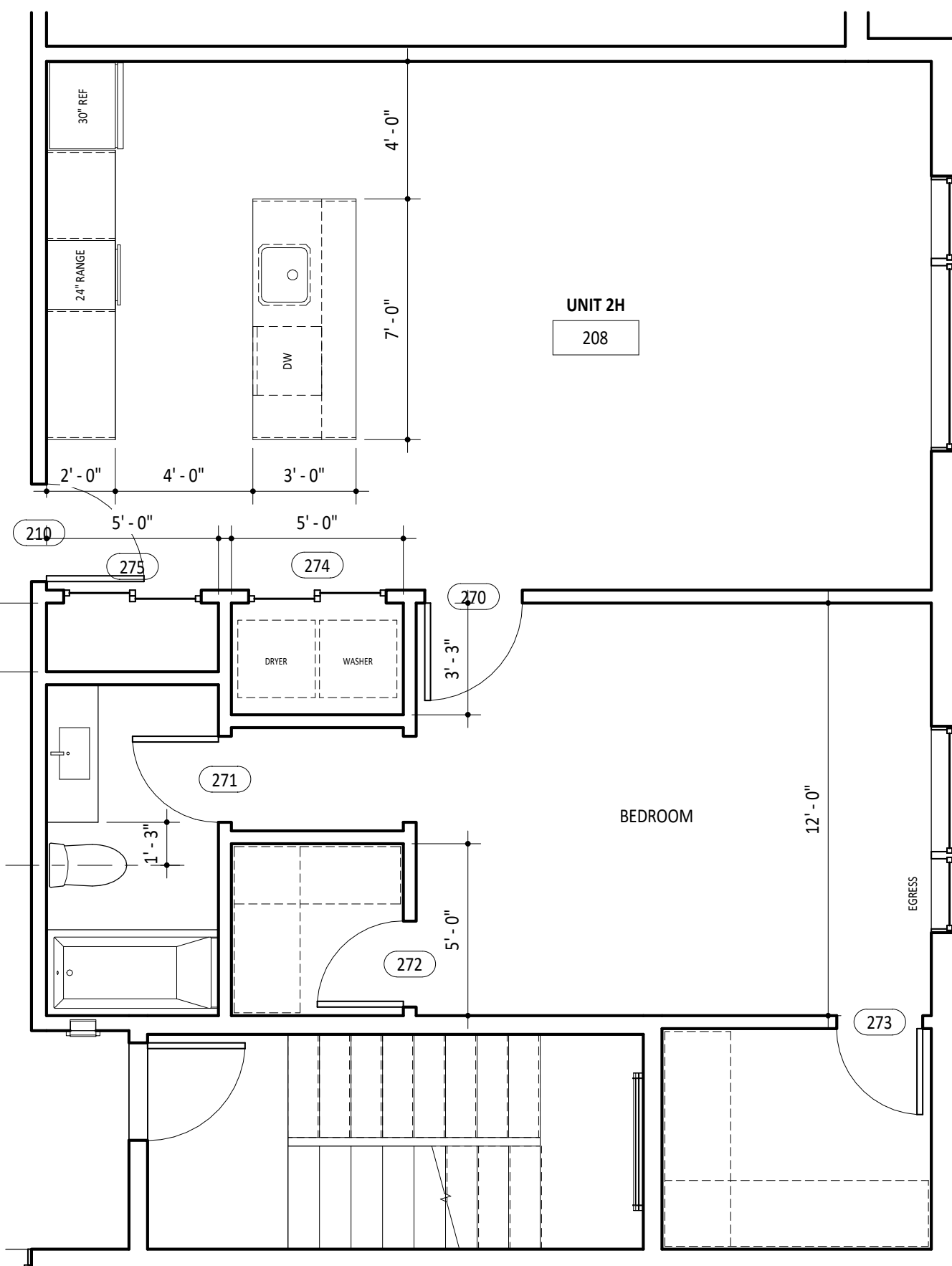
- 1 EVERY SLEEPING ROOM SHALL HAVE ONE OPERABLE EGRESS WINDOW WITH A 5.7 S.F. MIN. NET CLEAR OPENING, 20" CLEAR OPENING MIN. WIDTH AND 24" MIN. CLEAR OPEN HEIGHT.
- 2 ALL HANDRAIL AND HANDRAIL EXTENSIONS SHALL BE PLACED 36" ABOVE TREAD NOSING AND LANDINGS. HANDRAIL GRASPING DIMENSION SHALL BE 1-1/4" MINIMUM AND 2" MAXIMUM.
- 3 DRAFT STOPS SHALL BE INSTALLED IN FLOOR-CEILING ASSEMBLIES SO THAT CONCEALED SPACE DOES NOT EXCEED 1000 S.F. FIREBLOCKING SHALL BE PROVIDED.
- 4 ELECTRICAL OUTLETS IN ALL BATHROOMS, KITCHENS AND GARAGES SHALL BE PROVIDED WITH GFI PROTECTION.
- 5 SHOWERS SHALL BE LIMITED TO 23 GALLONS PER MINUTE. LAVATORY FAUCETS SHALL BE LIMITED TO 25 GALLONS PER MINUTE. TOILETS SHALL BE LIMITED TO 16 GALLONS PER FLUSH.
- 6 ALL PENETRATIONS THROUGH FLOORS AND CEILINGS SHALL BE CAULKED AND SEALED.
- 7 LOCKING DEVICES SHALL BE INSTALLED ON ALL OPERABLE WINDOWS AND SLIDING DOORS WITHIN 10" VERTICALLY OF GRADE.
- 8 ALL WINDOW AND DOOR HEADERS SHALL BE INSULATED WITH A MINIMUM OF R-10 INSULATION.
- 9 U-FACTORS OF FENERSTRATION PRODUCTS SHALL BE DETERMINED IN ACCORDANCE WITH NFRC 100, LABELED AND CERTIFIED BY MANUFACTURER



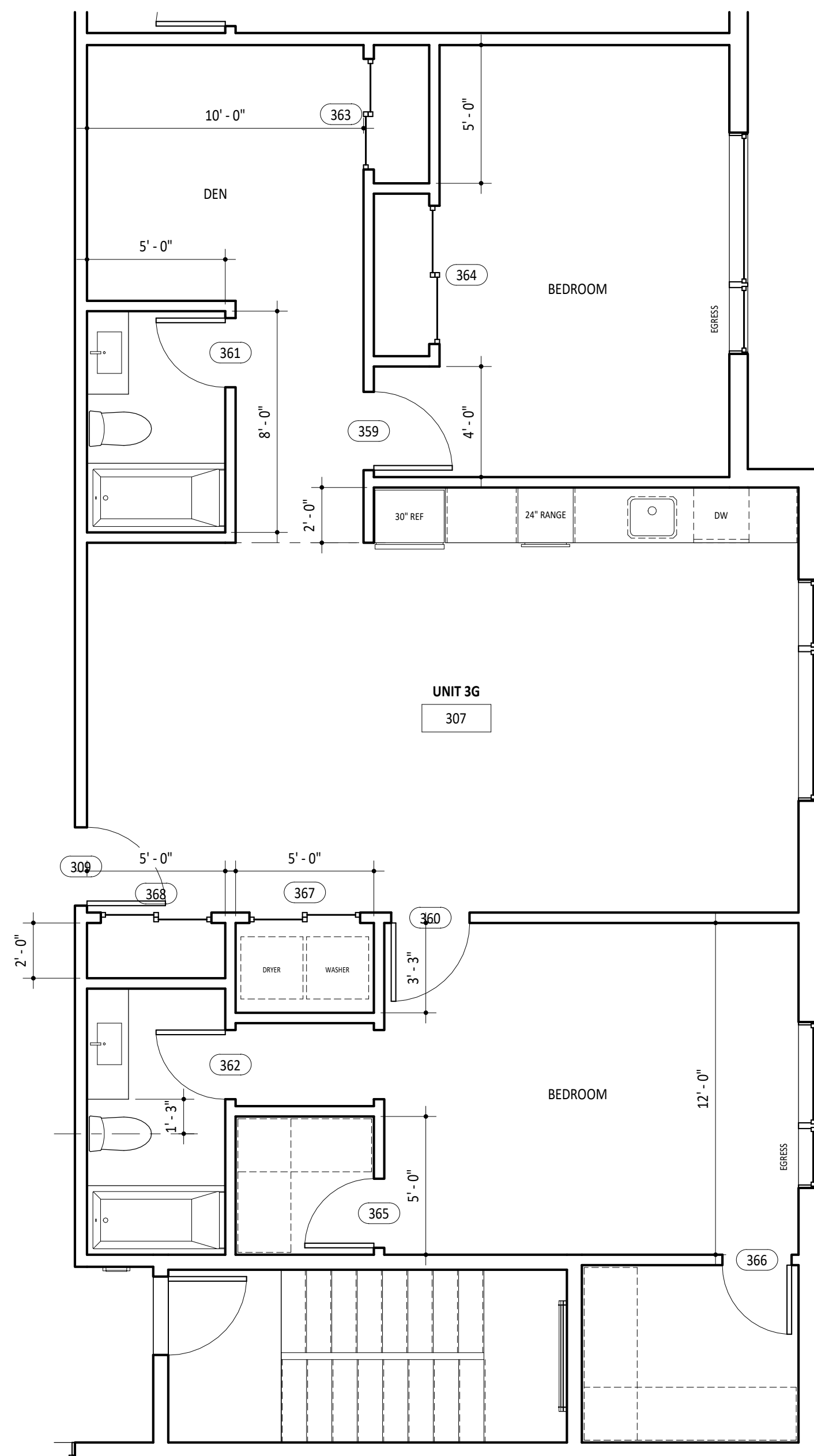
1 ENLARGED FLOOR PLAN - UNIT 2F
1/4" = 1'-0"



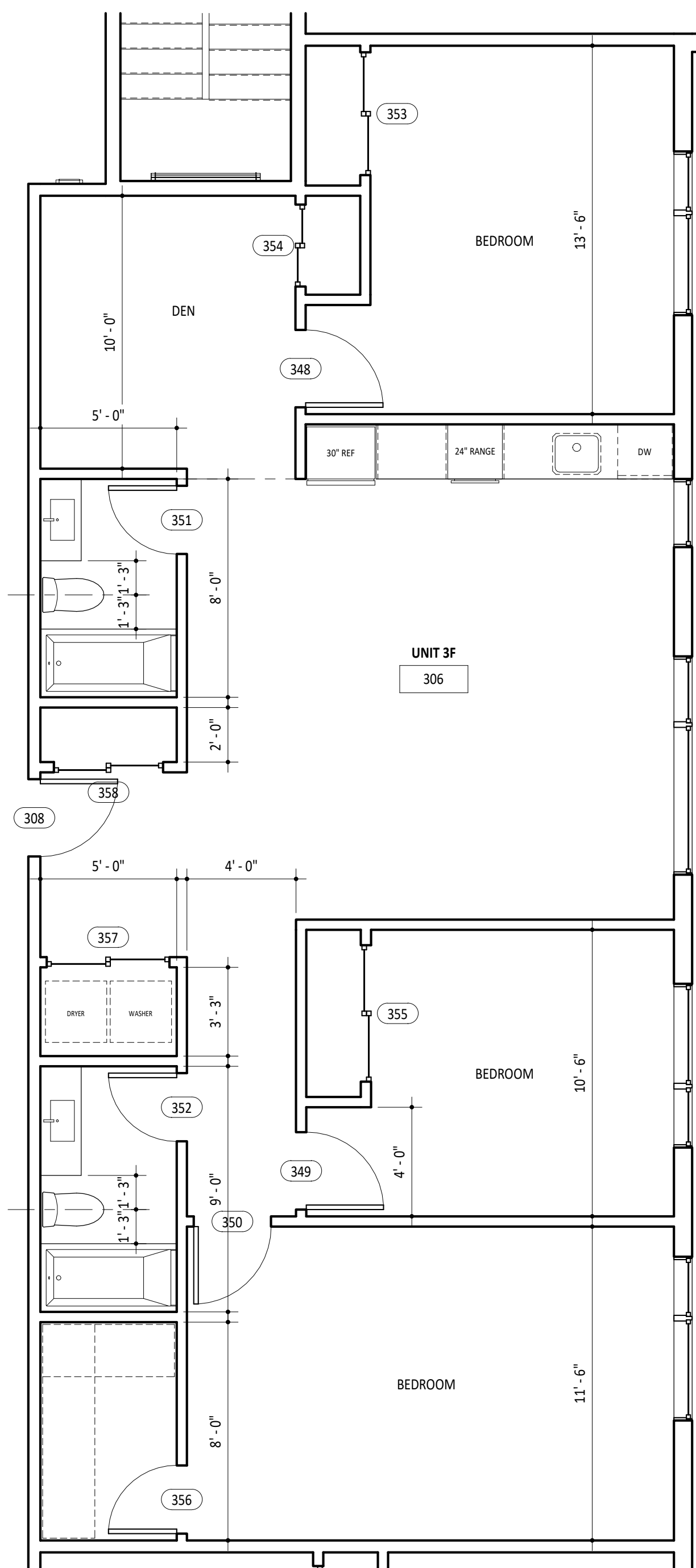
3 ENLARGED FLOOR PLAN - UNIT 2G
1/4" = 1'-0"



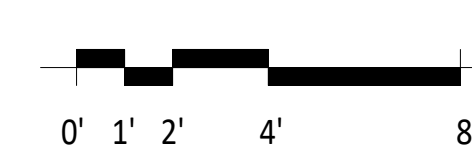
2 ENLARGED FLOOR PLAN - UNIT 2H
1/4" = 1'-0"



4 ENLARGED FLOOR PLAN - UNIT 3G
1/4" = 1'-0"



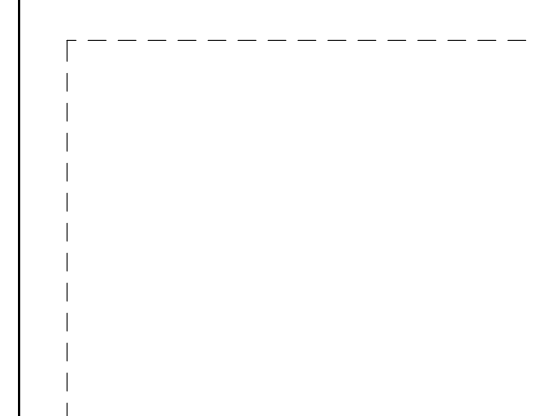
5 ENLARGED FLOOR PLAN - UNIT 3F
1/4" = 1'-0"





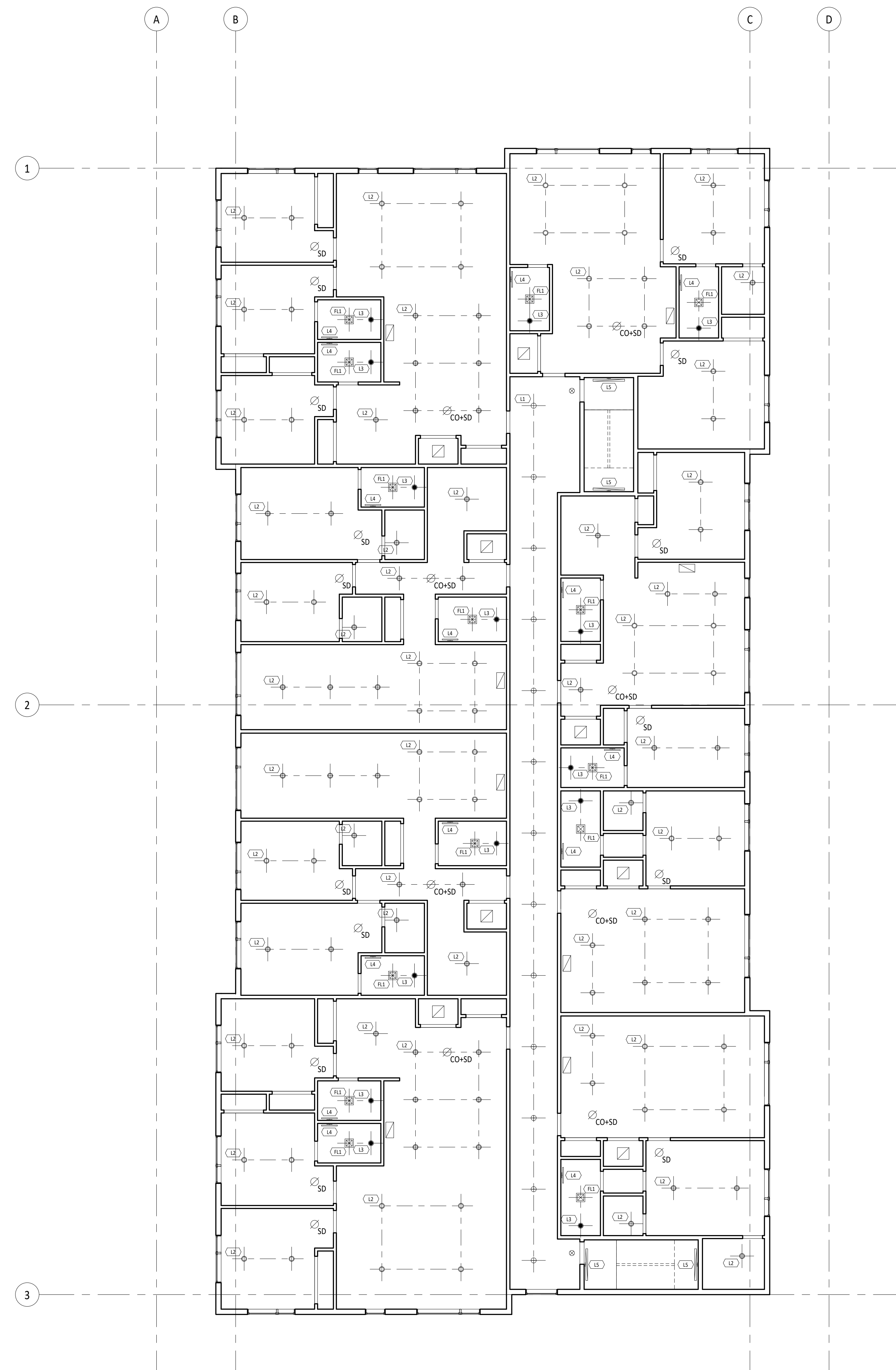
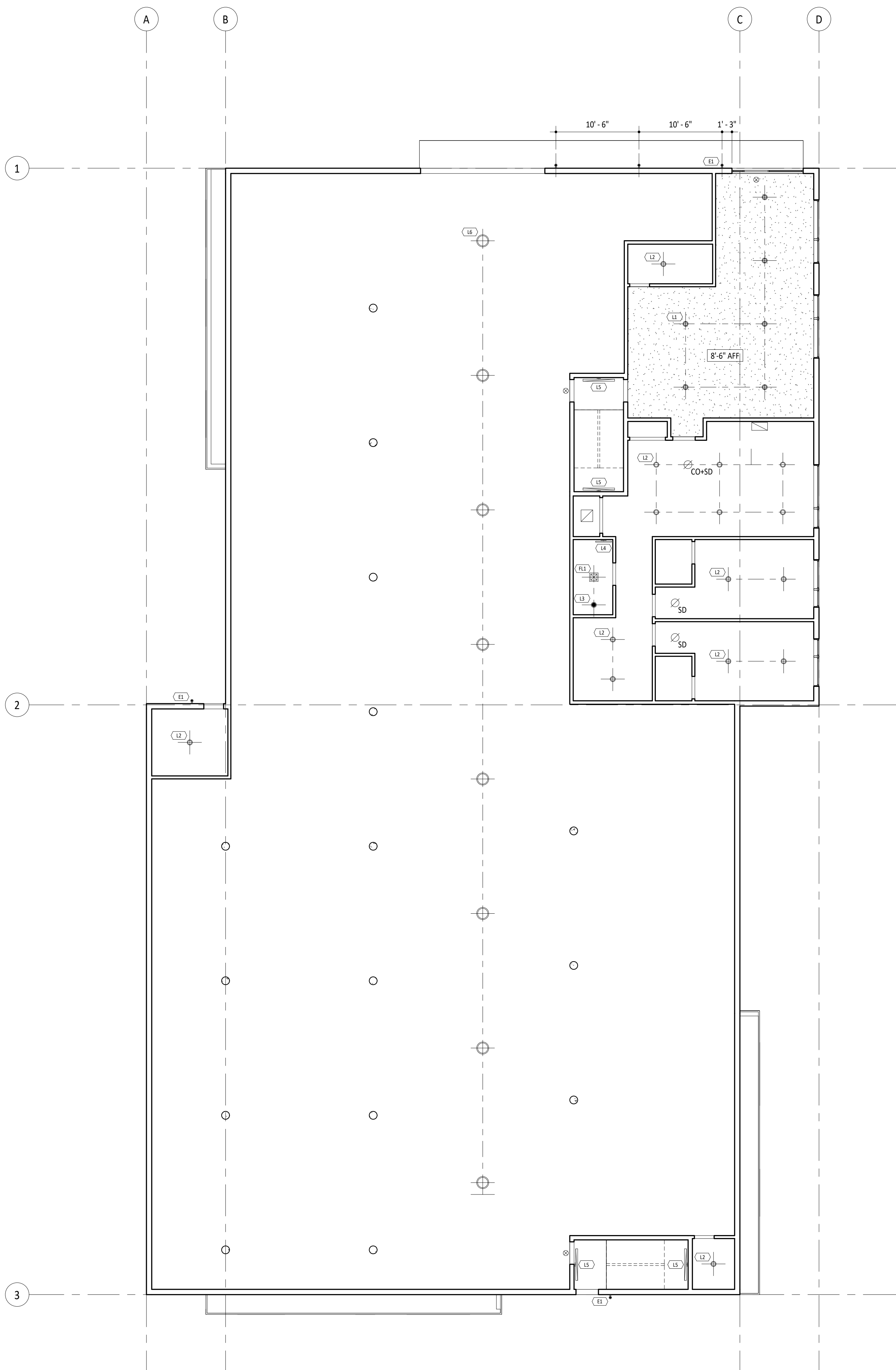
SUNRISE GROVE APARTMENTS
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Sheet
REFLECTED CEILING PLANS

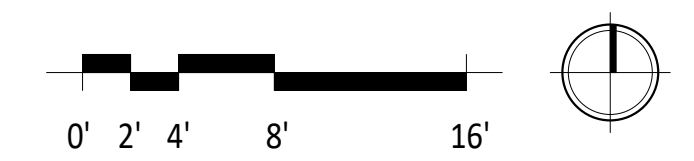
Date: FEBRUARY 1, 2023
Project: A.2206.01
Scale: 1/8" = 1'-0" **A6.10**



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1 FLOOR 01
1/8" = 1'-0"

