GENERAL CONSTRUCTION NOTES

- 1 ALL MATERIALS, WORKMANSHIP, DESIGN AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, AND THE 2018 INTERNATIONAL BUILDING CODE.
- 2 CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING SITE CONDITIONS PRIOR TO COMMENCING ANY WORK AND NOTIFY ARCHITECT OF ANY DISCREPENCIES AND CONFLICTS.
- 3 CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURE AND STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE PLANS.
- 4 CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THE WORK. THE ARCHITECT HAS NO OVERALL SUPERVISORY AUTHORITY OR ACTUAL AND/OR DIRECT RESPONSIBILITY FOR THE SPECIFIC WORKING CONDITIONS AT THE SITE AND/OR FOR ANY HAZARDS RESULTING FROM THE ACTIONS OF ANY TRADE CONTRACTOR. THE ARCHITECT HAS NO DUTY TO INSPECT, SUPERVISE, NOTE, CORRECT, OR REPORT ANY HEALTH OR SAFETY DEFICIENCIES OF THE OWNER, CONTRACTORS, OR OTHER ENTITIESOR PERSONS AT THE PROJECT
- 5 DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT.
- 6 ALL DIMESNIONS ARE TO FACE OF FINISH WALL UNLESS NOTED OTHERWISE.
- 7 WHERE DOOR IS LOCATED NEAR CORNER OF ROOM AND IS NOT LOCATED BY DIMENSIONS ON PLAN OR DETAILS, DIMENSION SHALL BE 3 INCHES FROM FACE OF WALL TO FACE OF ROUGH OPENING.
- 8 LINE OF EXISTING GRADES, AS SHOWN ON THE BUILDING ELEVATIONS AND SECTIONS ARE APPROXIMATE. THEY ARE AT THE BUILDING FACE OR ON THE SECTION END EXCEPT AS NOTED.
- 9 CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF AND PROVIDE REQUIRED OPENINGS THROUGH FLOORS AND WALLS, ACCESS DOORS, FURRING, CURBS, ANCHORS AND INSETS AND PROVIDE ALL BASES AND BLOCKING REQUIRED FOR ACCESSORIES, MECHANICAL, ELECTRICAL AND OTHER EQUIPMENT.

GENERAL ARCHITECTURAL NOTES

- 1 THE SCOPE OF THE PROJECT SHALL INCLUDE THE DEVELOPMENT OF AN 18-UNIT, 5-STORY MICRO-APARTMENT BUILDING OF TYPE
- 2 ALL WORK SHALL COMPLY WITH THE 2018 INTERNATIONAL BUILDING CODE WITH WASHINGTON STATE AMENDMENTS, THE 2018 INTERNATIONAL MECHANICAL CODE, THE 2018 INTERNATIONAL FIRE CODE WITH WASHINGTON STATE AMENDMENTS, AND THE 2018 UNIFORM PLUMBING CODE.
- 3 AUTOMATIC SPRINKLER SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH 2018 IBC, SECTION 903.3.1.1
- 4 ONE WATERCLOSET, ONE LAVATORY, AND ONE BATHTUB SHALL BE PROVIDED PER DWELLING UNIT PER 2018 IBC TABLE 2902.1
- 5 EACH DWELLING UNIT SHALL BE EQUIPPED WITH LOCAL EXHAUST AND WHOLE HOUSE VENTILATION SYSTEMS. VENTILATION RATE FOR EACH DWELLING UNIT SHALL NOT BE LESS THAN 30CFM PER IMC TABLE 403.8.1.
- 6 LOCAL EXHAUST VENTILATION SYSTEMS SHALL BE PROVIDED IN EACH KITCHEN, BATHROOM, AND LAUNDRY AREA. THE MINIMUM EXHAUST CAPACITY SHALL NOT BE LESS THAN 25CFM FOR KITCHENS AND 20CFM FOR BATHROOMS AND LAUNDRY AREAS.
- 7 EXHAUST DUCTS SHALL TERMINATE OUTSIDE OF THE BUILDING, BE EQUIPED WITH BACK-DRAFT DAMPERS AND INSULATED TO A MIN. OF R-4 IN UNCONDITIONED SPACES.
- 8 WATER RESISITIVE BARRIERS SHALL BE APPLIED OVER SHEATHING OF ALL EXTERIOR WALLS.