2 FLOOR 02
1/8" = 1'-0"



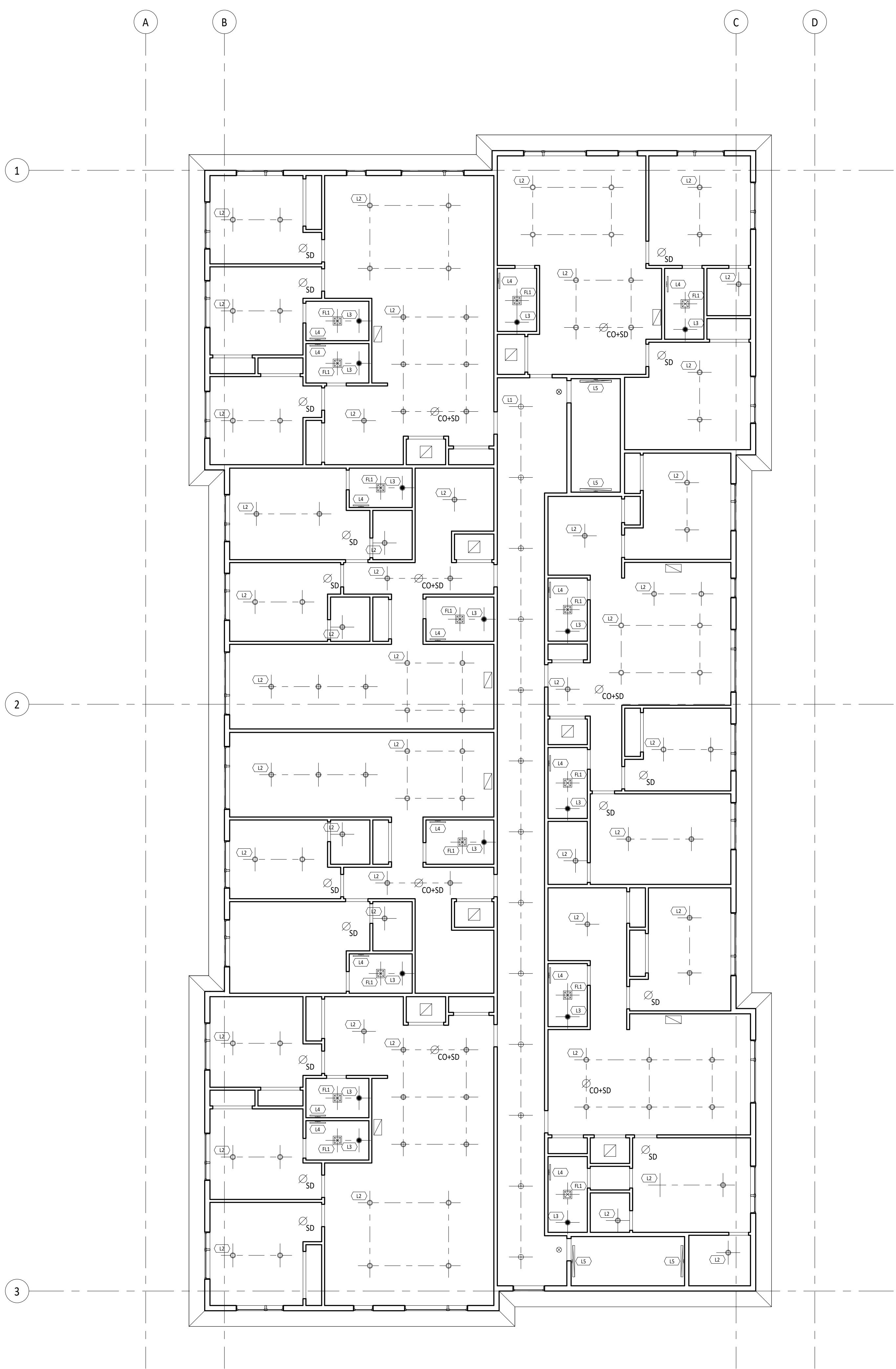


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Scale	As indicated
A6.20	



LIGHTING FIXTURE SCHEDULE							
TYPE	COUNT	DESCRIPTION	MANUFACTURER	MODEL	WATTS	LOCATION	COMMENTS
E1	5	WALL-MOUNTED EXTERIOR LED	LUMASCAPE	LS121LED	12W	ENTRY	
EX1	7	SELF-ILLUMINATING EXIT SIGN	MAXILUM	ELX-605	21W		
FL1	29	FAN/LIGHT COMBO	PANASONIC	FV-0511VKL2	13.8W	UNIT BATH	IC-RATED W/ EMERGENCY BATTERY BALLAST
L1	32	4" RECESSED LED DOWNLIGHT	LIGHTOLIER	P4R	16.8W	CORRIDORS, LOBBY	
L2	229	5" SURFACE-MOUNTED LED DOWNLIGHT	LIGHTOLIER	SSR827K7AL	9.5W	UNIT LIVING, BEDROOM	
L3	28	5" SURFACE-MOUNTED LED DOWNLIGHT	LIGHTOLIER	SSR827K7AL-WR	9.5W	UNIT SHOWER	WET-RATED
L4	29	2" WALL-MOUNTED VANITY LIGHT	LITHONIA	FMVCCLS 24IN	18W	UNIT BATH	
L5	10	4" WALL-MOUNTED LED STAIR LIGHT	LITHONIA	WL4 30L LP840	28.2W	STAIRWAYS	BUILT-IN OCCUPANCY SENSOR, BUILT-IN EMERGENCY BALLAST, FIXTURE TO DIM TO 50% WHEN UNOCCUPIED
L6	8	SURFACE-MOUNTED LED GARAGE LIGHT	GARDCO	SVPG-A03-830	52 W	GARAGE	
TOTAL WATTAGE					4673.3W		

REDUCED LIGHTING POWER

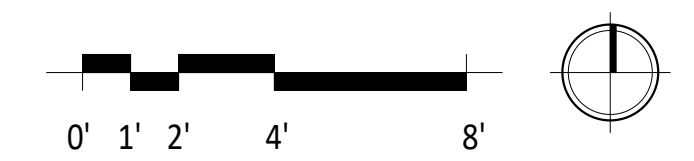
2018 WSEC, C406: TOTAL INTERIOR LIGHTING POWER (WATTS) OF THE BUILDING SHALL BE 75 PERCENT OR LESS OF THE LIGHTING POWER VALUES SPECIFIED IN TABLE C405.4.2(1) TIMES THE FLOOR AREA FOR THE BUILDING TYPES

TABLE C405.4.2(1): MULTIFAMILY - LPD = 0.41

BLDG FLOOR AREA	30,276 SF
INTERIOR LIGHTING POWER ALLOWANCE	30,276 x 0.41 = 12,413.16W
REDUCED LIGHTING POWER ALLOWANCE	412,413.16 x 0.75 = 9309.87W
TOTAL BUILDING LIGHTING POWER	4673.3W

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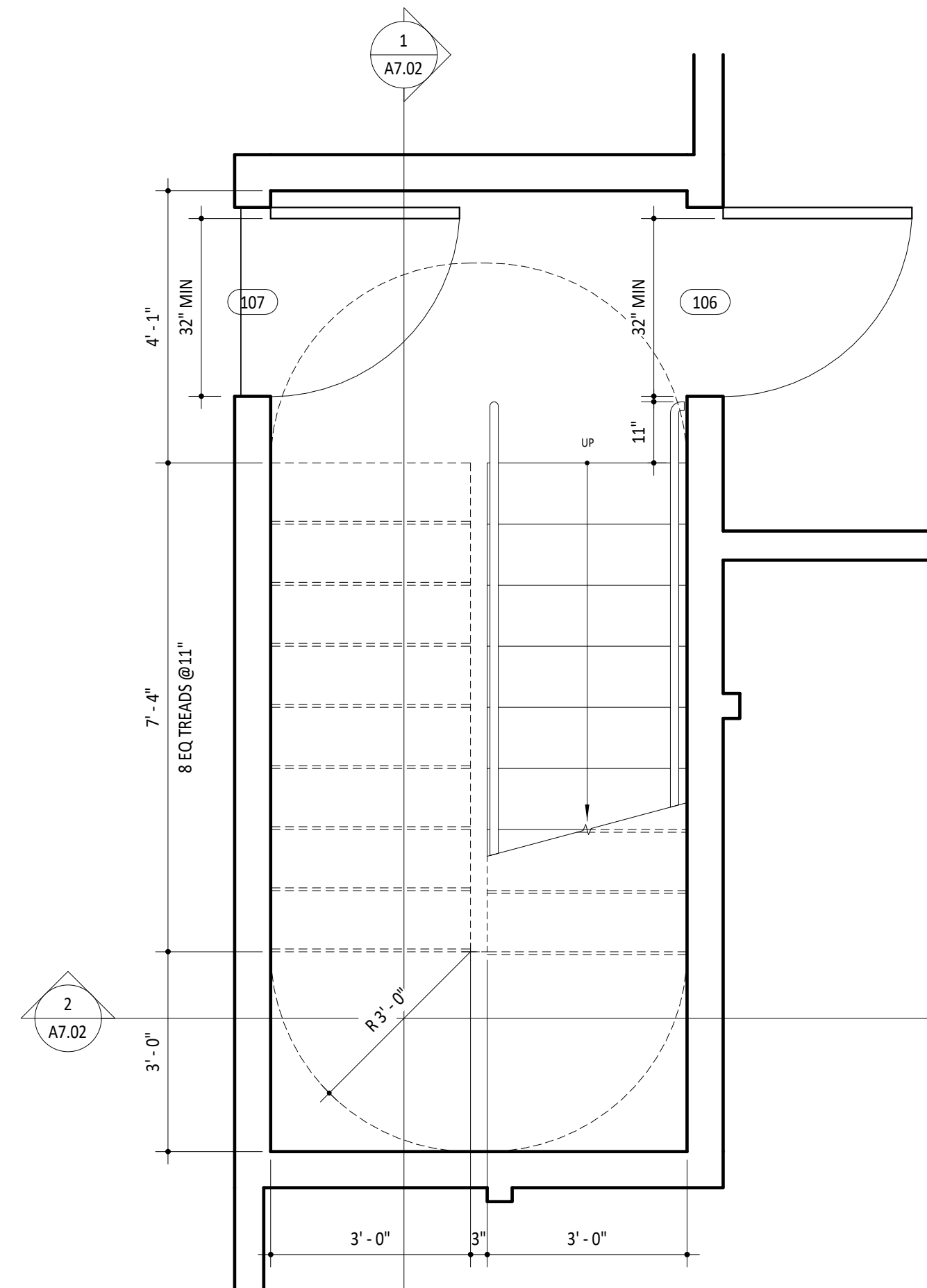
1 FLOOR 03
1/8" = 1'-0"



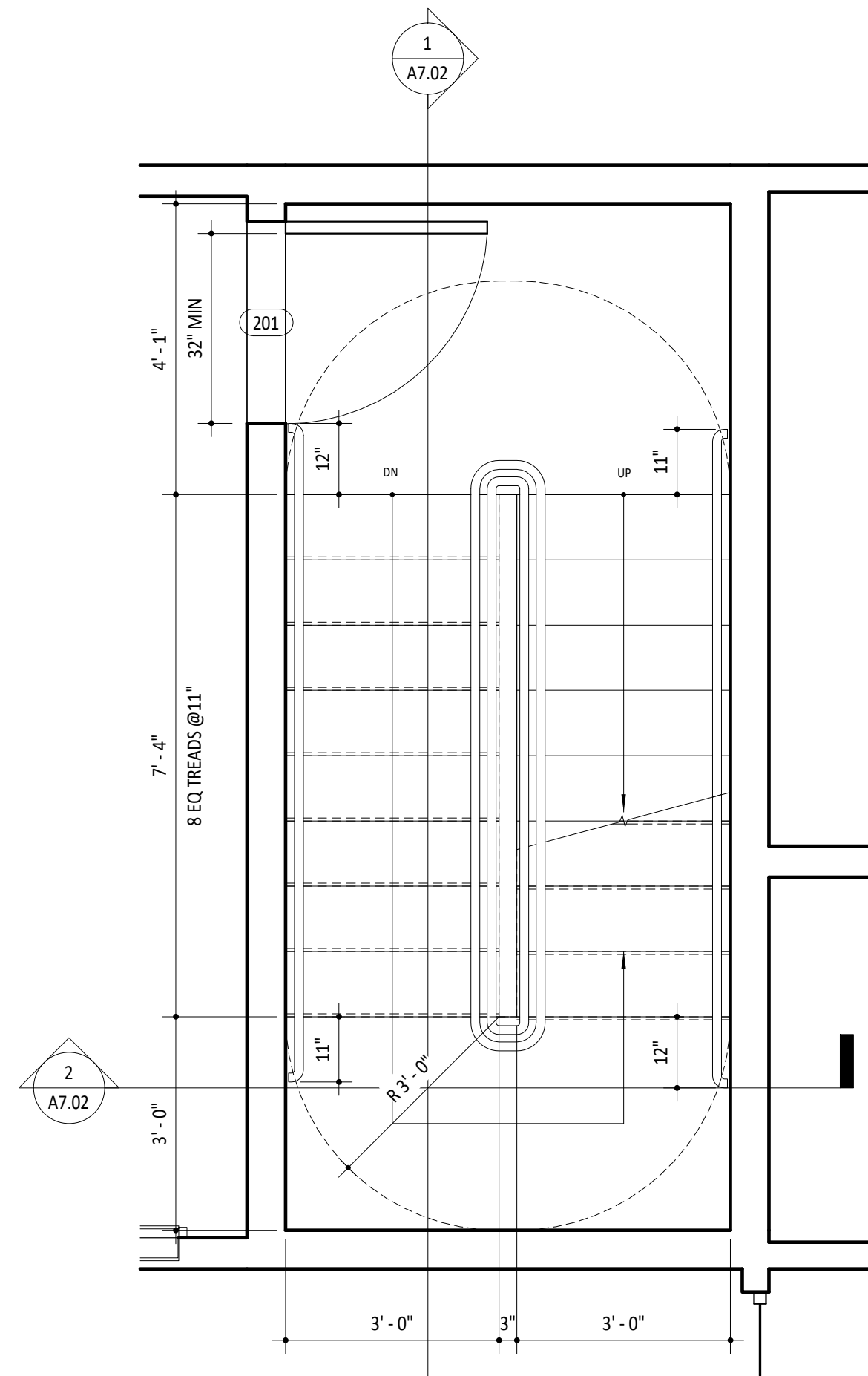


STAIR NOTES

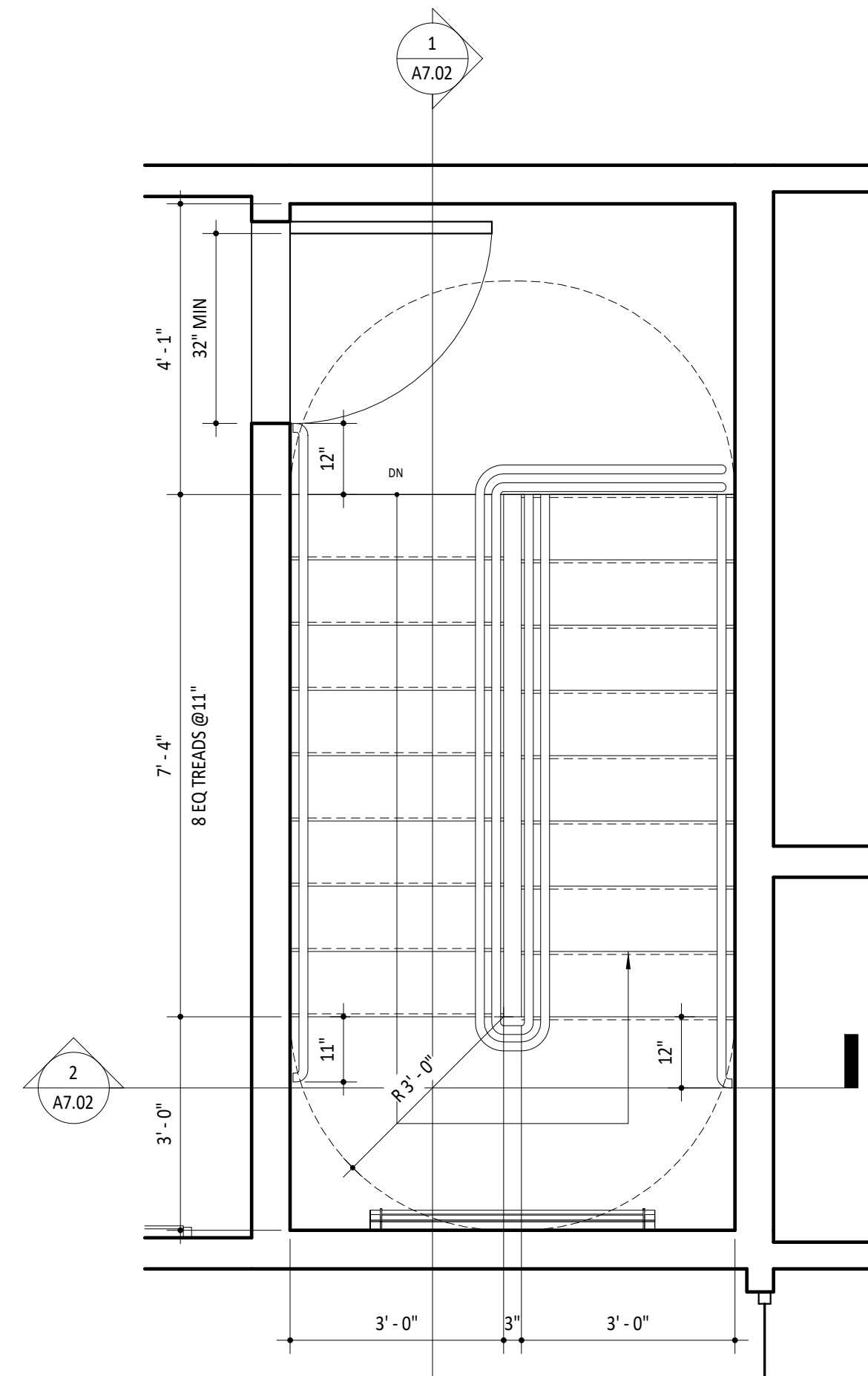
- 1 HANDRAILS SHALL HAVE A SPACE OF NOT LESS THAN 1-1/2" BETWEEN THE WALL AND THE HANDRAILS.
- 2 HANDRAILS SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4" AND NOT GREATER THAN 6-1/4" WITH A MAXI CROSS SECTION OF DIMENSION OF 2-1/4".
- 3 GUARDRAILS SHALL BE NOT LESS THAN 36 INCHES HIGH
- 4 GUARDRAILS SHALL NOT HAVE OPENINGS WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER
- 5 GUARD SHALL BE DESIGNED TO RESIST A CONCENTRATED LOAD OF 200LBS AT THE GUARDRAIL AND 50 LBS AT INFILL COMPONENTS



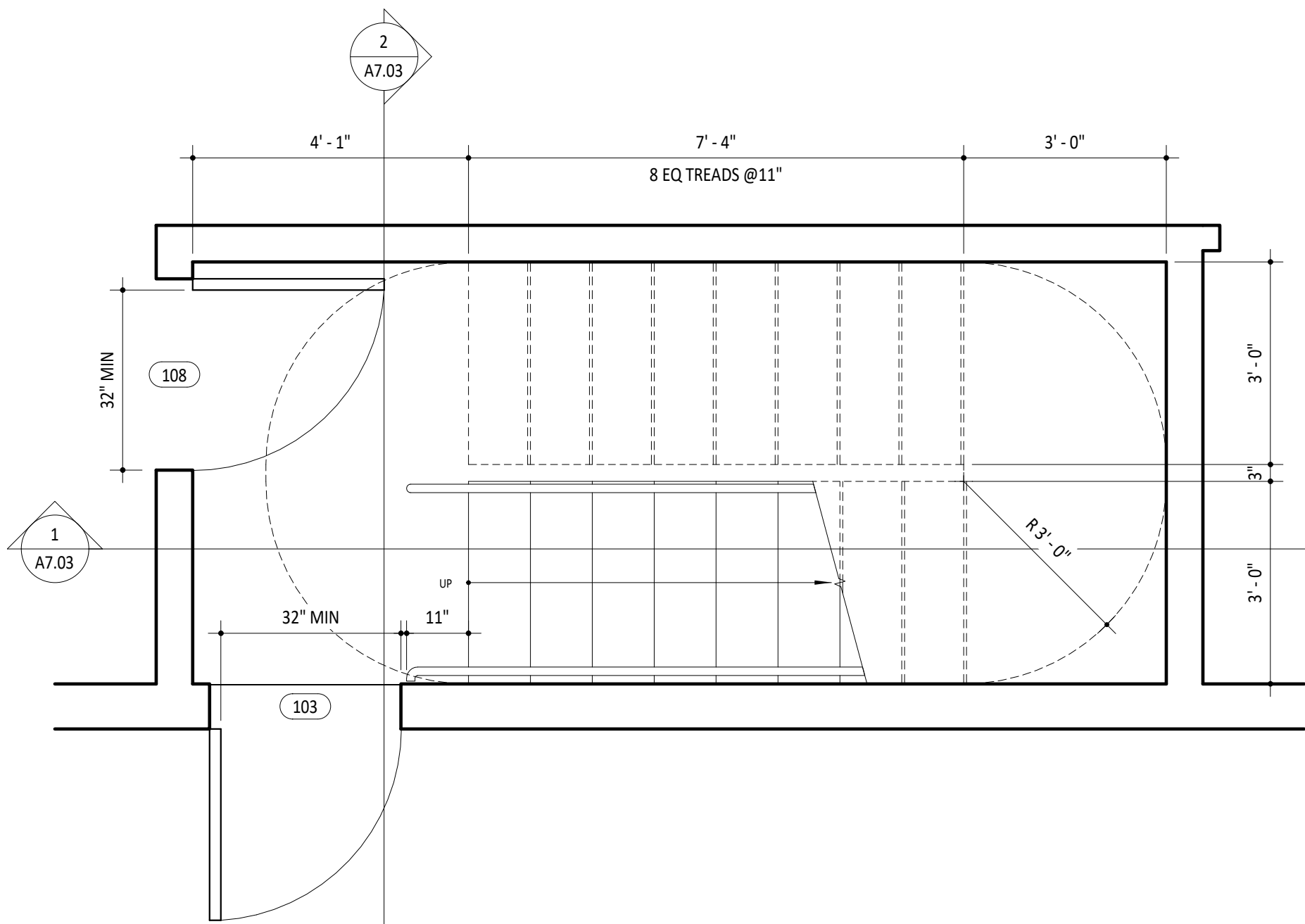
1 ENLARGED STAIR PLAN - 01 - FLOOR 01
1/2" = 1'-0"



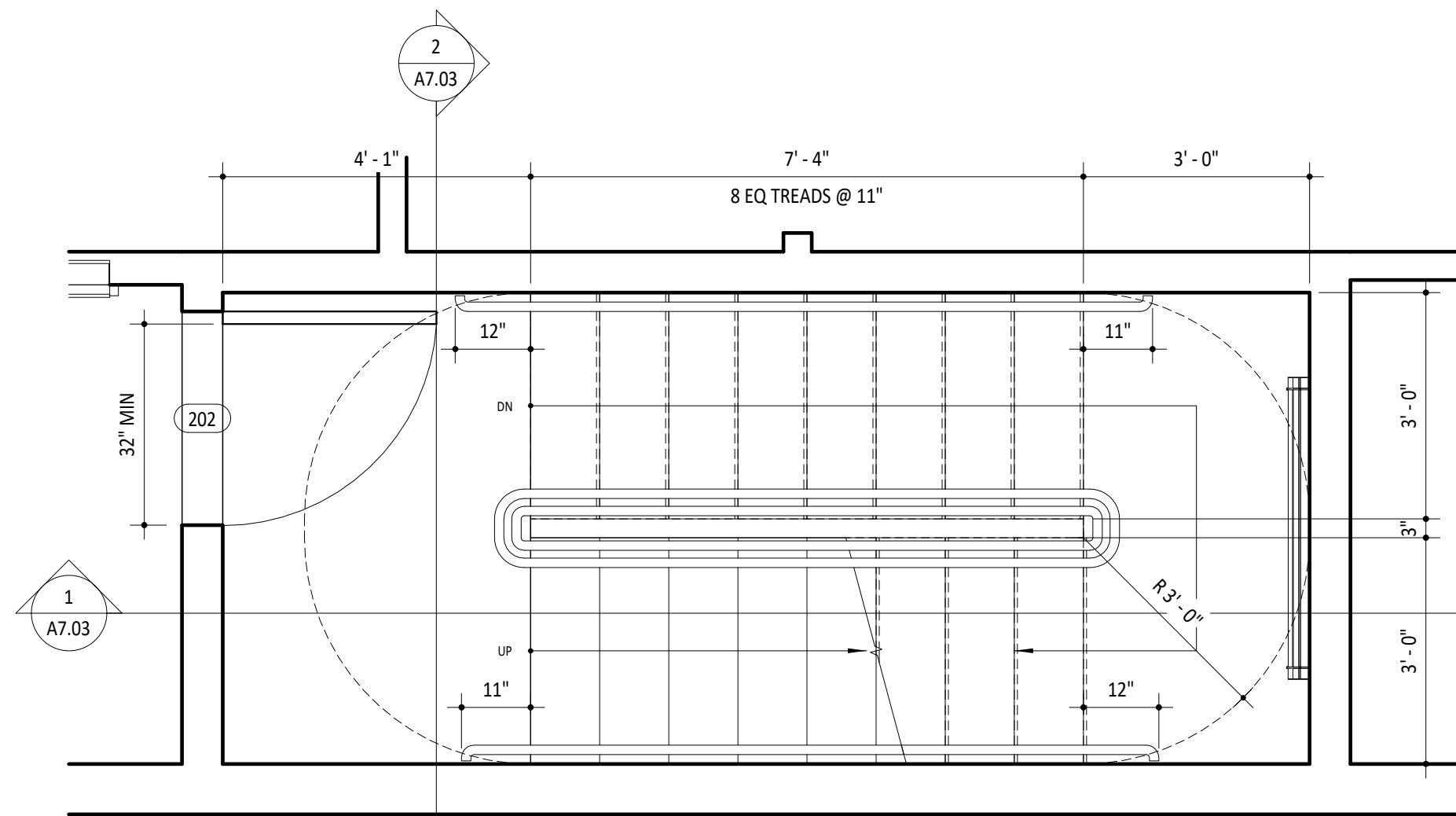
2 ENLARGED STAIR PLAN - 01 - FLOOR 02
1/2" = 1'-0"



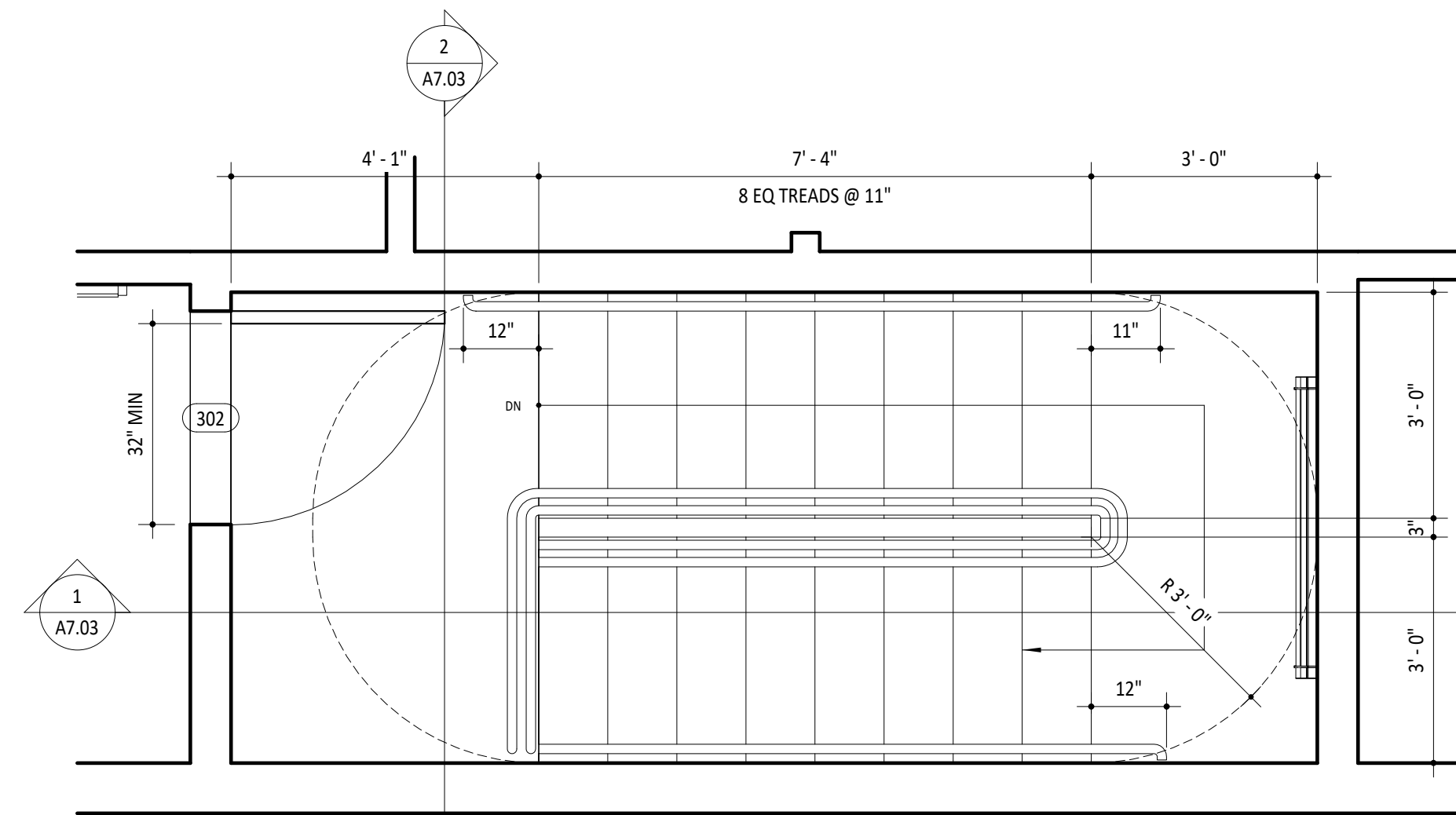
3 ENLARGED STAIR PLAN - 01 - FLOOR 03
1/2" = 1'-0"



4 ENLARGED STAIR PLAN - 02 - FLOOR 01
1/2" = 1'-0"



5 ENLARGED STAIR PLAN - 02 - FLOOR 02
1/2" = 1'-0"



6 ENLARGED STAIR PLAN - 02 - FLOOR 03
1/2" = 1'-0"

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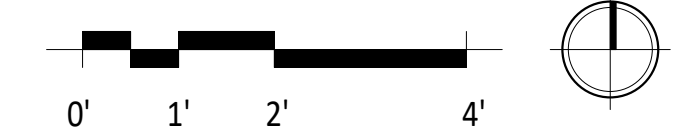
ENLARGED STAIR PLANS

Date FEBRUARY 1, 2023

Project A.2206.01

Scale 1/2" = 1'-0"

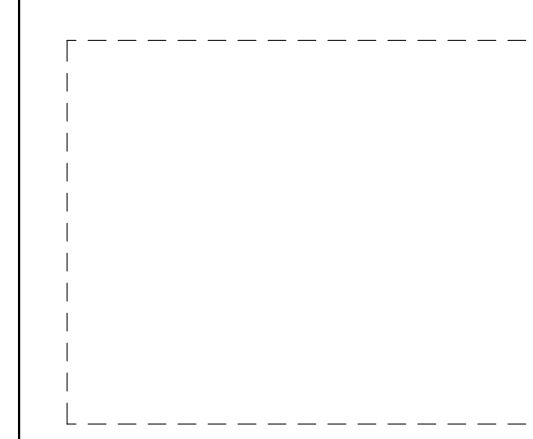
A7.01





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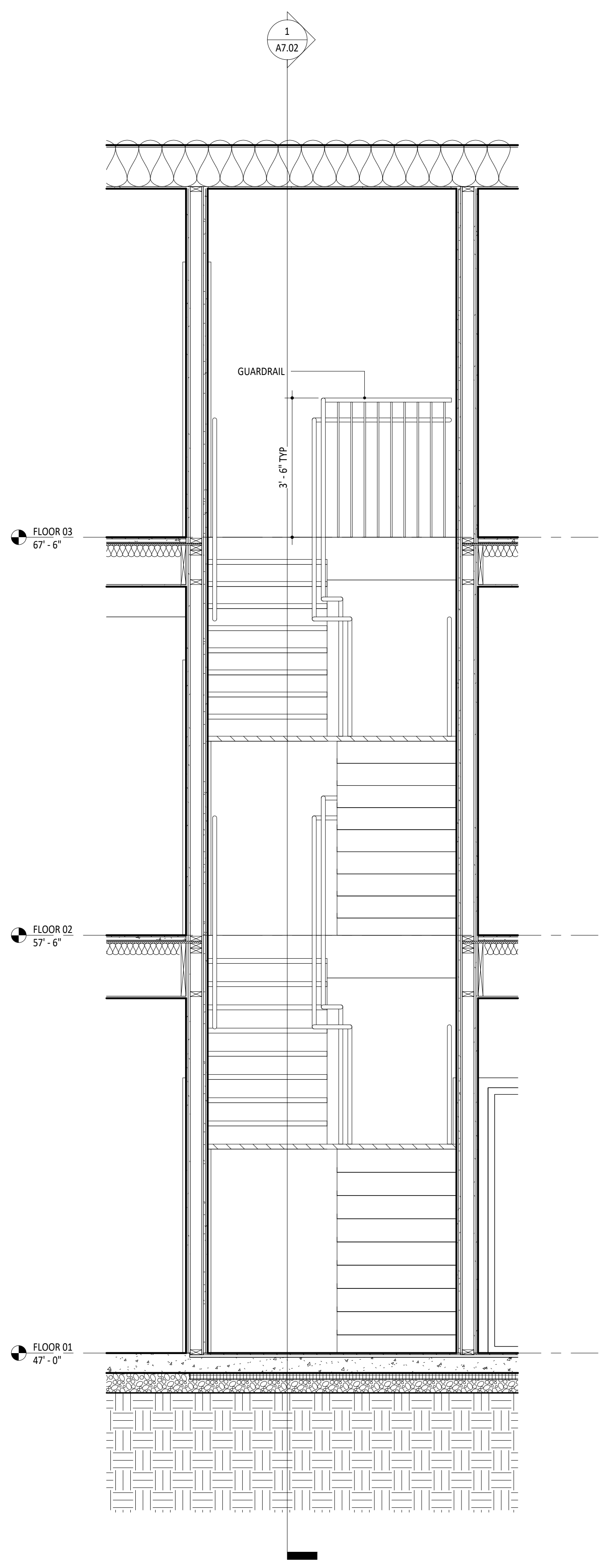
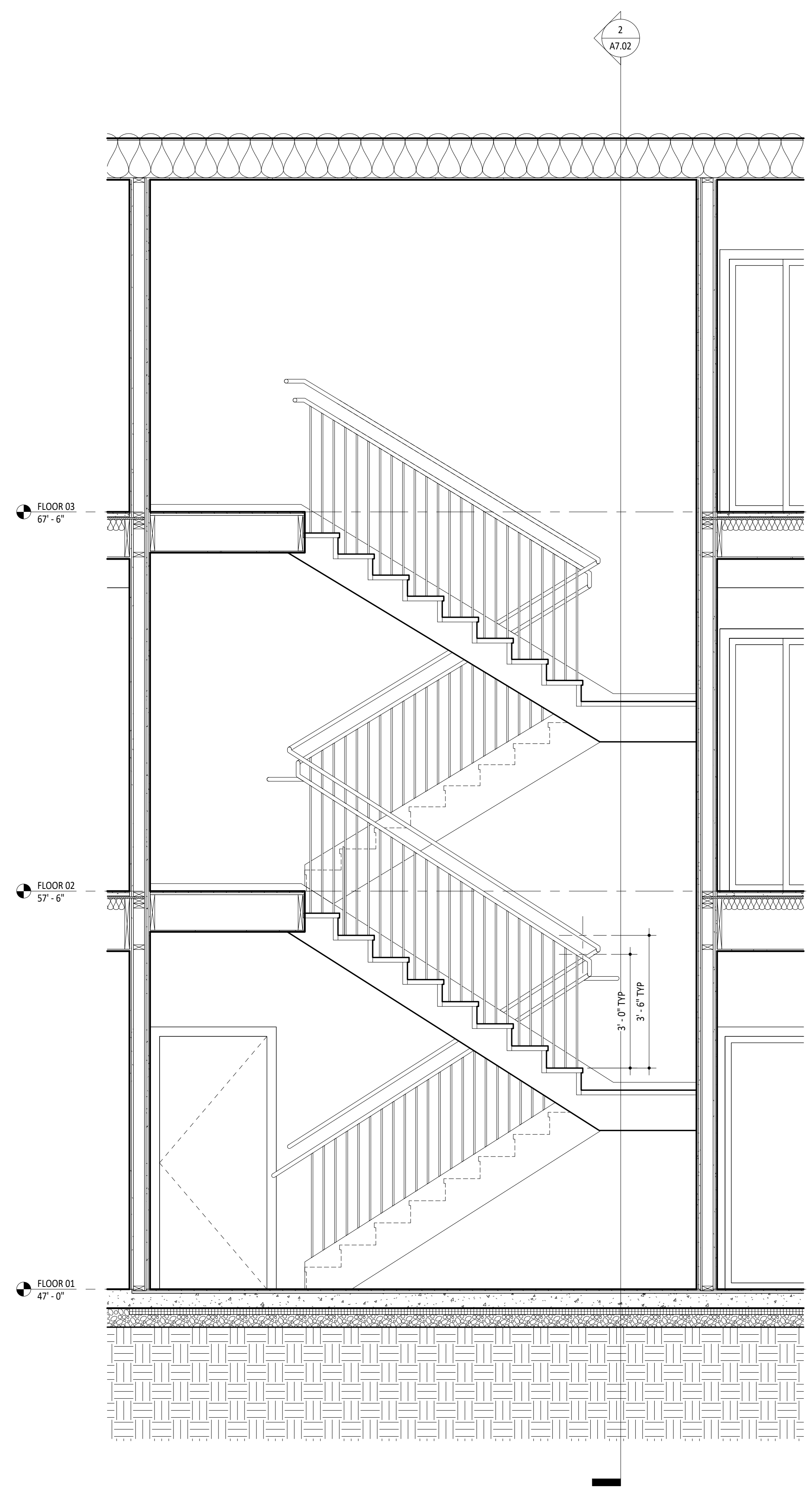
ENLARGED STAIR SECTIONS

Date FEBRUARY 1, 2023

Project A.2206.01

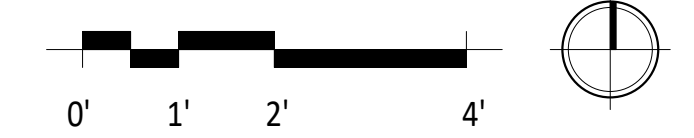
Scale 1/2" = 1'-0"

A7.02



1 ENLARGED STAIR SECTION 01
1/2" = 1'-0"

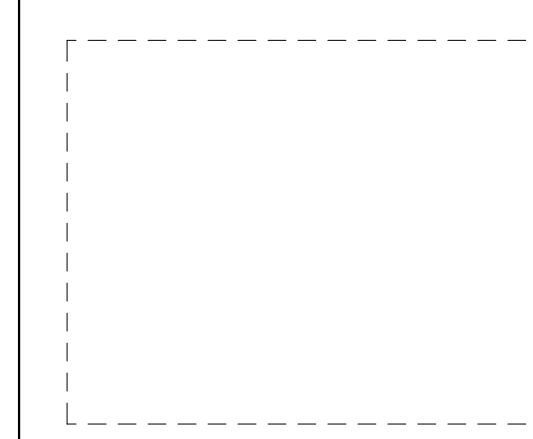
2 ENLARGED STAIR SECTION 02
1/2" = 1'-0"





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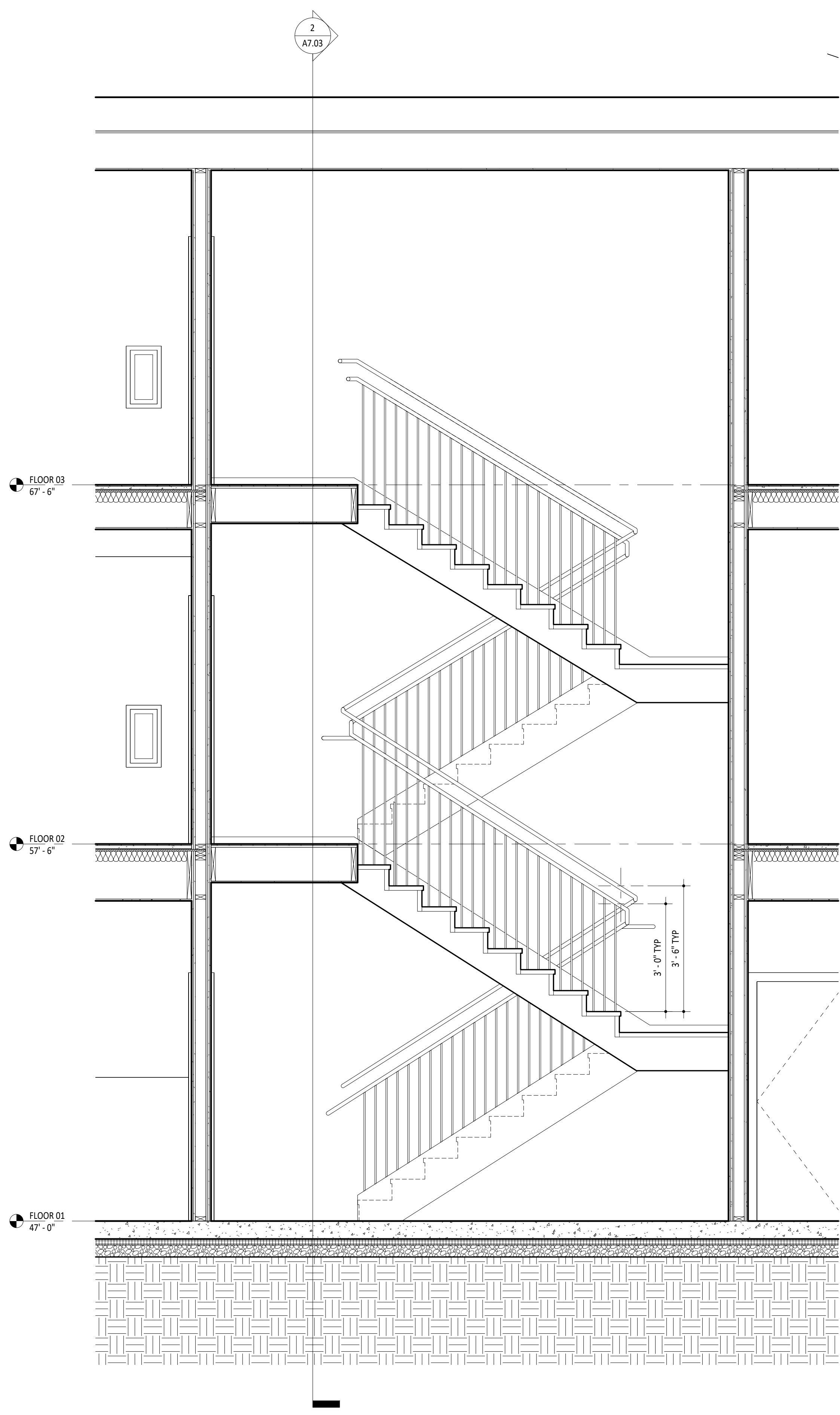
ENLARGED STAIR SECTIONS

Date FEBRUARY 1, 2023

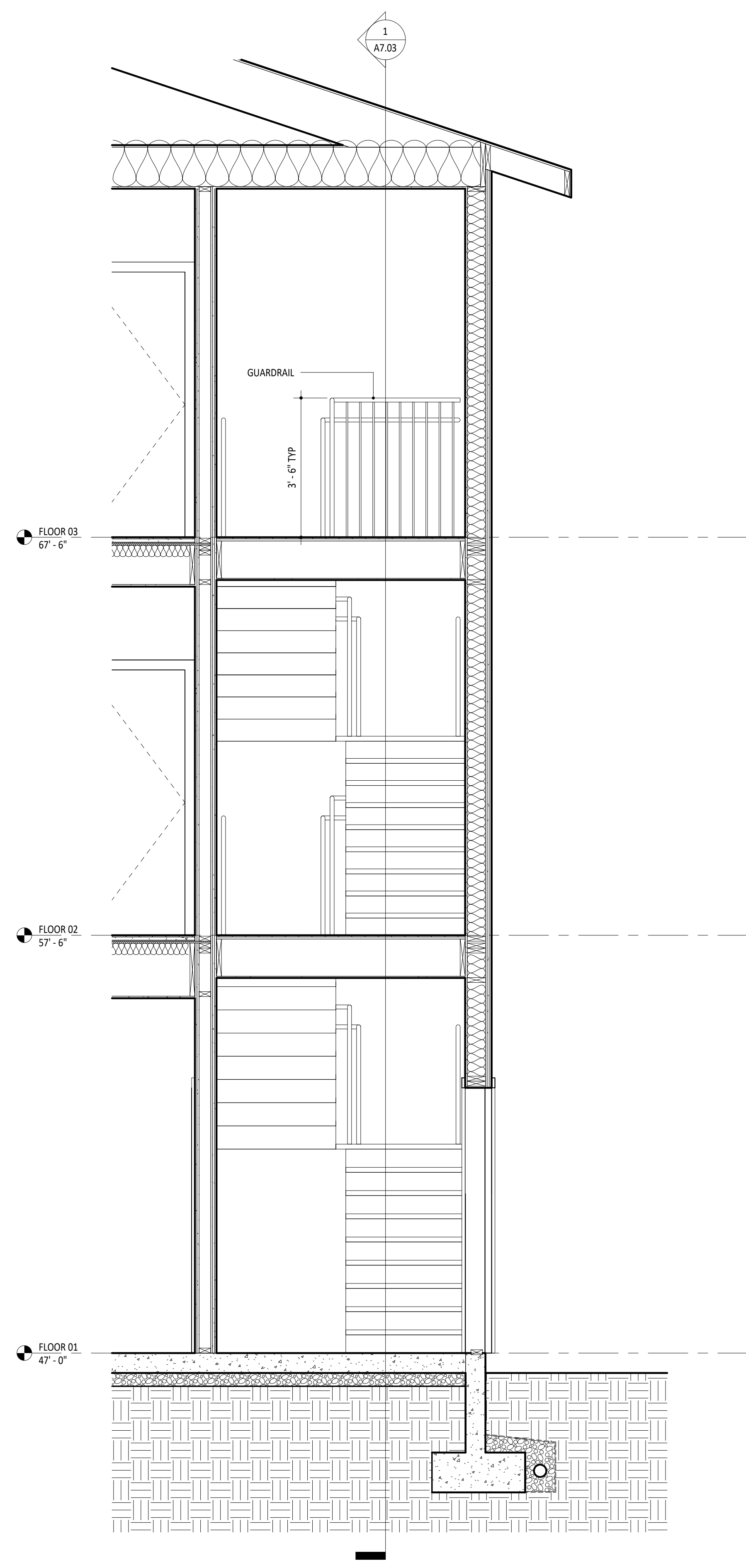
Project A.2206.01

Scale 1/2" = 1'-0"

A7.03

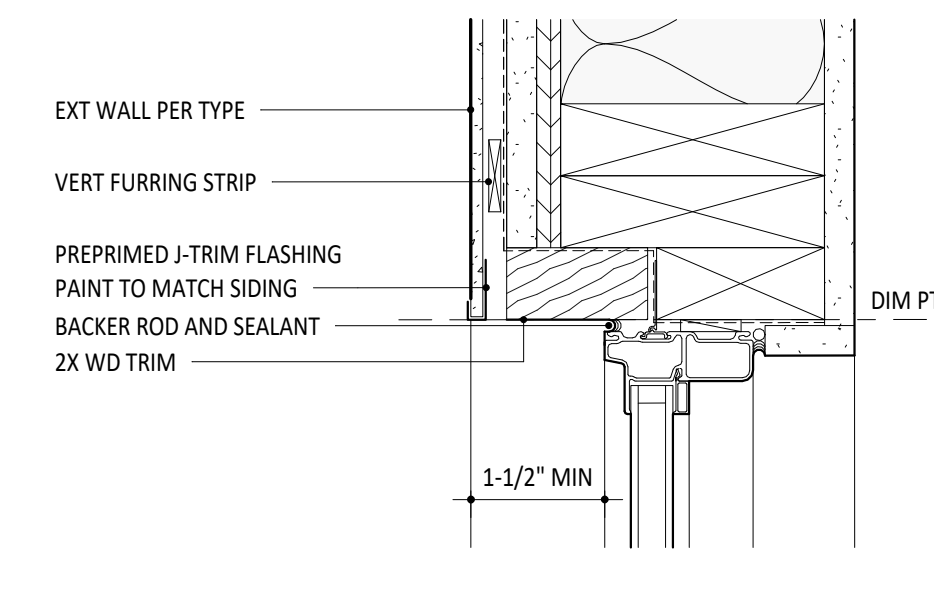
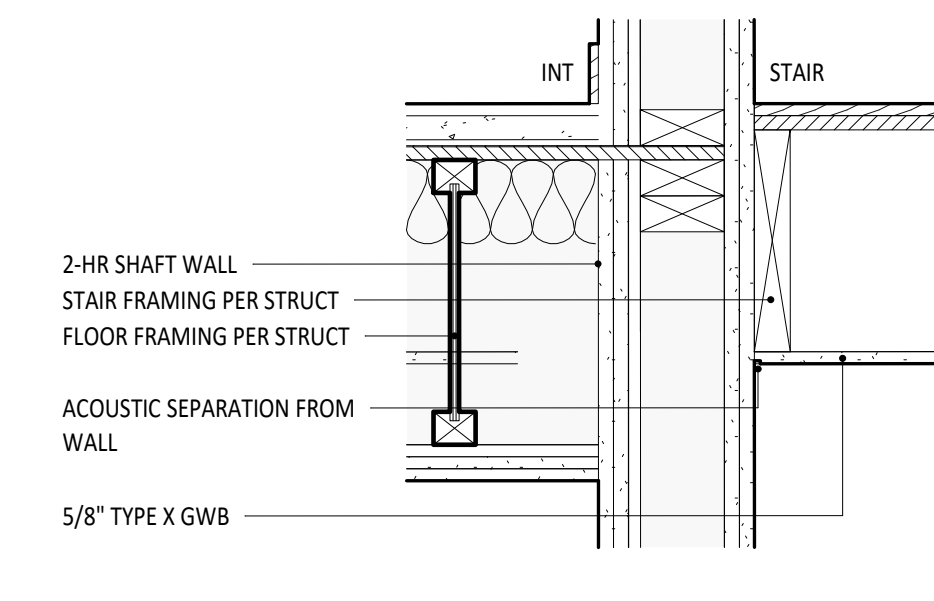
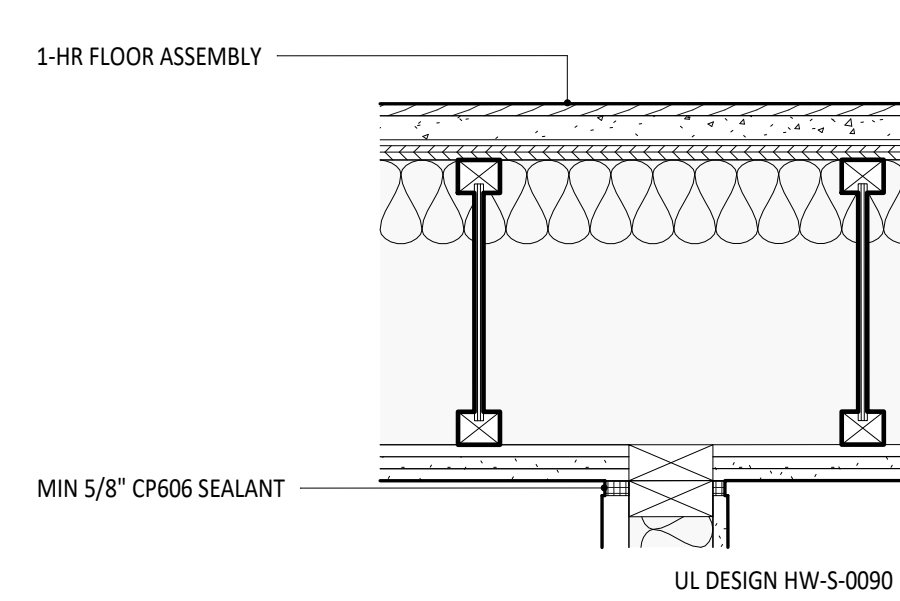
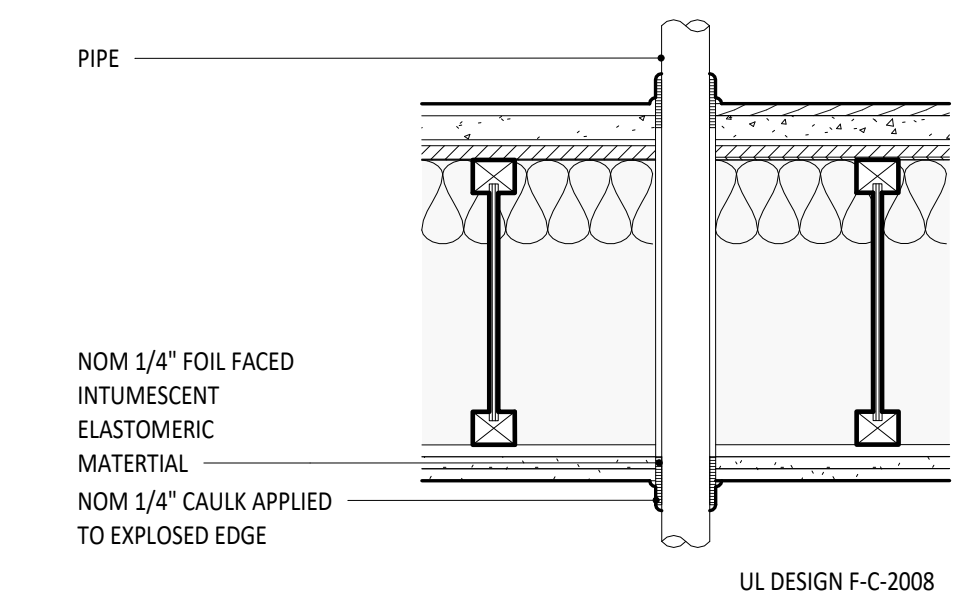


1 ENLARGED STAIR SECTION 03
1/2" = 1'-0"



2 ENLARGED STAIR SECTION 04
1/2" = 1'-0"

SUNRISE GROVE APARTMENTS
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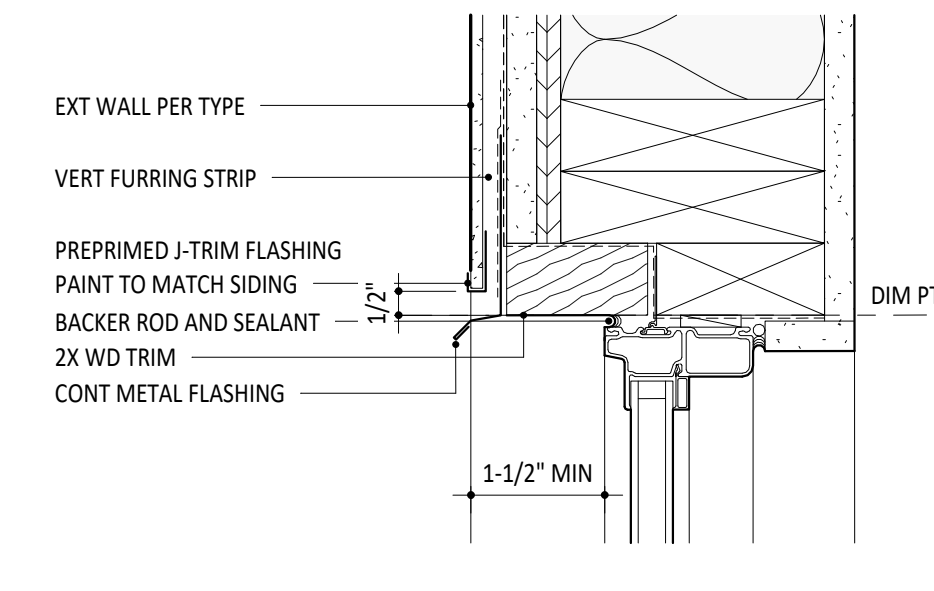
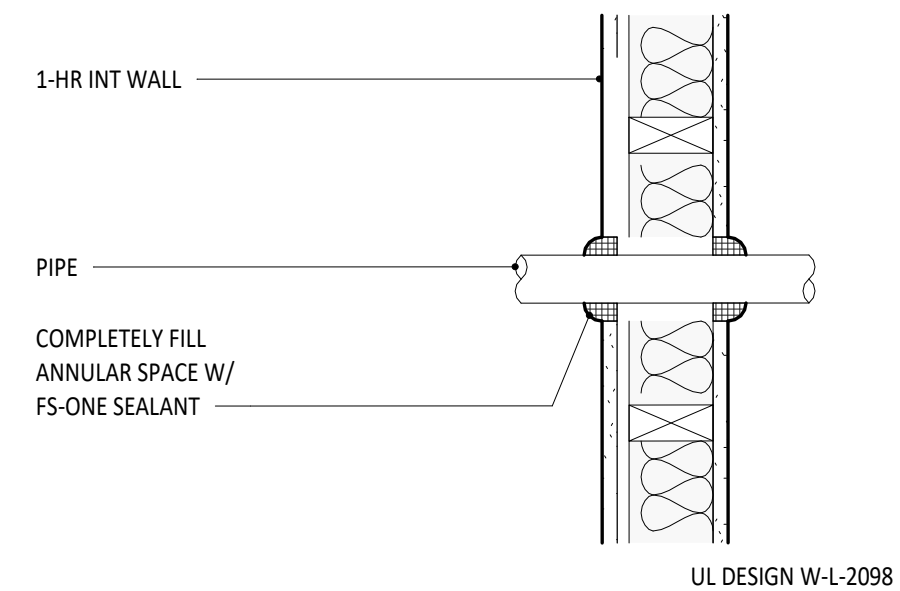
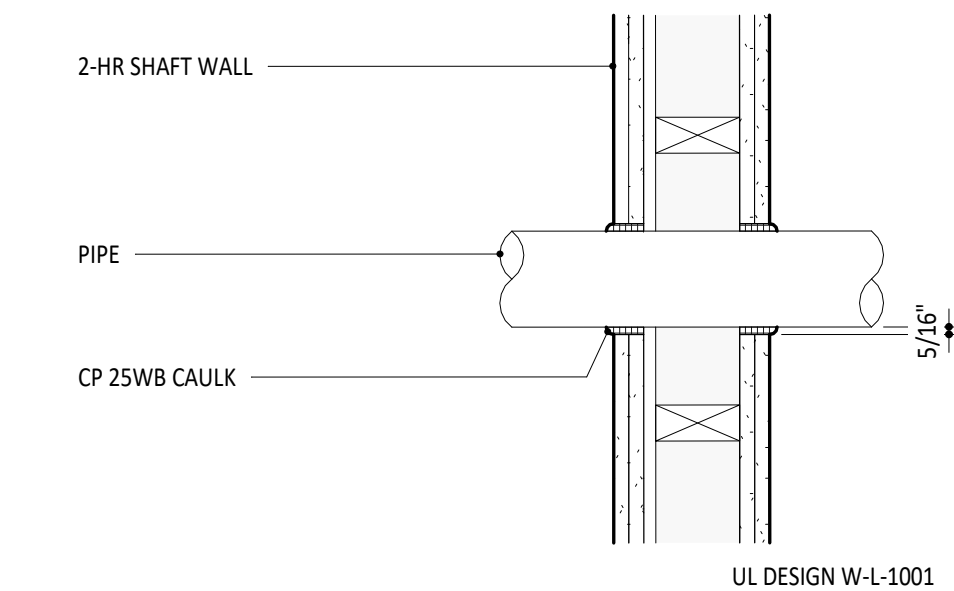


1 1-HR VERT PENETRATION DETAIL
1 1/2" = 1'-0"

2 1-HR JOINT DETAIL
1 1/2" = 1'-0"

3 FLOOR LANDING AT SHAFT WALL
1 1/2" = 1'-0"

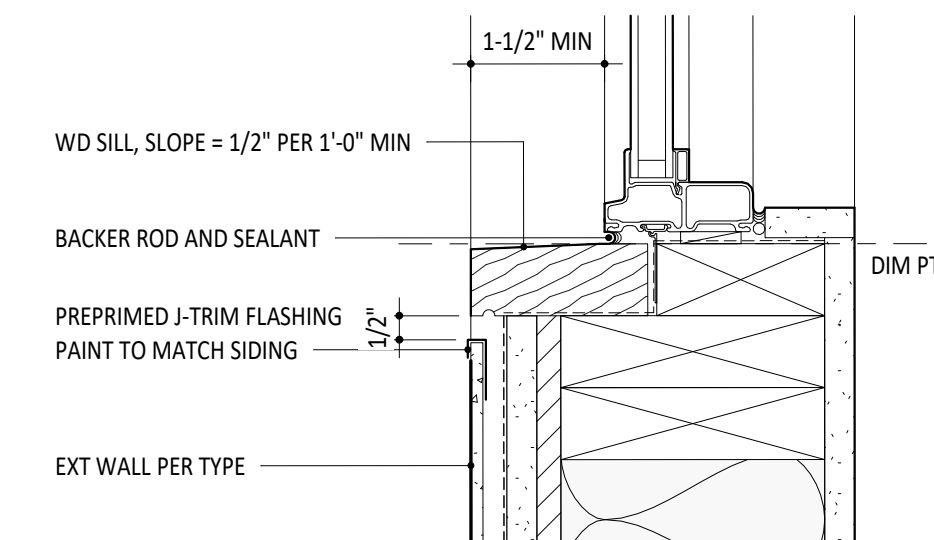
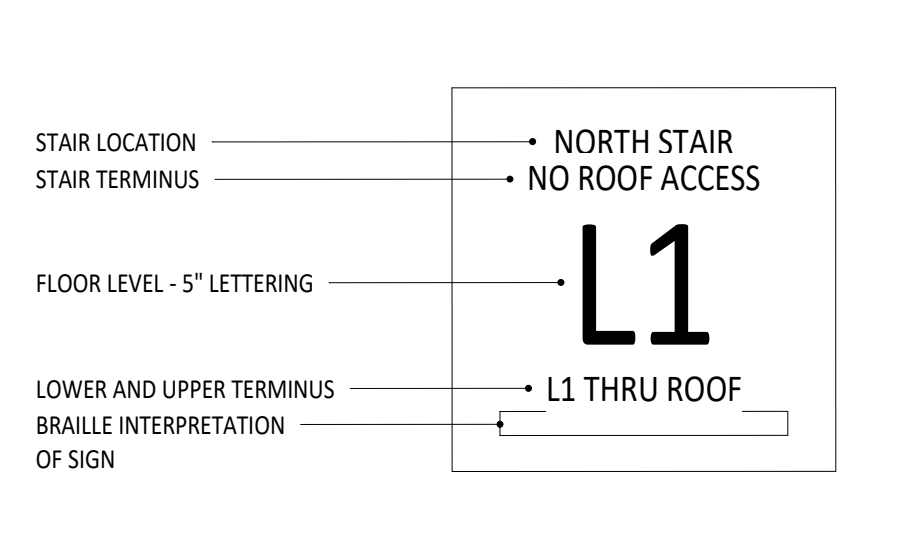
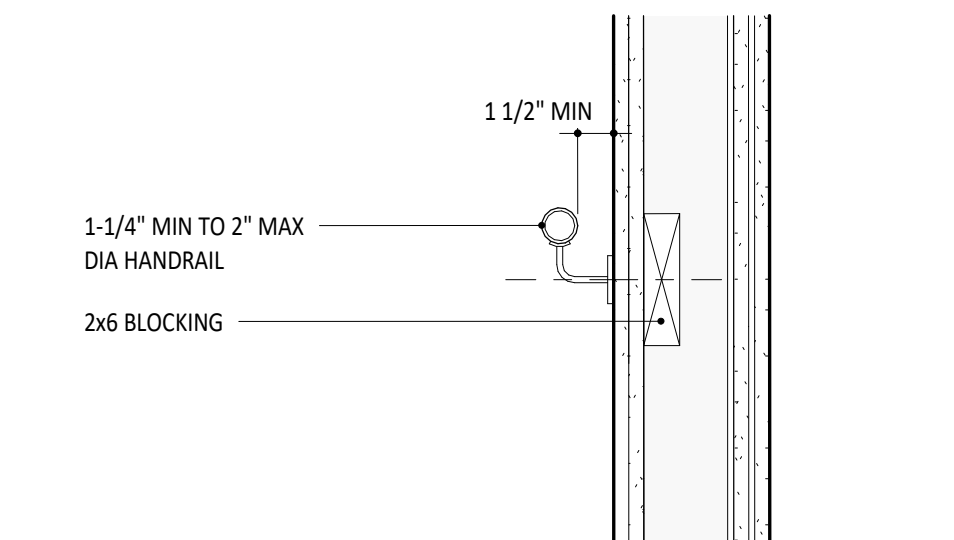
10 WINDOW JAMB, TYP
3" = 1'-0"



4 2-HR PENETRATION DETAIL
1 1/2" = 1'-0"

5 1-HR PENETRATION DETAIL
1 1/2" = 1'-0"

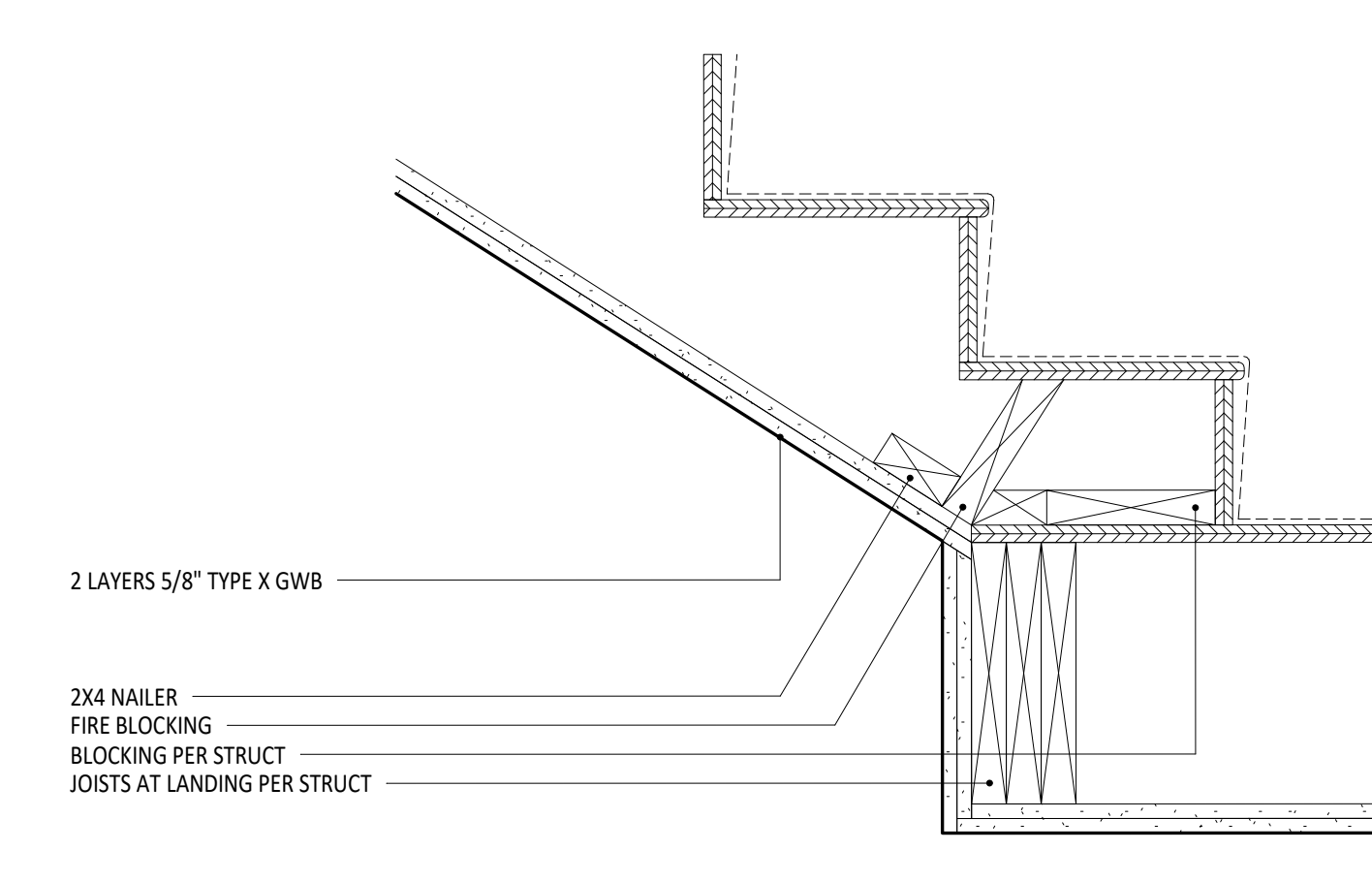
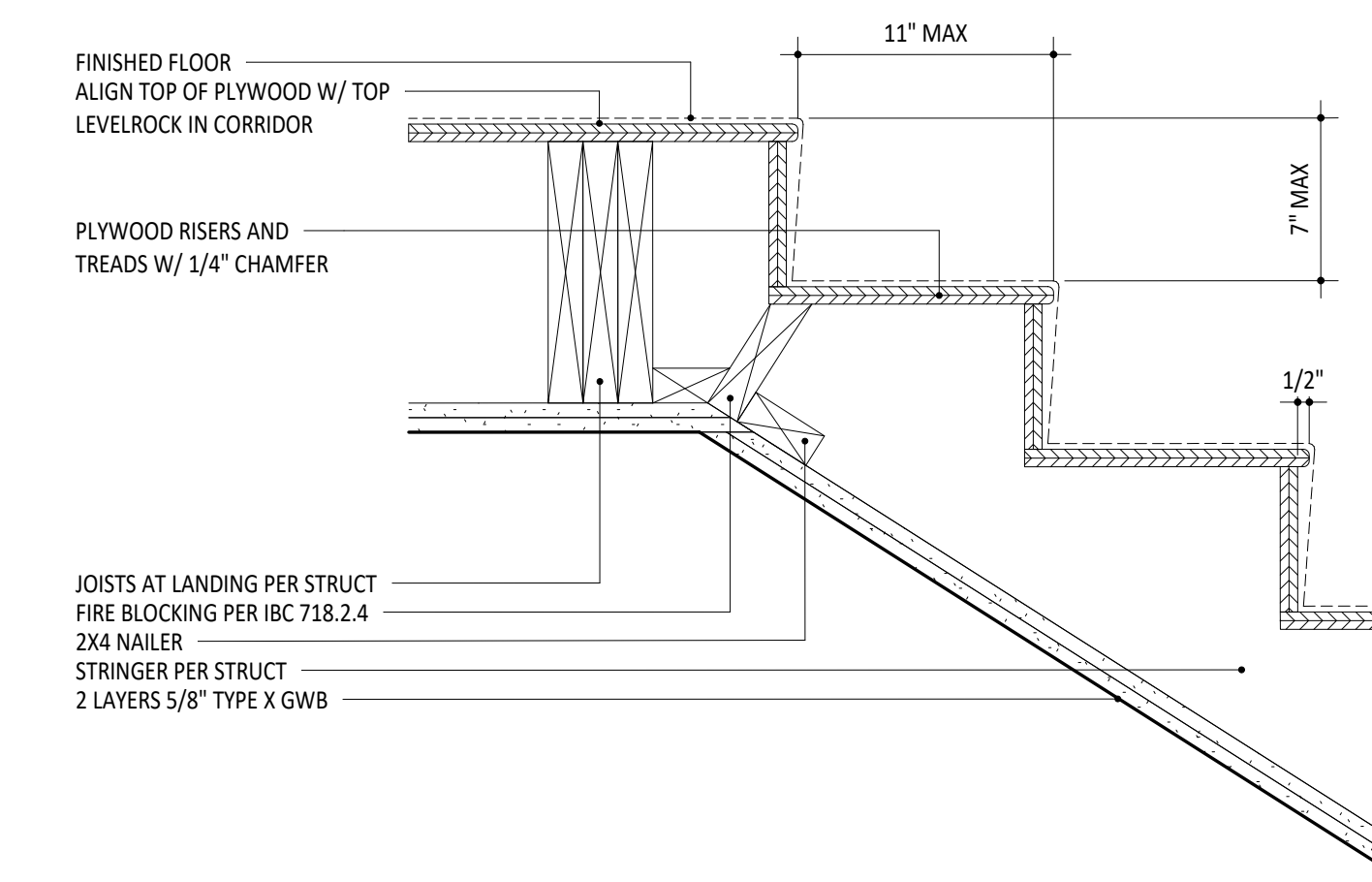
11 WINDOW HEAD, TYP
3" = 1'-0"



6 HANDRAIL, TYP
1 1/2" = 1'-0"

7 STAIR SIGNAGE
1 1/2" = 1'-0"

12 WINDOW SILL, TYP
3" = 1'-0"

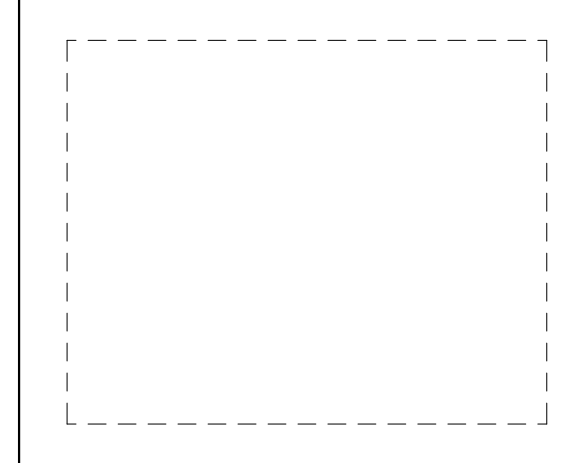


8 STAIR AT TOP LANDING
1 1/2" = 1'-0"

9 STAIR AT INTERMEDIATE LANDING
1 1/2" = 1'-0"

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DETAILS

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A8.00



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WINDOW SCHEDULE

MARK	QUANTITY	WIDTH	HEIGHT	MANUFACTURER	MODEL	TYPE	U-VALUE	NFRC CPD#	COMMENTS
01	10	5'-6"	6'-0"	MARVIN	ESSENTIAL	FIXED, SLIDER	0.25	MAR-N-325, MAR-N-363	
02	7	2'-6"	6'-0"	MARVIN	ESSENTIAL	FIXED, SLIDER	0.25	MAR-N-325, MAR-N-363	
03	8	2'-6"	6'-0"	MARVIN	ESSENTIAL	FIXED	0.25	MAR-N-325	
04	2	4'-0"	6'-0"	MARVIN	ESSENTIAL	FIXED	0.25	MAR-N-325	
05	19	3'-9"	4'-6"	MARVIN	ESSENTIAL	FIXED, SLIDER	0.25	MAR-N-325, MAR-N-363	EGRESS
06	21	2'-3"	4'-6"	MARVIN	ESSENTIAL	FIXED, SLIDER	0.25	MAR-N-325, MAR-N-363	EGRESS
07	1	5'-0"	4'-6"	MARVIN	ESSENTIAL	FIXED, SLIDER	0.25	MAR-N-325, MAR-N-363	
08	1	3'-0"	4'-6"	MARVIN	ESSENTIAL	FIXED, SLIDER	0.25	MAR-N-325, MAR-N-363	

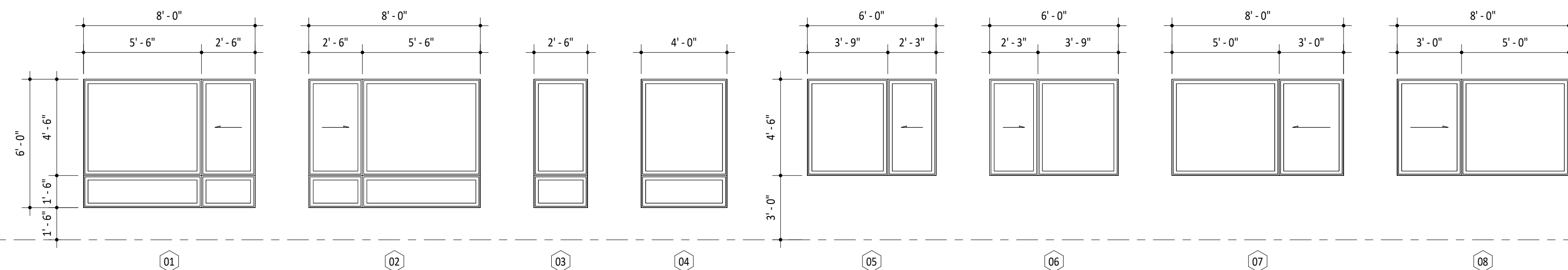
STOREFRONT SCHEDULE

MARK	QUANTITY	WIDTH	HEIGHT	MANUFACTURER	MODEL	TYPE	U-VALUE	COMMENTS
S1	1	9'-0"	7'-6"	KAWNEER	TRIFAB 451T	STOREFRONT	0.38	

ENERGY CREDITS PER TABLE R406.2 AND R406.3

OPTION	DESCRIPTION	CREDIT	CATEGORY	TYPE	ENERGY STAR
HEATING 1	COMBUSTION HEATING MINIMUM NAECA	0.0	WARM AIR FURNACE, GAS FIRED	GAS	-
ENERGY 1.4	EFFICIENT BUILDING ENVELOPE	1.0	VERTICAL PENETRATION	-	-
2.1	AIR LEAKAGE CONTROL AND EFFICIENT VENTILATION	1.0	-	-	-
5.1	EFFICIENT WATER HEATING	0.5	-	-	-
5.2	EFFICIENT WATER HEATING	0.5	HIGH EFFICIENCY TANKLESS	GAS	•
7.1	APPLIANCE PACKAGE	1.5	-	-	•
TOTAL		4.5			

DOCUMENTATION OF ENERGY STAR COMPLIANCE SHALL BE PROVIDED AT TIME OF INSPECTION



DOOR SCHEDULE

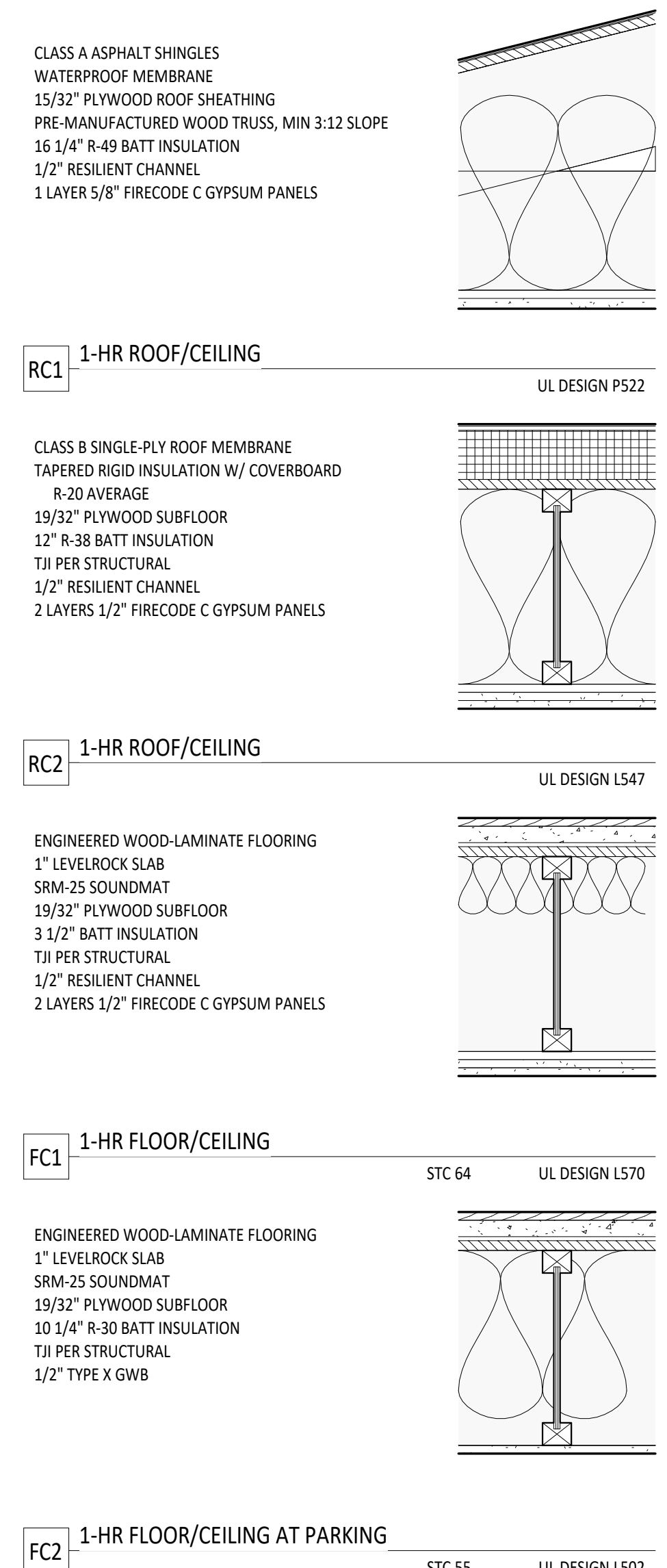
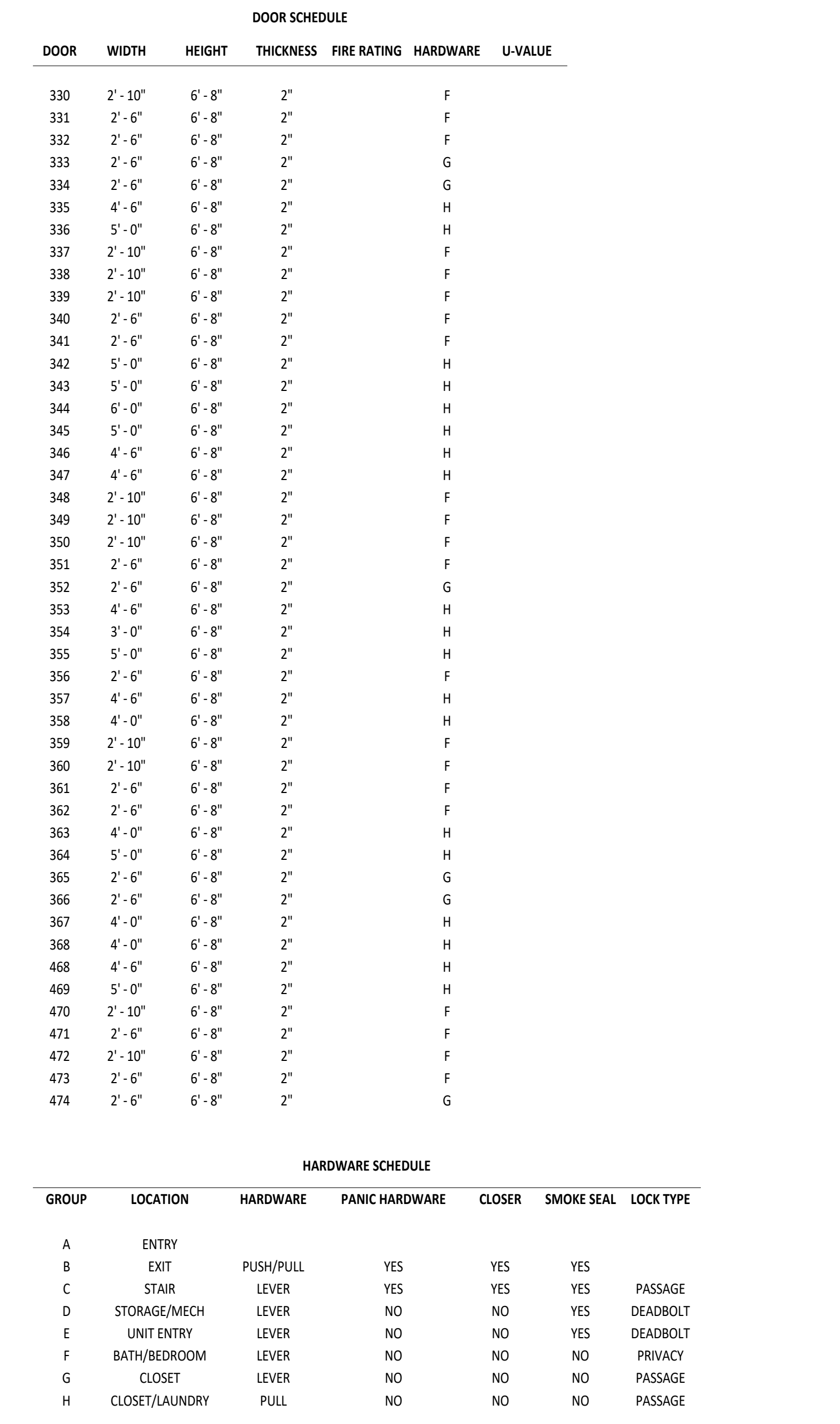
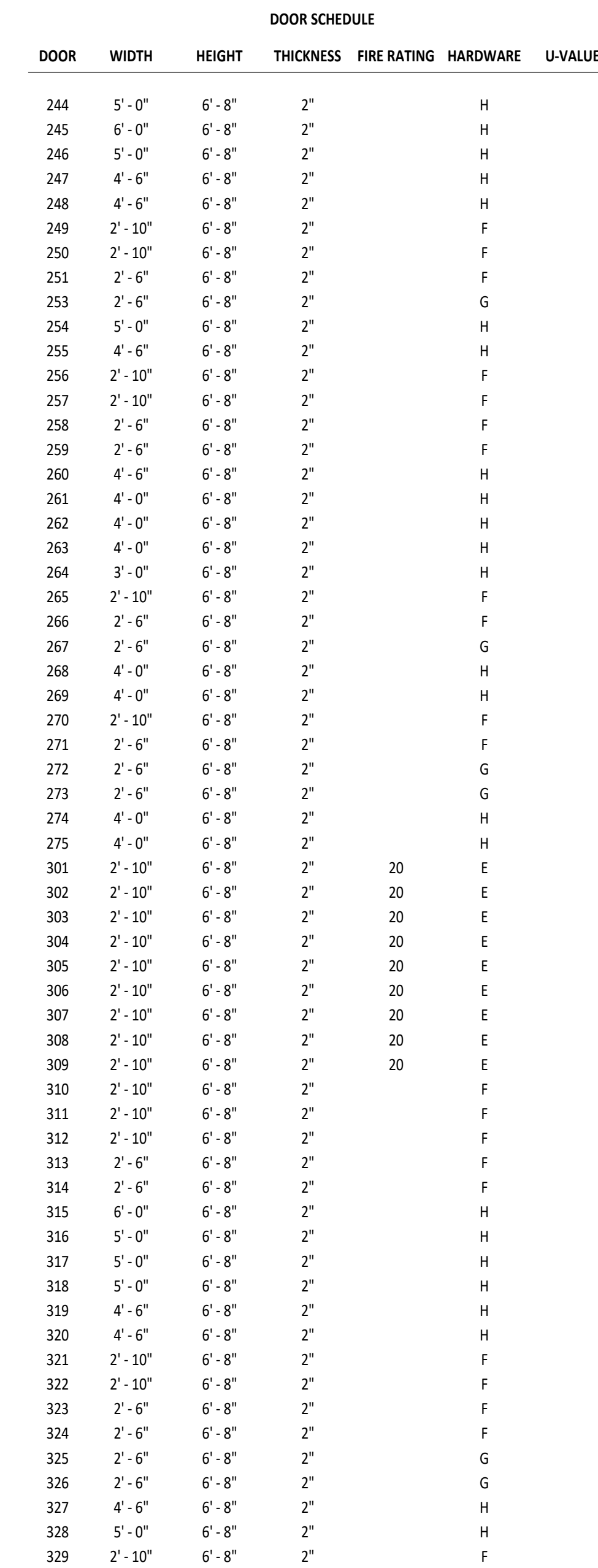
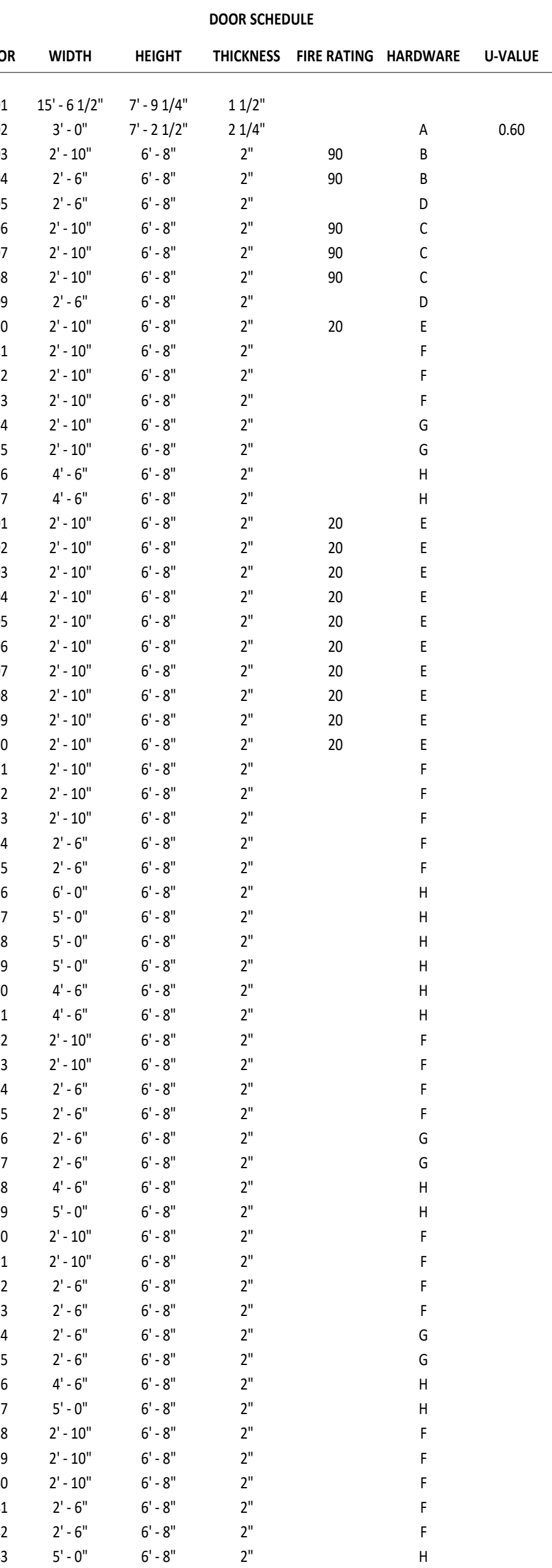
DOOR	WIDTH	HEIGHT	THICKNESS	FIRE RATING	HARDWARE	U-VALUE
101	15'-6 1/2"	7'-9 1/4"	1 1/2"			
102	3'-0"	7'-2 1/2"	2 1/4"		A	0.60
103	2'-10"	6'-8"	2"	90	B	
104	2'-6"	6'-8"	2"	90	B	
105	2'-6"	6'-8"	2"		D	
106	2'-10"	6'-8"	2"	90	C	
107	2'-10"	6'-8"	2"	90	C	
108	2'-10"	6'-8"	2"	90	C	
109	2'-6"	6'-8"	2"		D	
110	2'-10"	6'-8"	2"	20	E	
111	2'-10"	6'-8"	2"		F	
112	2'-10"	6'-8"	2"		F	
113	2'-10"	6'-8"	2"		F	
114	2'-10"	6'-8"	2"		G	
115	2'-10"	6'-8"	2"		G	
116	4'-6"	6'-8"	2"		H	
117	4'-6"	6'-8"	2"		H	
201	2'-10"	6'-8"	2"	20	E	
202	2'-10"	6'-8"	2"	20	E	
203	2'-10"	6'-8"	2"	20	E	
204	2'-10"	6'-8"	2"	20	E	
205	2'-10"	6'-8"	2"	20	E	
206	2'-10"	6'-8"	2"	20	E	
207	2'-10"	6'-8"	2"	20	E	
208	2'-10"	6'-8"	2"	20	E	
209	2'-10"	6'-8"	2"	20	E	
210	2'-10"	6'-8"	2"	20	E	
211	2'-10"	6'-8"	2"		F	
212	2'-10"	6'-8"	2"		F	
213	2'-10"	6'-8"	2"		F	
214	2'-6"	6'-8"	2"		F	
215	2'-6"	6'-8"	2"		F	
216	6'-0"	6'-8"	2"		H	
217	5'-0"	6'-8"	2"		H	
218	5'-0"	6'-8"	2"		H	
219	5'-0"	6'-8"	2"		H	
220	4'-6"	6'-8"	2"		H	
221	4'-6"	6'-8"	2"		H	
222	2'-10"	6'-8"	2"		F	
223	2'-10"	6'-8"	2"		F	
224	2'-6"	6'-8"	2"		F	
225	2'-6"	6'-8"	2"		F	
226	2'-6"	6'-8"	2"		G	
227	2'-6"	6'-8"	2"		G	
228	4'-6"	6'-8"	2"		H	
229	5'-0"	6'-8"	2"		H	
230	2'-10"	6'-8"	2"		F	
231	2'-10"	6'-8"	2"		F	
232	2'-6"	6'-8"	2"		F	
233	2'-6"	6'-8"	2"		F	
234	2'-6"	6'-8"	2"		G	
235	2'-6"	6'-8"	2"		G	
236	4'-6"	6'-8"	2"		H	
237	5'-0"	6'-8"	2"		H	
238	2'-10"	6'-8"	2"		F	
239	2'-10"	6'-8"	2"		F	
240	2'-10"	6'-8"	2"		F	
241	2'-6"	6'-8"	2"		F	
242	2'-6"	6'-8"	2"		F	
243	5'-0"	6'-8"	2"		H	

DOOR SCHEDULE

DOOR	WIDTH	HEIGHT	THICKNESS	FIRE RATING	HARDWARE	U-VALUE
244	5'-0"	6'-8"	2"		H	
245	6'-0"	6'-8"	2"		H	
246	5'-0"	6'-8"	2"		H	
247	4'-6"	6'-8"	2"		H	
248	4'-6"	6'-8"	2"		H	
249	2'-10"	6'-8"	2"		F	
250	2'-10"	6'-8"	2"		F	
251	2'-6"	6'-8"	2"		F	
252	2'-6"	6'-8"	2"		G	
253	2'-6"	6'-8"	2"		H	
254	5'-0"	6'-8"	2"		H	
255	4'-6"	6'-8"	2"		H	
256	2'-10"	6'-8"	2"		F	
257	2'-10"	6'-8"	2"		F	
258	2'-6"	6'-8"	2"		F	
259	2'-6"	6'-8"	2"		F	
260	4'-6"	6'-8"	2"		H	
261	4'-0"	6'-8"	2"		H	
262	4'-0"	6'-8"	2"		H	
263	4'-0"	6'-8"	2"		H	
264	3'-0"	6'-8"	2"		F	
265	2'-10"	6'-8"	2"		F	
266	2'-6"	6'-8"	2"		F	
267	2'-6"	6'-8"	2"		G	
268	4'-0"	6'-8"	2"		H	
269	4'-0"	6'-8"	2"		H	
270	2'-10"	6'-8"	2"		F	
271	2'-6"	6'-8"	2"		F	
272	2'-6"	6'-8"	2"		G	
273	2'-6"	6'-8"	2"		G	
274	4'-0"	6'-8"	2"		H	
275	4'-0"	6'-8"	2"		H	
301	2'-10"	6'-8"	2"	20	E	
302	2'-10"	6'-8"	2"	20	E	
303	2'-10"	6'-8"	2"	20	E	
304	2'-10"	6'-8"	2"	20	E	
305	2'-10"	6'-8"	2"	20	E	
306	2'-10"	6'-8"	2"	20	E	
307	2'-10"	6'-8"	2"	20	E	
308	2'-10"	6'-8"	2"	20	E	
309	2'-10"	6'-8"	2"	20	E	
310	2'-10"	6'-8"	2"		F	
311	2'-10"	6'-8"	2"		F	
312	2'-10"	6'-8"	2"		F	
313	2'-6"	6'-8"	2"		F	
314	2'-6"	6'-8"	2"		F	
315	6'-0"	6'-8"	2"		H	
316	5'-0"	6'-8"	2"		H	
317	5'-0"	6'-8"	2"		H	
318	5'-0"	6'-8"	2"		H	
319	4'-6"	6'-8"	2"		H	
320	4'-6"	6'-8"	2"		H	
321	2'-10"	6'-8"	2"		F	
322	2'-10"	6'-8"	2"		F	
323	2'-6"	6'-8"	2"		F	
324	2'-6"	6'-8"	2"		F	
325	2'-6"	6'-8"	2"		G	
326	2'-6"	6'-8"	2"		G	
327	4'-6"	6'-8"	2"		H	
328	5'-0"	6'-8"	2"		H	
329	2'-10"	6'-8"	2"		F	

HARDWARE SCHEDULE

GROUP	LOCATION	HARDWARE	PANIC HARDWARE	CLOSER	SMOKE SEAL	LOCK TYPE
A	ENTRY					
B	EXIT	PUSH/PULL	YES	YES	YES	
C	STAIR	LEVER	YES	YES	YES	PASSAGE
D	STORAGE/MECH	LEVER	NO	NO	YES	DEADBOLT
E	UNIT ENTRY	LEVER	NO	NO	YES	DEADBOLT
F	BATH/BEDROOM	LEVER	NO	NO	NO	PRIVACY
G	CLOSET	LEVER	NO	NO	NO	PASSAGE
H	CLOSET/LAUNDRY	PULL	NO	NO	NO	PASSAGE



1 EXT WALL, CAST-IN-PLACE CONCRETE	6" CAST IN PLACE CONCRETE	EXT	INT
2 1-HR EXT WALL, FIBER CEMENT PANEL	1/4" FIBER CEMENT PANEL 1/2" FURRING @ 24" O.C. VERT WATER-RESISTANT BARRIER 1 LAYER 5/8" TYPE X GWB SHEATHING PER STRUCT 2X6 WD STUDS @ 16" O.C. R-21 BATT INSULATION W/ VAPOR RETARDER TOWARD WARM SIDE 1 LAYER 5/8" TYPE X GWB	EXT	INT
3 1-HR EXT WALL, FIBER CEMENT LAP SIDING	1/4" FIBER CEMENT PANEL, TYPE 2 1/2" FURRING @ 24" O.C. VERT WATER-RESISTANT BARRIER 1 LAYER 5/8" TYPE X GWB SHEATHING PER STRUCT 2X6 WD STUDS @ 16" O.C. R-21 BATT INSULATION W/ VAPOR RETARDER TOWARD WARM SIDE 1 LAYER 5/8" TYPE X GWB	EXT	INT
4 2-HR INTERIOR SHAFT WALL	2 LAYERS 5/8" FIRECODE C GYPSUM PANEL 2X4 WD STUDS @ 16" O.C. 1/2" RESILIENT CHANNEL 2 LAYERS 5/8" FIRECODE C GYPSUM PANEL	EXT	INT
5 1-HR INTERIOR PARTITION	1 LAYER 1/2" GWB 2X4 WD STUDS @ 16" O.C. 1 LAYER 1/2" GWB	EXT	INT
6 NON-RATED INTERIOR PARTITION	1 LAYER 1/2" GWB 2X4 WD STUDS @ 16" O.C. 1 LAYER 1/2" GWB	EXT	INT

REVISIONS

No.	Description	Date

Project Status: _____
Sheet: _____

SCHEDULES

Date: FEBRUARY 1, 2023

Project: A.2206.01
Scale: As indicated

A9.00

GENERAL STRUCTURAL NOTES

300 TYP.

DESIGN CRITERIA

- 2018 INTERNATIONAL BUILDING CODE WITH WASHINGTON STATE AMENDMENTS
- RISK CATEGORY II
- CONSTRUCTION LOADS SHALL NOT EXCEED THE DESIGN LIVE LOAD PER SQUARE FOOT

GEOTECHNICAL PARAMETERS:

MINIMUM FROST DEPTH: 18"
MAXIMUM NET BEARING: 1,500 PSF STATIC (ASSUMED)

SEISMIC DESIGN DATA:

RISK CATEGORY: II
SEISMIC IMPORTANCE FACTOR I_e : 1.0
MAPPED SPECTRAL RESPONSE ACCELERATION: S_1 : 0.396 g S_s : 1.111 g
SITE CLASS: D (DEFAULT)
DESIGN SPECTRAL RESPONSE ACCELERATION: SDS : 0.889 g $SD1$: 0.502 g
SEISMIC DESIGN CATEGORY: D
SEISMIC FORCE RESISTING SYSTEM: LIGHT FRAMED WOOD SHEAR WALLS
DESIGN BASE SHEAR: 36,005 LBS SEISMIC
85,011 LBS WIND
SEISMIC RESPONSE COEFFICIENT: 0.137
RESPONSE MODIFICATION COEFFICIENT: 6.5
ANALYSIS PROCEDURE USED: EQUIVALENT LATERAL FORCE

WIND DESIGN DATA:

ULTIMATE DESIGN WIND SPEED: 110 MPH
RISK CATEGORY: II
EXPOSURE: B (SUBURBAN)

SNOW DESIGN DATA:

GROUND SNOW LOAD: 25 PSF
SLOPED ROOF SNOW LOAD: 25 PSF
UNBALANCED ROOF SNOW LOAD: N/A
SNOW EXPOSURE FACTOR C_e : 1.0
IMPORTANCE FACTOR, I_s : 1.0
THERMAL FACTOR, C_t : 1.0

OTHER DESIGN VALUES USED:

TRUSSES: PER TRUSS MANUFACTURER
FRAMING LUMBER: STUDS: HEM FIR
STRUCTURAL LUMBER: DOUG FIR LARCH #2
GLULAM: 24F-V4 DF/DF

LIVE LOADS:

ROOF: 20 PSF
FLOOR: 40 PSF
GARAGE: 100 PSF

CRITERIA:

ALL MATERIALS, WORKMANSHIP, DESIGN, AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, AND THE INTERNATIONAL BUILDING CODE (2018 EDITION)

SPECIAL INSPECTIONS, TESTS, AND OBSERVATIONS:

- BUILDING OFFICIAL INSPECTIONS SHALL BE PERFORMED IN ACCORDANCE WITH IBC SECTION 110:
- ANCHORAGE
-- INSTALLATION OF POST INSTALLED ANCHORS: PERIODIC
- WOOD
- PERIODIC INSPECTIONS:
-- ANCHOR BOLTS, HOLD DOWNS, DRAG STRUT CONNECTIONS, NAILING SIZE AND SPACING
-- VERIFICATION OF MOISTURE CONTENT OF STUDS, PLATES, BEAMS, AND JOISTS
-- PREFABRICATED PANELIZED SHEAR WALL CONNECTIONS
-- 2X AND 3X BOTTOM PLATES AND PLATE WASHERS
- CONTINUOUS INSPECTION:
-- FIELD GLUING OPERATIONS

- STRUCTURAL OBSERVATIONS, WHEN REQUIRED BY THE PROVISIONS OF IBC CHAPTER 17, THE OWNER OR OWNER'S AUTHORIZED AGENT SHALL EMPLOY THE EOR TO PERFORM STRUCTURAL OBSERVATIONS. STRUCTURAL OBSERVATIONS DO NOT INCLUDE OR WAIVE THE RESPONSIBILITY FOR BUILDING DEPARTMENT INSPECTIONS OR THIRD PARTY SPECIAL INSPECTIONS, OR ANY OTHER INSPECTIONS REQUIRED BY CODE.

GENERAL:

LINES SHOWN ON DRAWINGS MAY BE ASSOCIATED WITH CAD MODELING AND MAY NOT REPRESENT REQUIRED OR ALLOWED JOINTS. SEE DETAILS FOR CLARIFICATION ON REQUIRED AND ALLOWED JOINTS. ALL FASTENERS INSTALLED IN TREATED LUMBER SHALL BE HOT-DIP GALVANIZED.

VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCH DRAWINGS, DO NOT SCALE PLANS

COORDINATE CURBS AND ELECTRICAL & MECHANICAL FLOOR OPENINGS AND PENETRATIONS WITH ARCHITECTURAL DRAWINGS

MOISTURE PROOF ALL BELOW GRADE WALLS PER ARCH SPECIFICATIONS

VERIFY POINT LOADS ARE SUPPORTED CONTINUOUSLY THROUGH FLOORS TO FTG

ALL EXTERIOR WALLS TO BE 2X6 @ 16" O.C., TYP UNO. ALL INTERIOR BEARING AND SHEAR WALLS TO BE 2X4 @ 16" O.C. UNO.

DEFERRED SUBMITTALS:

ALL PRE-ENGINEERED, PRE-FABRICATED, AND PRE-MANUFACTURED PRODUCTS DESIGNED BY OTHERS SHALL BE DESIGNED FOR ALL APPLICABLE LOADING AND DEFLECTIONS OUTLINED ABOVE. DESIGN SHALL CONFORM TO THE PROJECT DRAWINGS, REFERENCE STANDARDS, AND THE GOVERNING CODE.

DRAWINGS, CALCULATIONS, AND PRODUCT DATA FOR THE DESIGN AND FABRICATIONS OF DEFERRED SUBMITTAL ITEMS SHALL BEAR THE SEAL AND SIGNATURE OF A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF WASHINGTON WHO IS RESPONSIBLE FOR THE DESIGN OF THE ITEMS. DEFERRED SUBMITTALS SHALL BE SUBMITTED TO THE ARCHITECT/EOB AND BUILDING AND BUILDING DEPARTMENT AS REQUIRED FOR REVIEW PRIOR TO FABRICATION. EOB REVIEW IS FOR GENERAL CONFORMANCE WITH THE DESIGN CRITERIA AND PROJECT DRAWINGS. ALL NECESSARY HARDWARE, ANCHORAGE, AND BRACING SPECIFICATION SHALL BE FURNISHED BY THE MANUFACTURER. THE DESIGN AND CONNECTION TO THE PRIMARY STRUCTURE IS THE RESPONSIBILITY OF THE ENGINEER IN CHARGE OF THE DEFERRED SUBMITTAL ITEMS.

THE FOLLOWING ITEMS HAVE BEEN DEFERRED FOR SUBMITTAL TO THE BUILDING OFFICIAL UNTIL AFTER ISSUANCE OF THE BUILDING PERMIT:

- PREFABRICATED METAL-PLATE-CONNECTED WOOD TRUSSES

REINFORCED CONCRETE:

1. REINFORCING STEEL SHALL BE DETAILED (INCLUDING HOOKS AND BENDS) IN ACCORDANCE WITH ACI 315-99 AND 318-14. LAP ALL REINFORCEMENTS IN ACCORDANCE WITH THE "REINFORCING SPLICE AND DEVELOPMENT LENGTH SCHEDULE" - SEE THIS SHEET. PROVIDE CORNER BARS AT ALL WALL INTERSECTIONS.
2. NO BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE SHALL BE FIELD BENT UNLESS SPECIFICALLY DETAILED OR APPROVED BY THE STRUCTURAL ENGINEER.
3. CONCRETE PROTECTION FOR REINFORCING STEEL SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED:
3.1. FOOTINGS AND OTHER UNIFORMED SURFACES CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH 3"
3.2. FORMED SURFACES EXPOSED TO EARTH (WALLS BELOW GRADE), WATER OR WEATHER (#6 BARS OR SMALLER) 2"

ABBREVIATIONS:

AL - ALUMINUM
CHK - CHECKERED
CL - CENTERLINE
CLR - CLEAR
EA - EACH
EF - EACH FACE
FB - FLAT BAR
GALV - GALVANIZED
HORZ - HORIZONTAL
LLV - LONG LEG VERT
O.C. - ON CENTER
PL - PLATE
RB - ROUND BAR
RST - REINF. STEEL
SST - STAINLESS STEEL
T&B - TOP & BOTTOM
VERT - VERTICAL
PIJF - PREMOLDED JOINT FILLER

FRAMING NOTES:

- ALL FRAMING MEMBERS AND BLOCKING SHALL BE 2" NOMINAL OR GREATER. ALL JOINTS IN SHEATHING SHALL OCCUR OVER AND BE FASTENED TO COMMON FRAMING MEMBERS OR COMMON BLOCKING.
- FOR BUNDLED END STUDS, STITCH NAIL TOGETHER WITH FASTENER DIAMETER AND SPACING TO MATCH THE BOTTOM PLATE NAILING TO RIM.
- ALL NAILS ARE COMMON, UNLESS NOTED OTHERWISE. NAILS SHALL BE DRIVEN WITH THE HEAD OF THE NAIL FLUSH WITH THE SURFACE OF THE SHEATHING. OTHER APPROVED FASTENERS SHALL BE DRIVEN AS REQUIRED FOR PROPER INSTALLATION OF THE FASTENER.
- FOUNDATION ANCHOR BOLTS SHALL HAVE A GALVANIZED STEEL PLATE WASHER UNDER EACH NUT NOT LESS THAN 0.229"x3"x3" IN SIZE. PROVIDE A MINIMUM 6" ANCHOR BOLT EMBEDMENT INTO THE FOUNDATION. PROVIDE AN ANCHOR BOLT AT EACH END OF EACH SILL PLATE WITH AN END DISTANCE OF 6".
- ALL SHEAR WALL PANELS SHALL NOT BE LESS THAN 4'x8", EXCEPT AT BOUNDARIES AND CHANGES IN FRAMING. ALL EDGES OF ALL PANELS SHALL BE SUPPORTED BY AND FASTENED TO FRAMING MEMBERS OR BLOCKING.
- NAILS SHALL BE LOCATED AT LEAST 3/8" FROM THE PANEL EDGES. REFERENCE SCHEDULE ABOVE AND PLAN FOR EDGE NAIL SPACING. NAILS AT THE INTERMEDIATE FRAMING MEMBERS SHALL BE THE SAME SIZE AS NAILS SPECIFIED FOR THE PANEL EDGE NAILING. THE MAXIMUM NAIL SPACING AT INTERMEDIATE FRAMING MEMBERS IS 12" O.C. THE MAXIMUM STUD SPACING IS 16" O.C.
- ALL FRAMING CLIPS AND HARDWARE MUST BE INSTALLED PER THE MANUFACTURER'S INSTALLATION INSTRUCTIONS TO OBTAIN THE MAXIMUM HARDWARE CAPACITY.
- EDGE NAILING IS REQUIRED IN ALL HOLDOWN POSTS. EDGE NAILING IS REQUIRED TO EACH STUD USED IN BUILT UP HOLDOWN POSTS.
- NAILS AT ALL PANEL EDGES SHALL BE STAGGERED.
- PROVIDE HOT DIPPED GALVANIZED NAILS AND FRAMING CLIPS AT PRESSURE TREATED LUMBER
- TYPICAL TOP PLATE SPLICE: PROVIDE 48" LAP W/ 16d NAILS @ 6" O.C. STAGGERED
- SUPPORT ALL BEAMS WITH (2) 2X STUDS MINIMUM, UNO.
- ALL DUCTS, CHASES, PIPE, AND CONDUIT OPENINGS SHALL BE PER ARCHITECTURAL, MECHANICAL, PLUMBING, & ELECTRICAL DRAWINGS. CONTACT EOR FOR APPROVAL OF ANY OPENING IN FLOOR SHEATHING OR FRAMING MEMBERS NOT SHOWN IN THE STRUCTURAL DRAWINGS. REFER TO [SHEET] FOR ACCEPTABLE OPENINGS IN FRAMING
- FULLY BLOCK FLOOR CAVITY AT ALL POINT LOADS. VERIFY POINT LOADS ARE SUPPORTED CONTINUOUSLY THROUGH FLOORS TO THE FOUNDATION

FASTENING SCHEDULE (IRC R602.3(1))		
BUILDING ELEMENTS	FASTENER TYPE & QTY	SPACING & LOCATION
ROOF SCHEDULE		
1. BLOCKING BETWEEN CEILING JOISTS OR RAFTERS TO TOP PLATE	(3) 8d COMMON (2 1/2" X 0.131")	TOE NAIL
2. CEILING JOISTS TO TOP PLATE	(3) 8d COMMON (2 1/2" X 0.131")	PER JOIST, TOE NAIL
3. CEILING JOISTS NOT ATTACHED TO PARALLEL, LAPS OVER PARTITIONS	(3) 16d COMMON (3 1/2" X 0.162")	FACE NAIL
5. RAFTER OR ROOF TRUSS TO TOP PLATE	(3) 16d BOX (3 1/2" X 0.135")	(2) TOE NAILS ON ONE SIDE, 1 TOE NAIL ON OPPOSITE SIDE
6. ROOF RAFTERS TO RIDGE, VALLEY/HIP RAFTER/ROOF RAFTER TO RIDGE BEAM	(4) 16d BOX (3 1/2" X 0.135") (3) 16d BOX (3 1/2" X 0.135")	TOE NAIL END NAIL
WALL SCHEDULE		
7. STUD TO STUD	10d BOX (3" X 0.128")	16" O.C. FACE NAIL
8. BUILT UP HEADER (2" TO 2" HEADER W/ SPACER)	16d BOX (3 1/2" X 0.135")	12" O.C EACH EDGE FACE NAIL
9. CONTINUOUS HEADER TO STUD	(4) 8d COMMON (2 1/2" X 0.131")	TOE NAIL
10. TOP PLATE TO TOP PLATE	10d BOX (3" X 0.128")	12" O.C. FACE NAIL
11. DOUBLE TOP PLATE SPLICE	(12) 10d BOX (3" X 0.128")	FACE NAIL, EA SIDE OF JOINT (24" SPLICE)
12. BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST, OR BLOCKING	16d BOX (3 1/2" X 0.135")	12" O.C. FACE NAIL
13. TOP/BOT PLATE TO STUD	(4) 8d COMMON (2 1/2" X 0.131") (3) 10d BOX (3" X 0.128")	TOE NAIL END NAIL
14. TOP PLATES, LAPS AT CORNERS/INTERSECTIONS	(3) 10d BOX (3" X 0.128")	FACE NAIL
FLOOR SCHEDULE		
15. JOIST TO SILL, TOP PLATE OR GIRDER	(3) 8d COMMON (2 1/2" X 0.131")	TOE NAIL
16. RIM / BAND JOIST OR BLOCKING TO SILL/TOP PLATE	8d COMMON (2 1/2" X 0.131")	6" O.C. TOE NAIL
17. LEDGER SUPPORTING JOISTS OR RAFTERS	(4) 16d BOX (3 1/2" X 0.135")	EA JOIST/RAFTER, FACE NAIL
18. BRIDGING OR BLOCKING TO JOIST	(2) 8d COMMON (2 1/2" X 0.131")	EA END, TOE NAIL
18. SHEAR WALLS	PER PLANS	PER PLANS
19. ROOF & FLOOR DIAPHRAGMS	PER PLANS	PER PLANS

REINFORCEMENT SPLICE AND DEVELOPMENT SCHEDULE					
	Ld, MINIMUM STRAIGHT DEVELOPMENT LENGTHS			MINIMUM LAP SPLICE LENGTHS	
BAR	MINIMUM	TOP BARS	OTHERWISE	CLASS A	CLASS B
#3	19"	25"	29"	Ld	1.3xLd
#4	24"	32"	36"	Ld	1.3xLd
#5	29"	38"	43"	Ld	1.3xLd
#6	42"	55"	63"	Ld	1.3xLd

*"MINIMUM" IF:
MIN COVER OF ONE BAR ϕ AND MIN SPACING OF TWO BAR DIAMETERS
MIN COVER ONE ϕ , MIN SPACING OF ONE BAR ϕ , AND TIES OR STIRRUPS
LESS THAN 12" OF FRESH CONCRETE BELOW HORIZONTAL BARS
*TOP BARS" IF:
MEETS CRITERIA FOR MIN EXCEPT 12" OR MORE FRESH CONC BELOW
*OTHERWISE" IF:
DOES NOT MEET REQUIREMENTS FOR MIN DEVELOPMENT LENGTH
*CLASS A" IF:
ONLY HALF OF BARS LAPPED AT ONE LOCATION AND
TWICE THE REINFORCING FOR TENSION IS PROVIDED
*CLASS B" IF:
LAP SPLICES DO NOT MEET CLASS A REQUIREMENTS



SUNRISE GROVE APARTMENTS

4726 GROVE ST
MARYSVILLE, WA 98270

Project number
Date December 9, 2022
Drawn by JMC
Checked by BS

No.	Date	Description
1		
2		

Jurisdiction
Stamps

STRUCTURAL
NOTES

S01

Scale 1/8" = 1'-0"



SUNRISE GROVE APARTMENTS
4726 GROVE ST
MARYSVILLE, WA 98270

Project number
 Date December 9, 2022
 Drawn by JMC
 Checked by BS

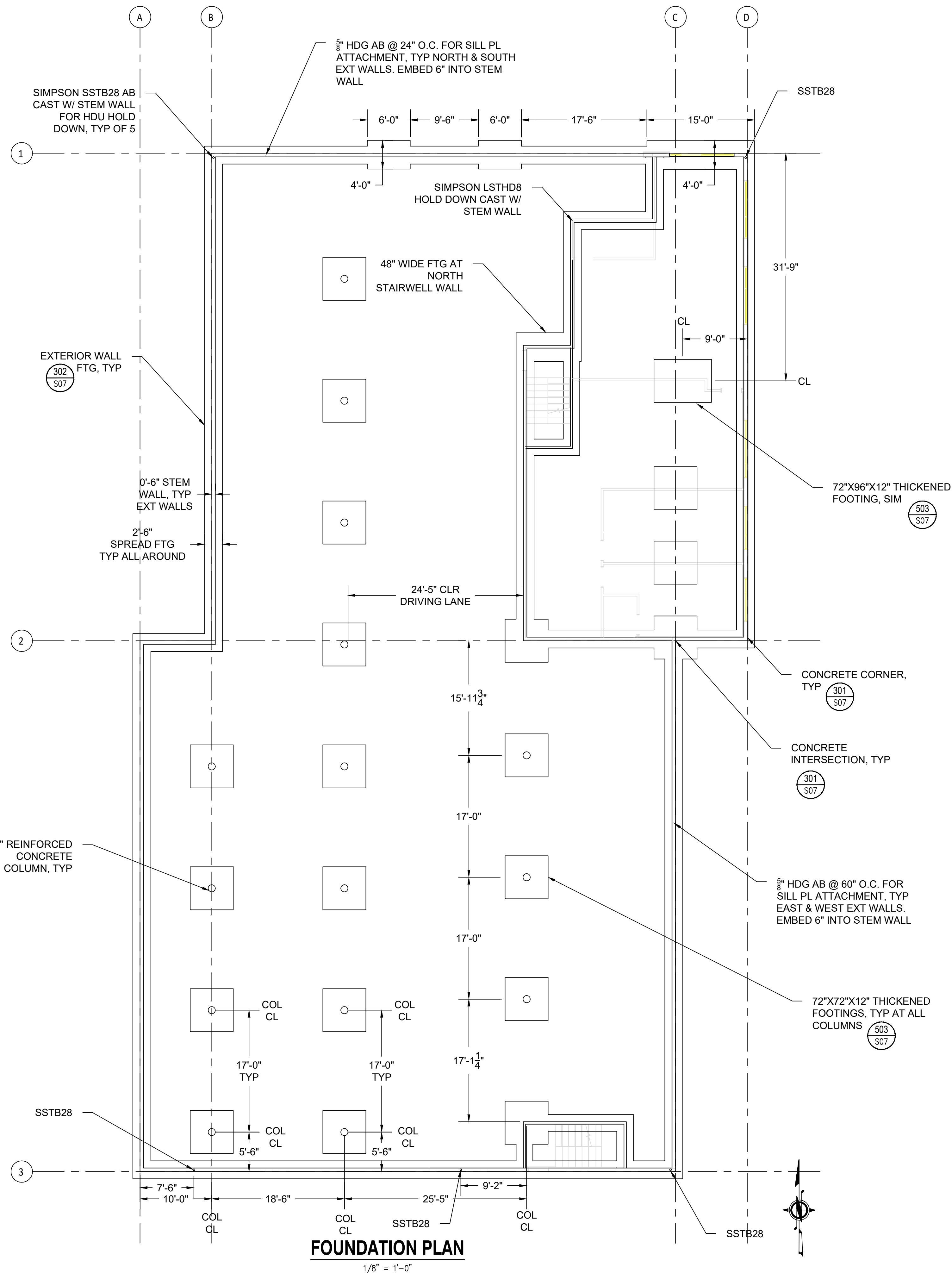
No.	Date	Description
1		
2		

Jurisdiction
 Stamps

FOUNDATION PLAN AND
 FLOOR FRAMING

S02

Scale AS SHOWN





SUNRISE GROVE APARTMENTS

4726 GROVE ST
MARYSVILLE, WA 98270

Project number
Date December 9, 2022
Drawn by JMC
Checked by BS

Revisions		
No.	Date	Description
1		
2		

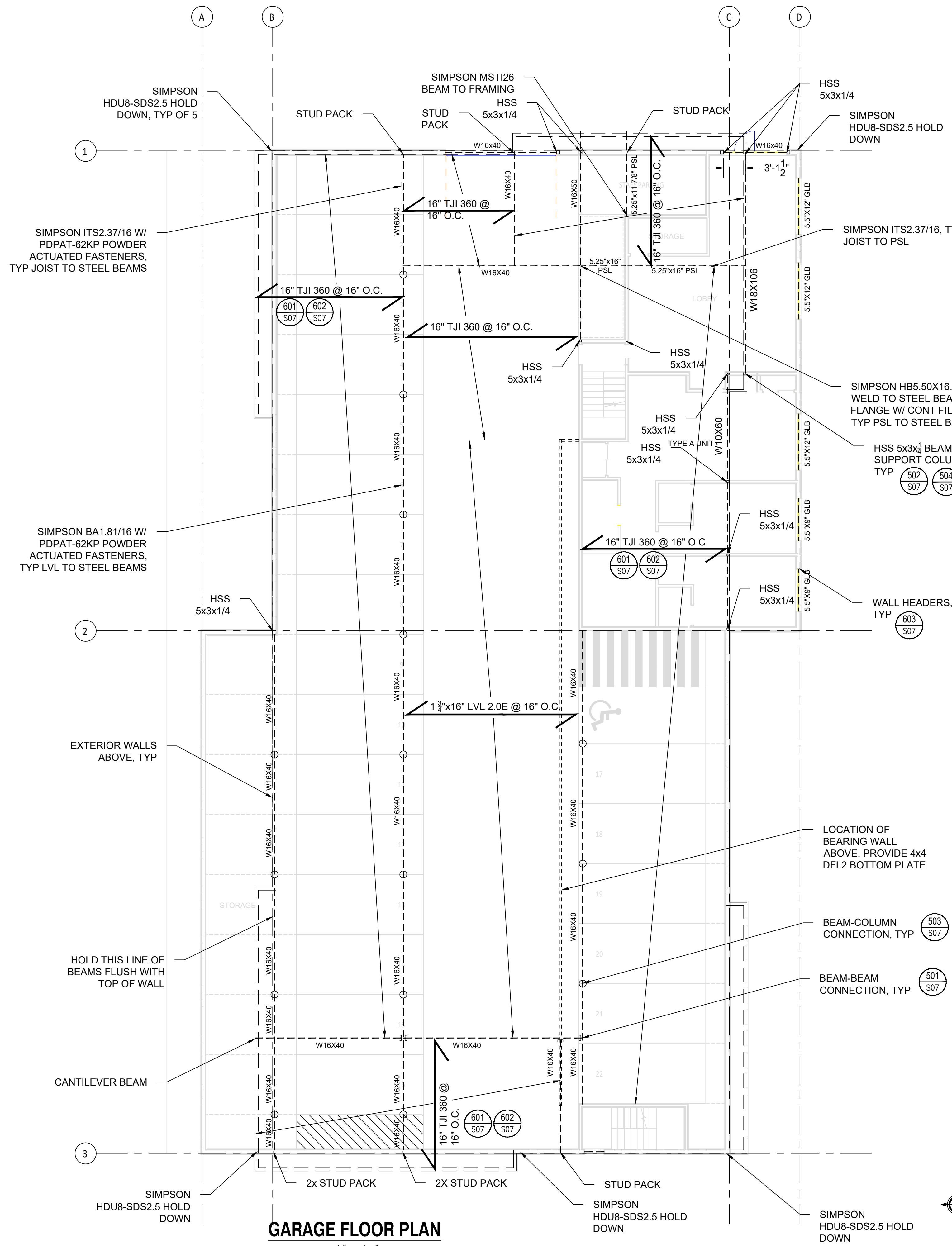
Jurisdiction Stamps

GARAGE FLOOR PLAN

S03

Scale AS SHOWN

1ST FLOOR SHEAR WALL SCHEDULE:
- 3/8" SHEATHING GRADE PANELS
- 8d NAILS @ 3" O.C. AT PANEL EDGES,
- 8d NAILS @ 12" O.C. FIELD
- TYP ALL EXT WALLS



GARAGE FLOOR PLAN

1/8" = 1'-0"





SUNRISE GROVE APARTMENTS
4726 GROVE ST
MARYSVILLE, WA 98270

Project number
 Date December 9, 2022
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 Checked by BS

Revisions		
No.	Date	Description
1		
2		

Jurisdiction
 Stamps

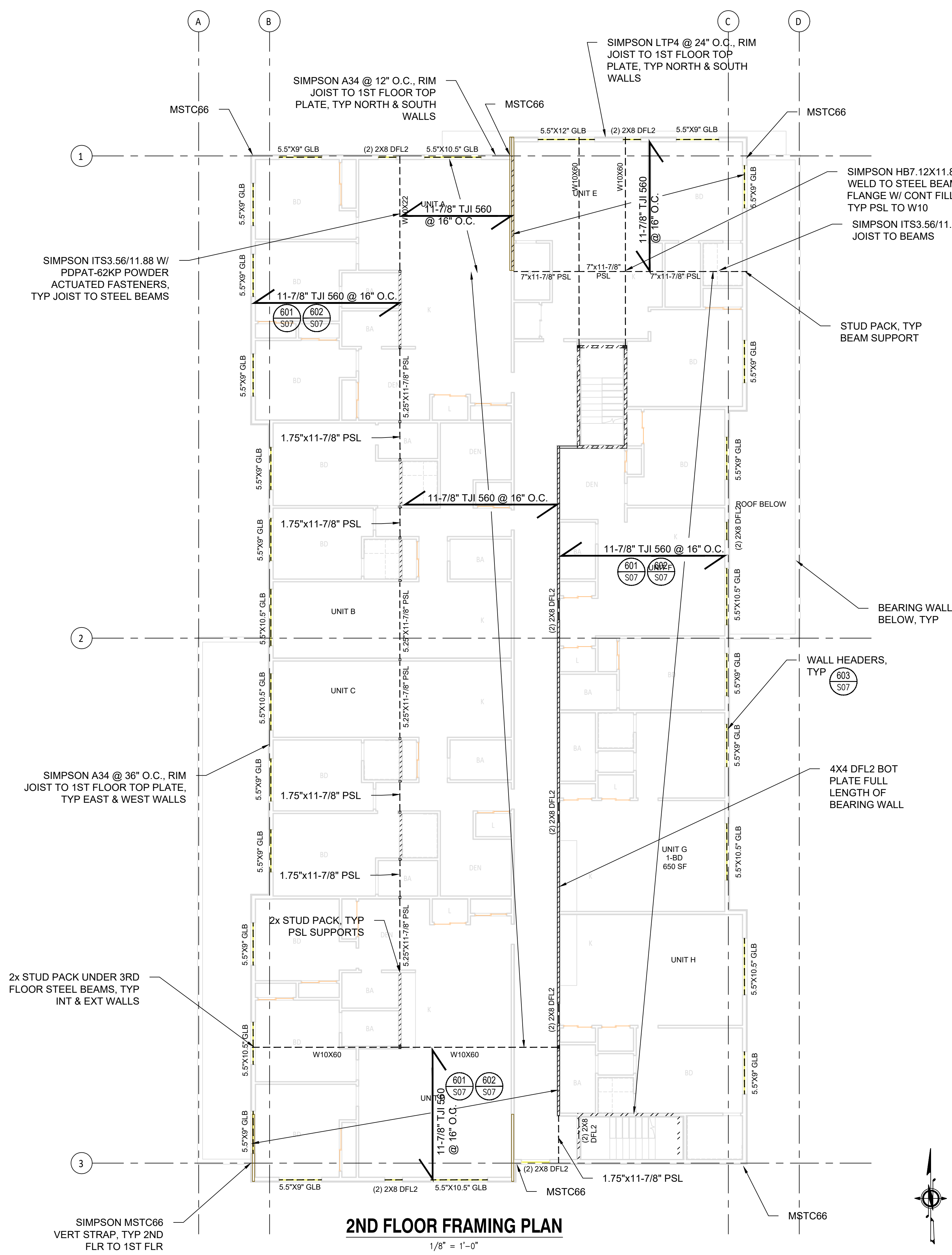
2ND FLOOR PLAN

S04

Scale AS SHOWN

2ND FLOOR SHEAR WALL SCHEDULE:
 - 3/8" SHEATHING GRADE PANELS
 - 8d NAILS @ 4" O.C. AT PANEL EDGES,
 - 8d NAILS @ 12" O.C. FIELD
 - TYP ALL EXT WALLS

2ND FLOOR FRAMING NOTES:
 - 2ND FLOOR HEADERS AND OVERHEAD BEAMS SHOWN
 - SUPPORT ALL 3RD FLOOR BEAMS WITH 2X STUD PACKS AT INTERIOR AND EXTERIOR WALLS.
 - SECURE BEAMS TO SUPPORTS W/ 3/4"x3" LAG SCREWS, CENTERED IN SUPPORT STUDS, EA SIDE OF BEAM WEB



2ND FLOOR FRAMING PLAN
 1/8" = 1'-0"





SUNRISE GROVE APARTMENTS

**4726 GROVE ST
MARYSVILLE, WA 98270**

Project number
Date December 9, 2022
Drawn by JMC
Checked by BS

Revisions	No.	Date	Description
	1		
	2		

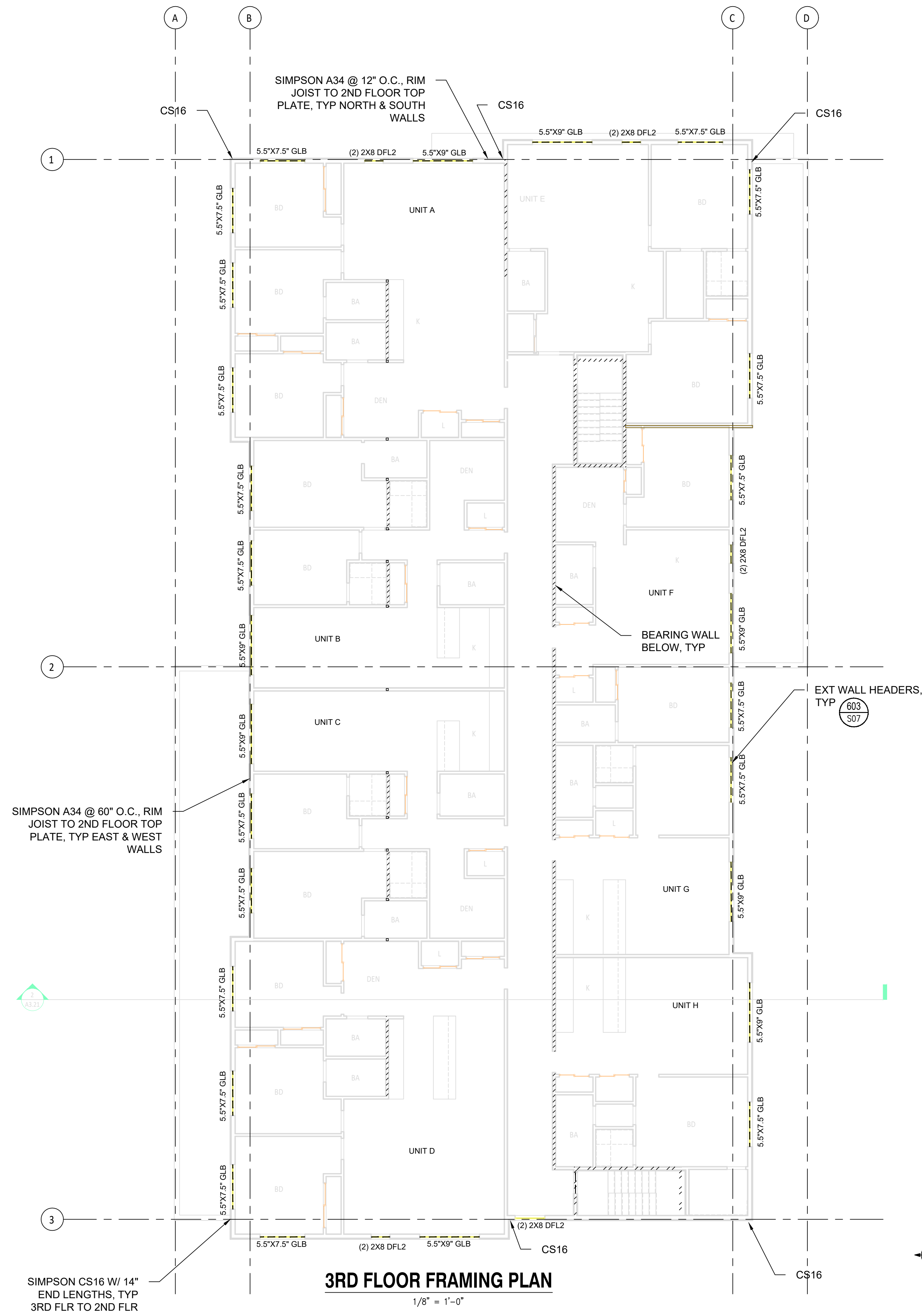
Jurisdiction
Stamps

3RD FLOOR PLAN

S05

Scale AS SHOWN

3RD FLOOR SHEAR WALL SCHEDULE:
 - 3/8" SHEATHING GRADE PANELS
 - 8d NAILS @ 6" O.C. AT PANEL EDGES,
 - 8d NAILS @ 12" O.C. FIELD
 - TYP ALL EXT WALLS



3RD FLOOR FRAMING PLAN
1/8" = 1'-0"



SUNRISE GROVE APARTMENTS
4726 GROVE ST
MARYSVILLE, WA 98270

Project number

Date December 9, 2022

Drawn by JMC

Checked by BS

Revisions

No.	Date	Description
1		
2		

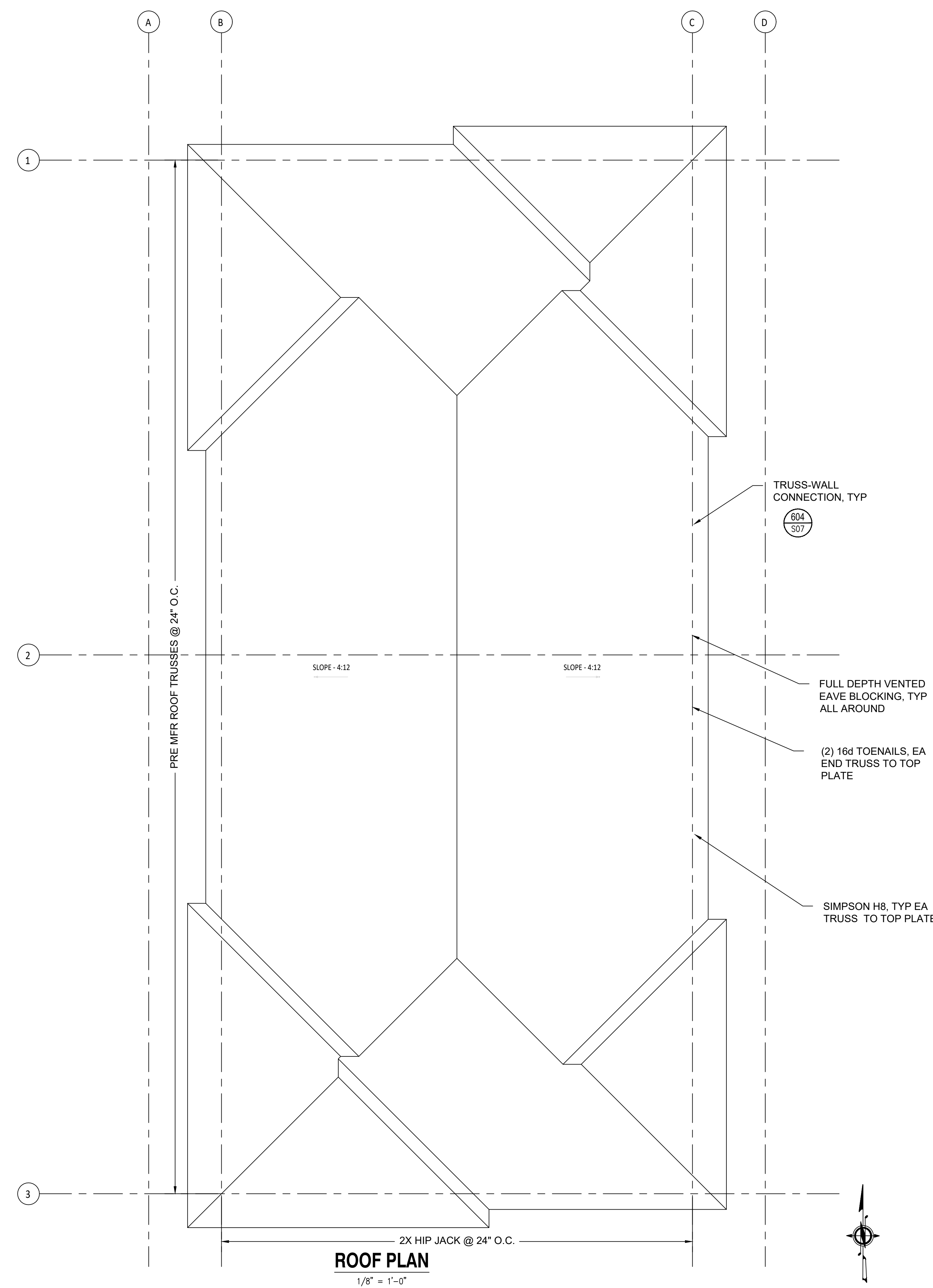
Jurisdiction Stamps

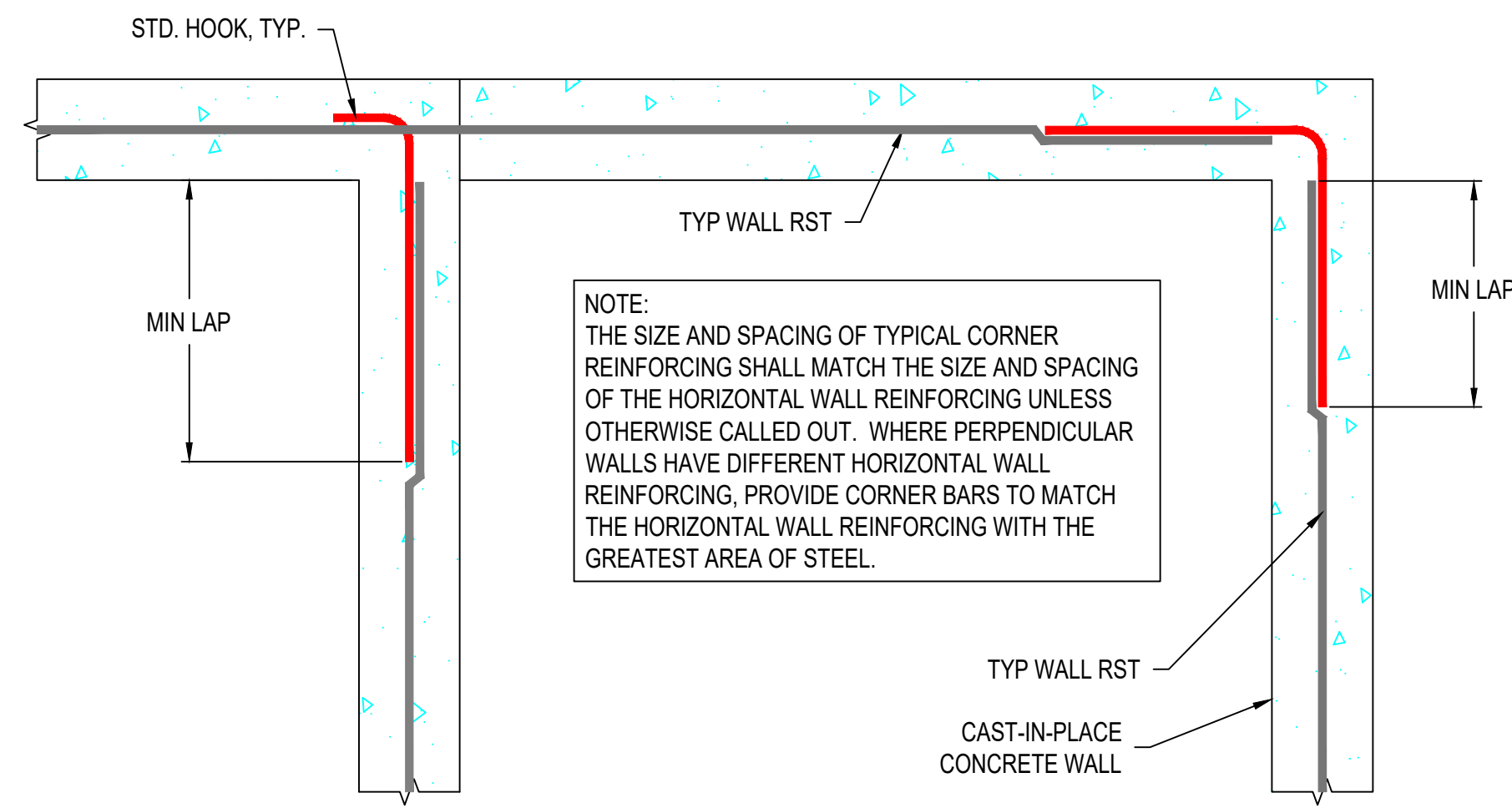
ROOF PLAN

S06

Scale AS SHOWN

ROOF DIAPHRAGM SCHEDULE:
 - 15/32" SHEATHING GRADE PANELS
 - 8d NAILS @ 6" O.C. OVER BLOCKING AND AT SUPPORTED PANEL EDGES,
 - 8d NAILS @ 12" O.C. FIELD



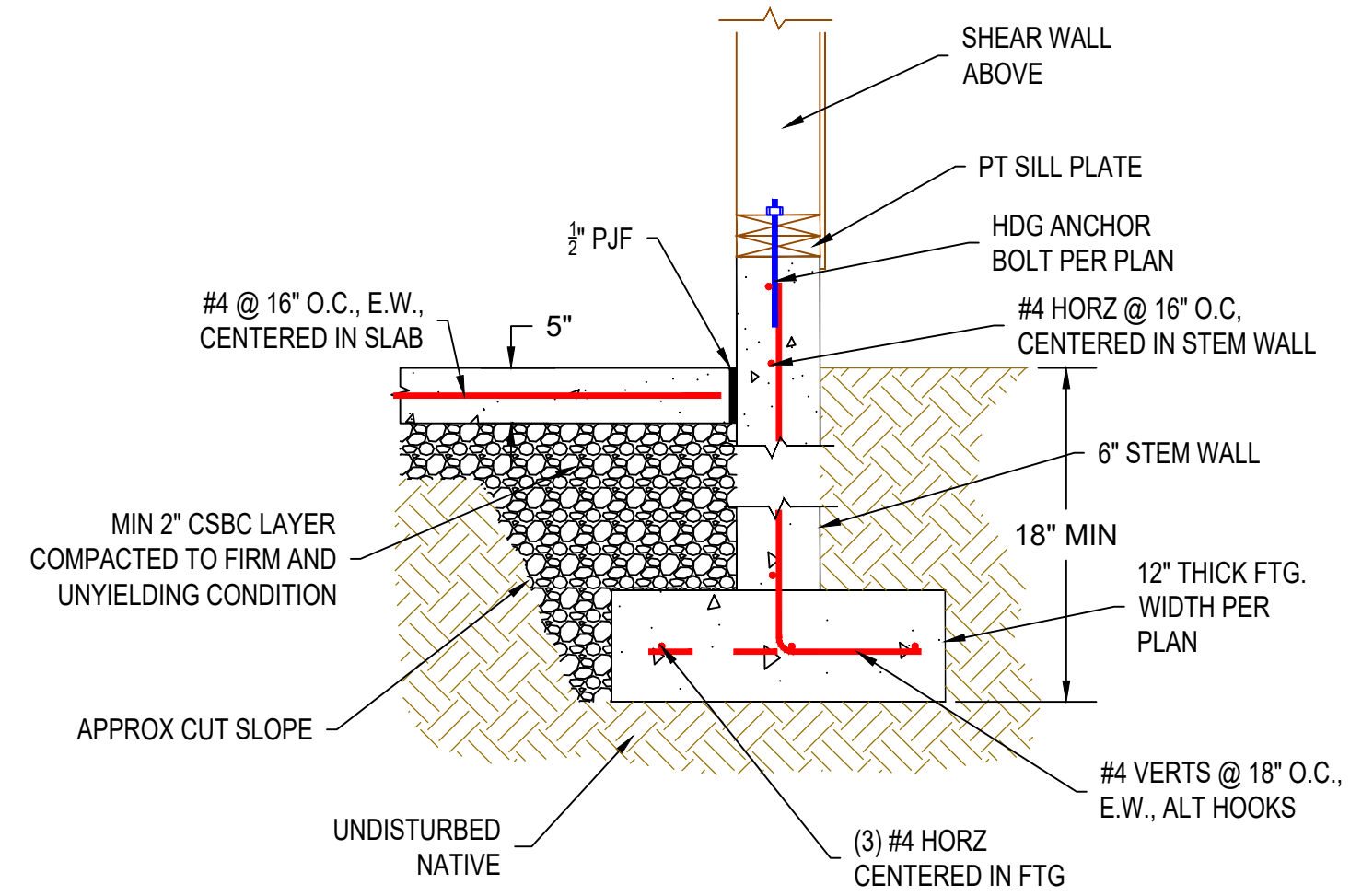


CONCRETE WALL INTERSECTION / CORNER

1" = 1'-0"

301
TYP

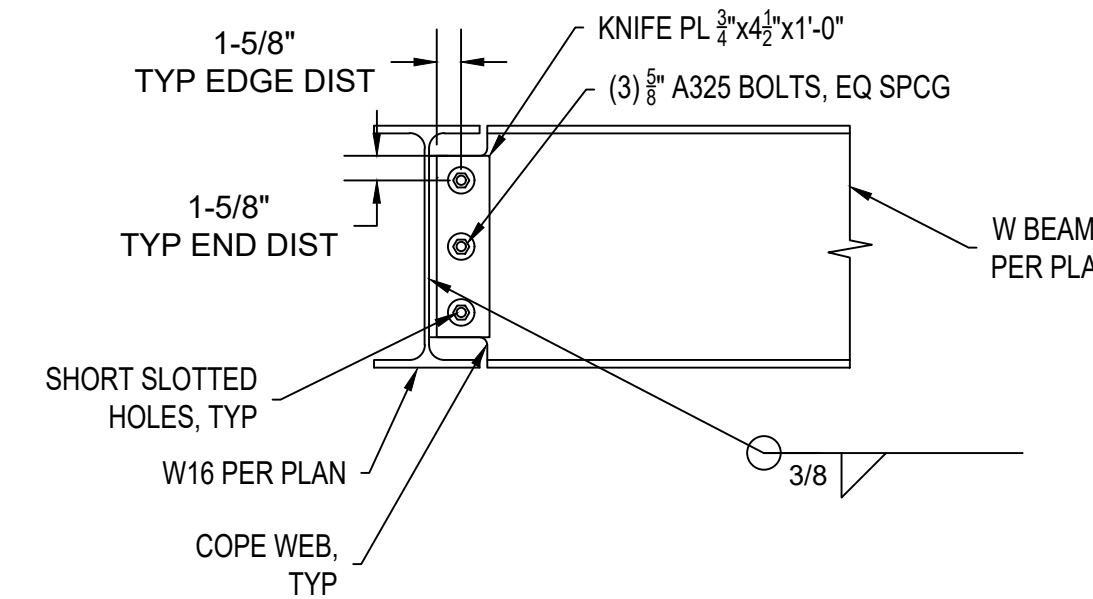
NOTE:
THE SIZE AND SPACING OF TYPICAL CORNER REINFORCING SHALL MATCH THE SIZE AND SPACING OF THE HORIZONTAL WALL REINFORCING UNLESS OTHERWISE CALLED OUT. WHERE PERPENDICULAR WALLS HAVE DIFFERENT HORIZONTAL WALL REINFORCING, PROVIDE CORNER BARS TO MATCH THE HORIZONTAL WALL REINFORCING WITH THE GREATEST AREA OF STEEL.



EXTERIOR WALL FOOTING

1" = 1'-0"

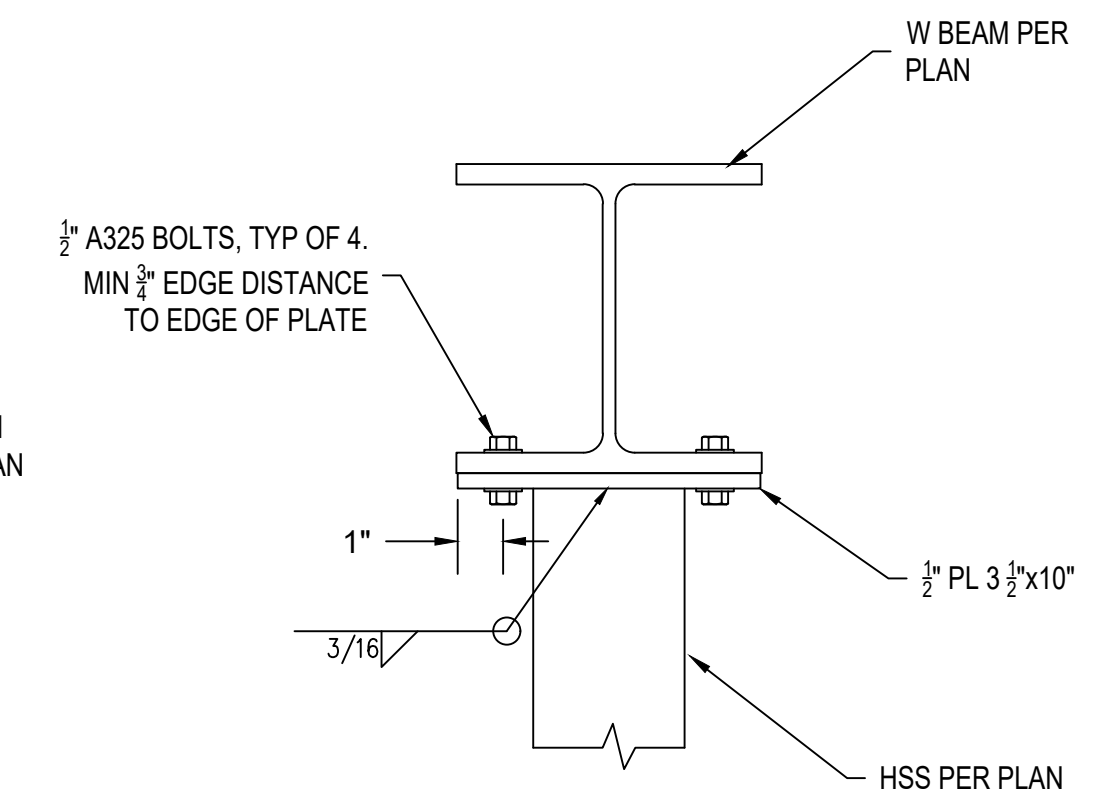
302
TYP



BEAM/BEAM CONNECTION

1" = 1'-0"

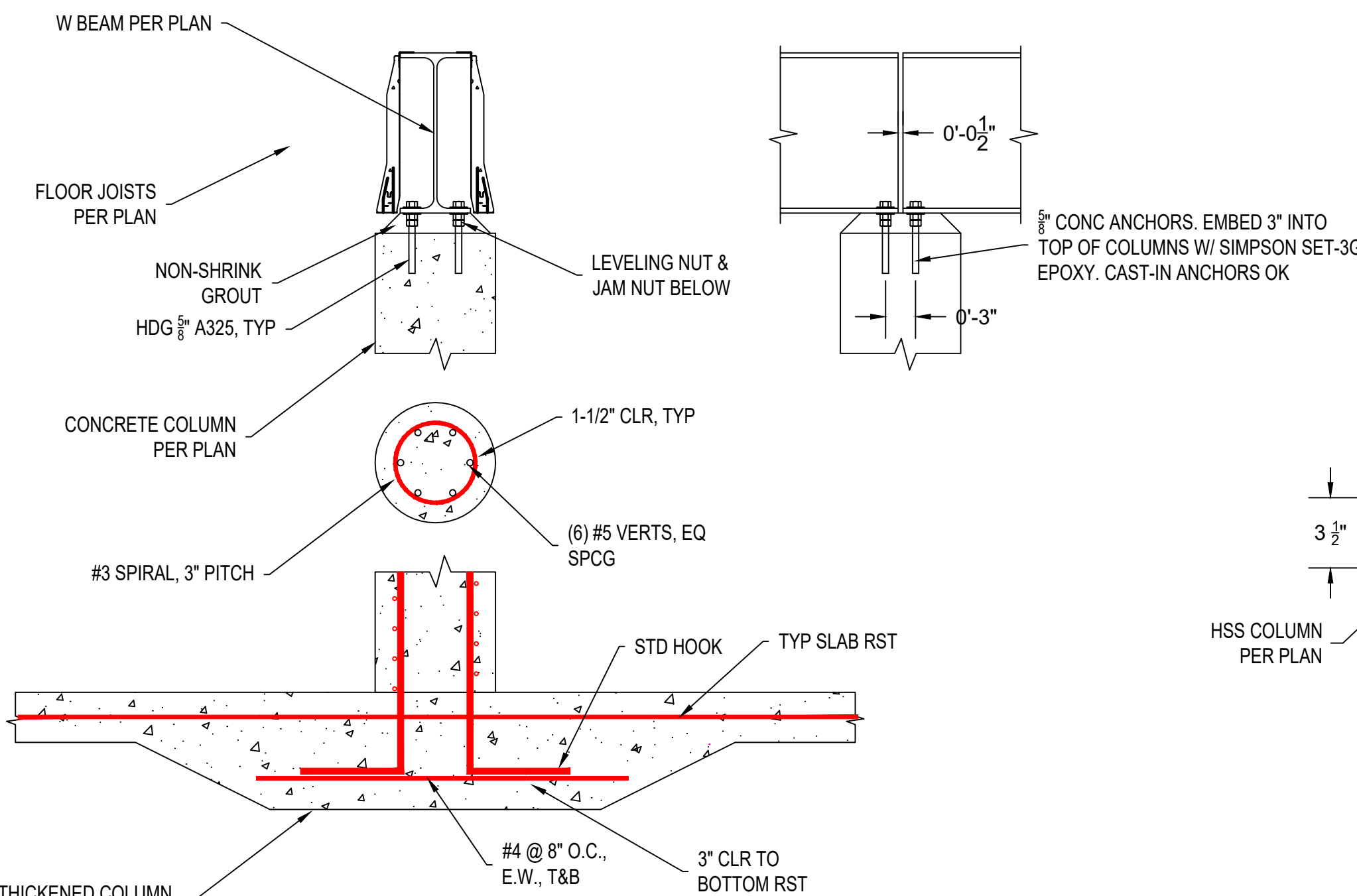
501
TYP



STEEL COLUMN CONNECTION

2" = 1'-0"

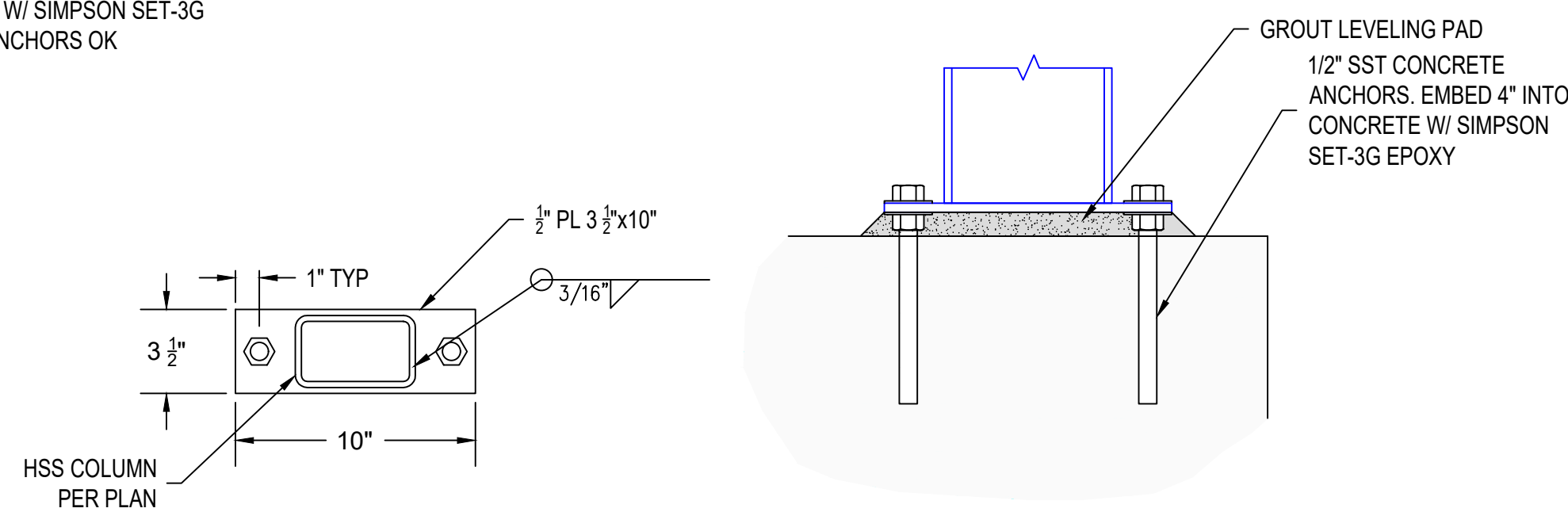
502
TYP



BEAM/COLUMN CONNECTION

1" = 1'-0"

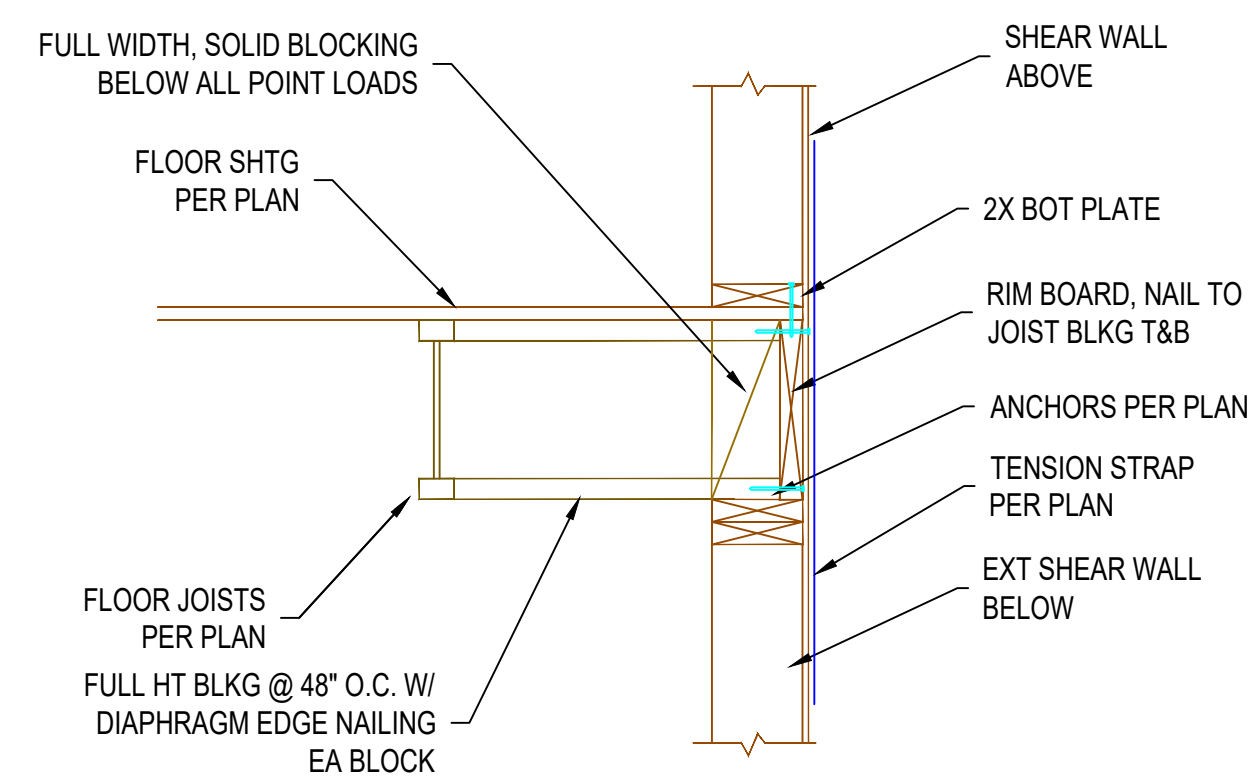
503
TYP



STEEL COLUMN BASE CONNECTION

2" = 1'-0"

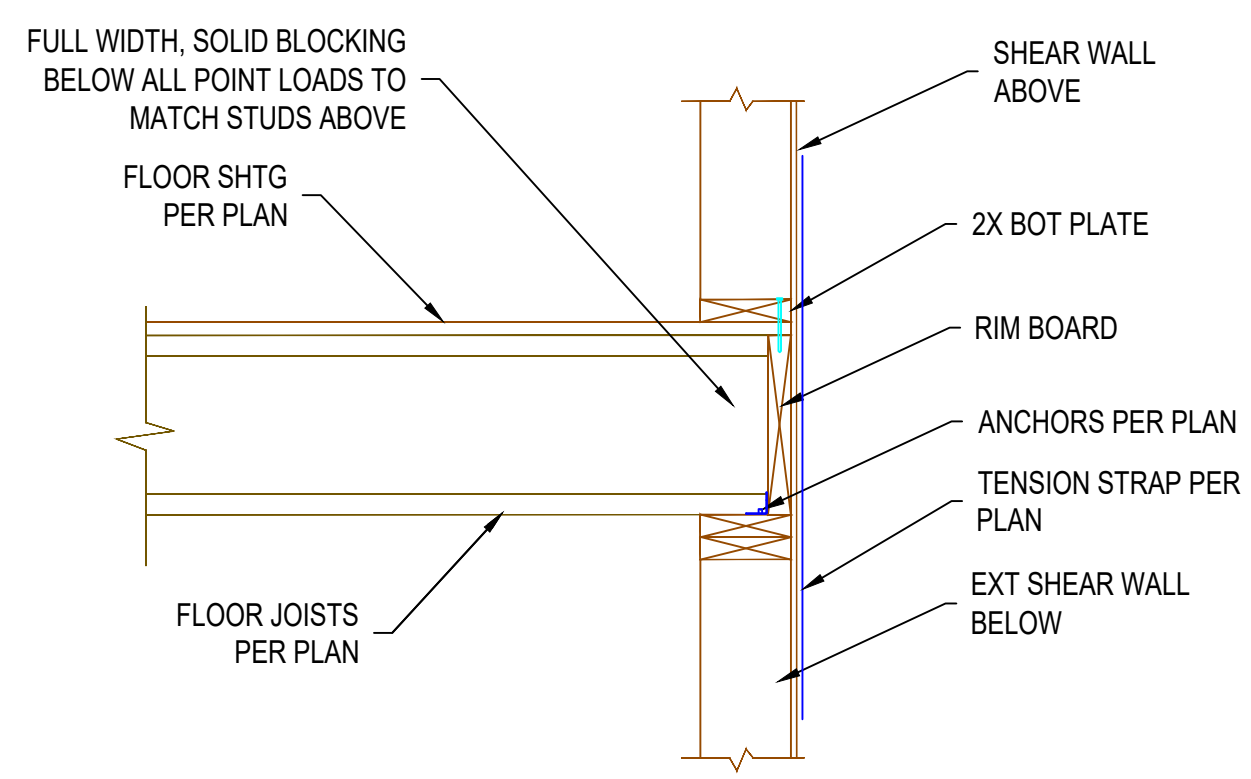
504
TYP



JOISTS PARALLEL TO WALL

1" = 1'-0"

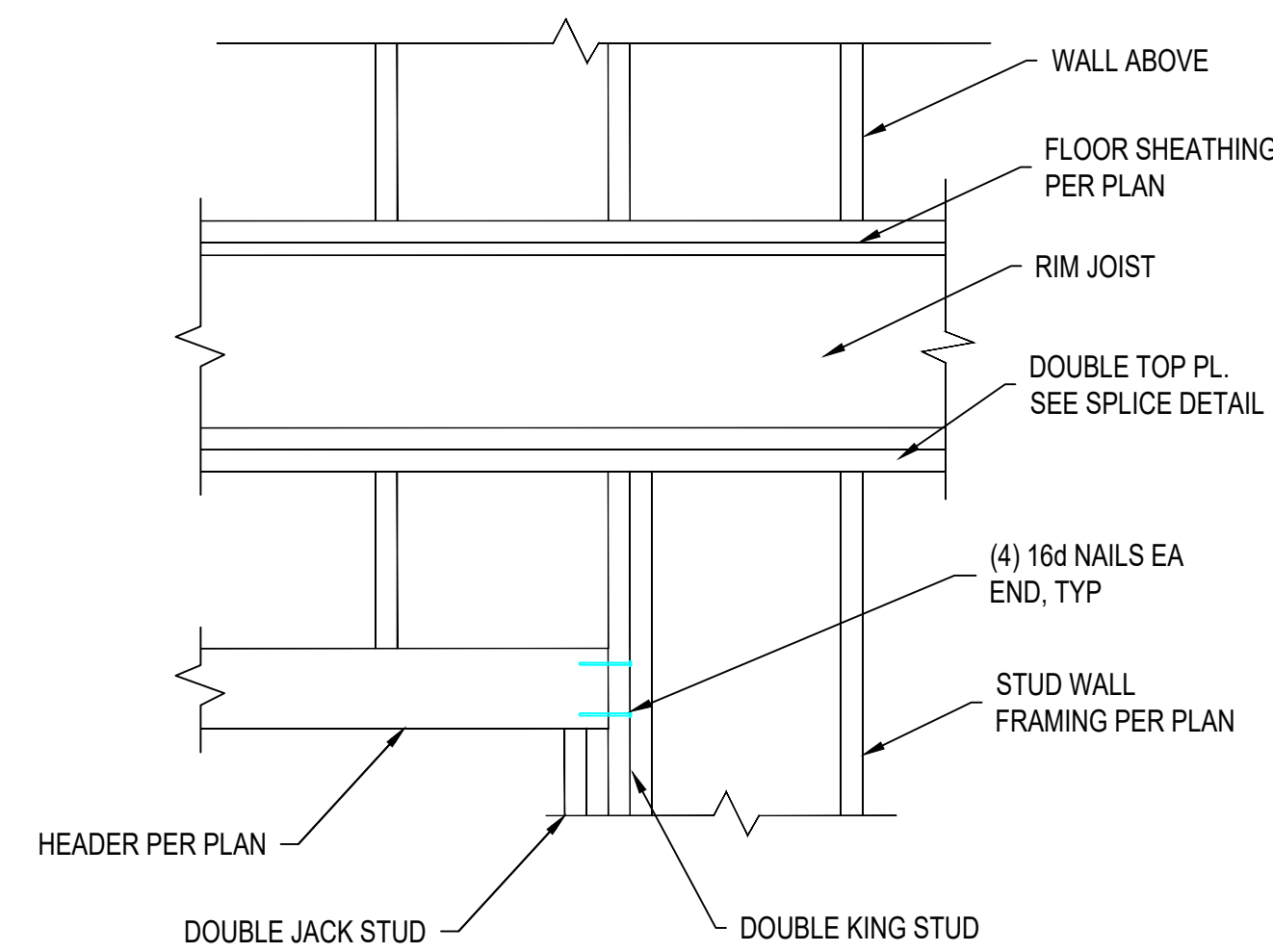
601
TYP



JOISTS PERPENDICULAR TO WALL

1" = 1'-0"

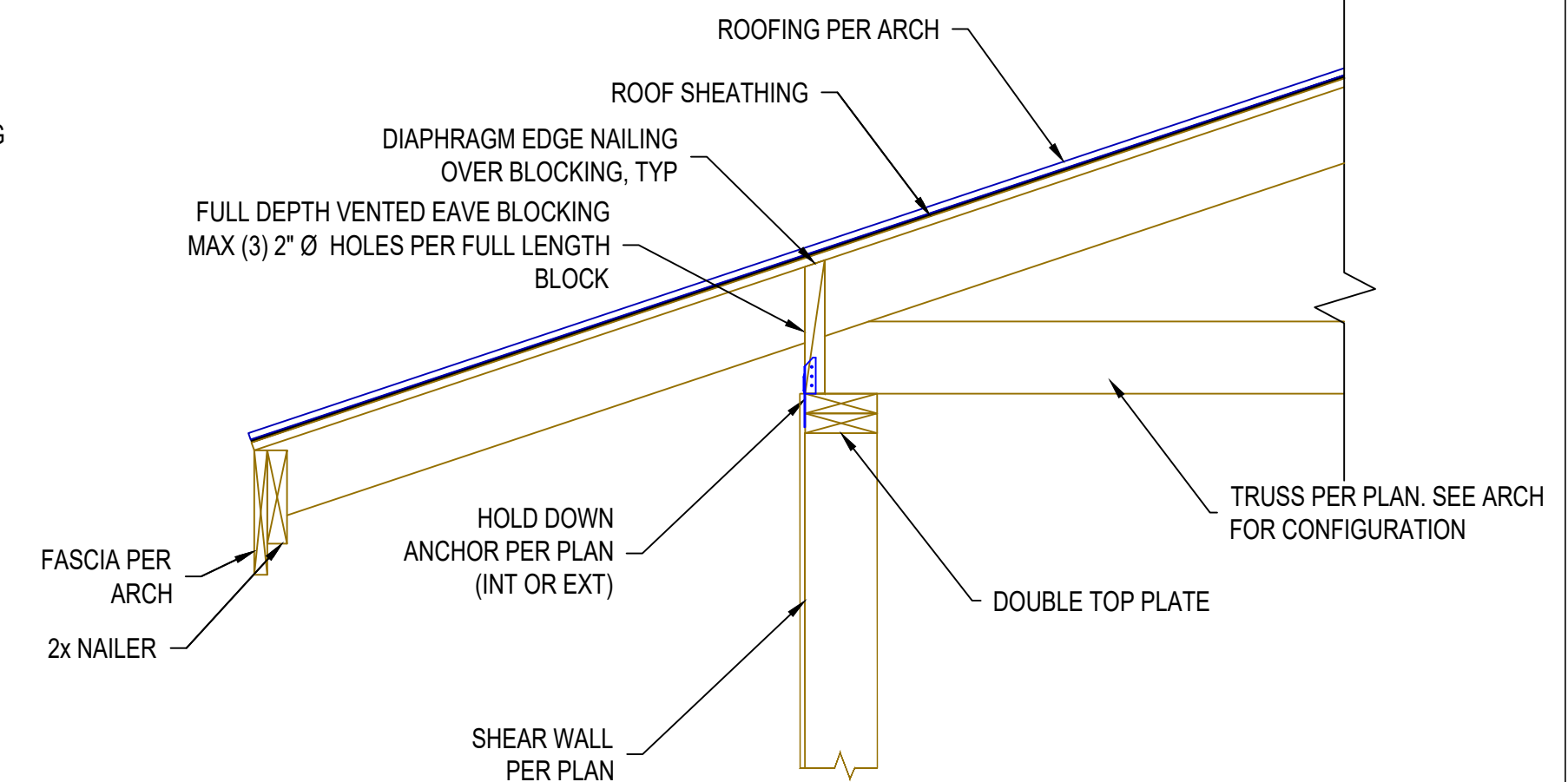
602
TYP



HEADER FRAMING

1" = 1'-0"

603
TYP



WALL/TRUSS CONNECTION

1" = 1'-0"

604
TYP



SUNRISE GROVE APARTMENTS

4726 GROVE ST
MARYSVILLE, WA 98270

Project number		
Date	December 9, 2022	
Drawn by	JMC	
Checked by	BS	
Revisions		
No.	Date	Description
1		

Jurisdiction Stamps

STRUCTURAL DETAILS

S07

Scale AS SHOWN