GENERAL ENERGY CODE REQUIREMENTS

- 1 ALL MATERIALS AND ASSEMBLIES SHALL COMPLY WITH THE PRESCRIPTIVE COMPLIANCE REQUIREMENTS OF THE 2018 WASHINGTON STATE ENERGY CODE.
- 2 EACH DWELLING UNIT IS REQUIRED TO BE PROVIDED WITH AT LEAST ONE PROGRAMMABLE THERMOSTAT FOR THE REGULATION OF TEMPERATURE.
- 3 BUILDING AIR LEAKAGE TESTING, DEMONSTRATING THE LEAKAGE IS ≤0.3 CFM/FT2 MAXIMUM AT 50 PASCALS, IS REQUIRED PRIOR TO FINAL INSPECTION.
- 4 ALL WHOLE HOUSE VENTILATION REQUIREMENTS AS DETERMINED BY SECTION M1505.3 OF THE INTERNATIONAL RESIDENTIAL CODE OR SECTION 403.8 OF THE INTERNATIONAL MECHANICAL CODE SHALL BE MET WITH A HIGH EFFICIENCY FAN(S) (MAXIMUM 0.35 WATTS/CFM), NOT INTERLOCKED WITH THE FURNACE FAN (IF PRESENT).
- 5 MINIMUM 75 PERCENT OF ALL INTERIOR LUMINAIRES SHALL BE HIGH EFFICACY LUMINAIRES ALL EXTERIOR LIGHTING SHALL BE HIGH EFFICACY LUMINAIRES.
- 6 PROJECT CLOSE OUT DOCUMENTATION IS REQUIRED AND SHALL INCLUDE WSEC ENVELOP COMPLIANCE FORMS AND CALCULATIONS AND FENESTRATION NFRC RATING CERTIFICATES.

MEANS OF EGRESS NOTES

- 1 THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL BE NOT LESS THAN 1 FOOTCANDLE AT THE WALKING SURFACE.
- 2 THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL NORMALLY BE PROVIDED BY THE PREMISES' ELECTRICAL
- 3 IN THE EVENT OF POWER SUPPLY FAILURE THE EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE ALL CORRIDORS, EXIT ACCESS STAIRWAYS, AND RAMPS. AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE INTERIOR AND EXTERIOR EXIT STAIRWAYS AND RAMPS, EXIT PASSAGEWAYS, VESTIBULES AND AREAS ON THE LEVEL OF DISCHARGE USED FOR EXIT DISCHARGE, AND EXTERIOR LANDINGS FOR EXIT DOORWAYS THAT LEAD DIRECTLY TO THE EXIT DISCHARGE.
- 4 THE EMERGENCY POWER SYSTEM SHALL PROVIDE POWER FOR A DURATION OF NOT LESS THAN 90 MINUTES AND SHALL CONSIST OF STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR.
- 5 ILLUMINATION LEVEL UNDER EMERGENCY POWER: EMERGENCY LIGHTING FACILITIES SHALL BE ARRANGED TO PROVIDE INITIAL ILLUMINATION THAT IS NOT LESS THAN AN AVERAGE OF 1 FOOTCANDLE AND A MINIMUM AT ANY POINT OF 0.1 FOOTCANDLE
- MEASURED ALONG THE PATH OF EGRESS AT FLOOR LEVEL. 6 EXITS AND EXIT ACCESS DOORS SHALL BE MARKED BY AN APPROVED EXIT SIGN READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL. THE PATH OF EGRESS TRAVEL TO EXITS AND WITHIN EXITS SHALL BE MARKED BY READILY VISIBLE EXIT SIGNS TO CLEARLY INDICATE THE DIRECTION OF EGRESS TRAVEL IN CASES WHERE THE EXIT OR THE PATH OF EGRESS TRAVEL IS NOT IMMEDIATELY
- VISIBLE TO THE OCCUPANTS. INTERVENING MEANS OF EGRESS DOORS WITHIN EXITS SHALL BE MARKED BY EXIT SIGNS. 7 A SIGN STATING EXIT IN VISUAL CHARACTERS, RAISED CHARACTERS AND BRAILLE AND COMPLYING WITH ICC A117.1 SHALL BE PROVIDED ADJACENT TO EACH DOOR TO AN AREA OF REFUGE, AN EXTERIOR AREA FOR ASSISTED RESCUE, AN EXIT STAIRWAY OR RAMP, AN EXIT PASSAGEWAY AND THE EXIT DISCHARGE.
- 8 THE FORCE FOR PUSHING OR PULLING OPEN INTERIOR SWINGING EGRESS DOORS SHALL NOT EXCEED 5 POUNDS. FOR OTHER
- SWINGING DOORS, THE DOOR LATCH SHALL RELEASE WHEN SUBJECTED TO A 15-POUND FORCE. 9 THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 1/2 INCH ABOVE FINISHED FLOOR FOR SIDE-HINGED DOORS.
- 10 EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR
- 11 DOOR HARDWARE SHALL BE INSTALLED 34 INCHES MINIMUM AND 48 INCHES MAXIMUM ABOVE FINISHED FLOOR.
- 12 EMERGENCY ESCAPE AND RESCUE OPENING SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES. THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES.

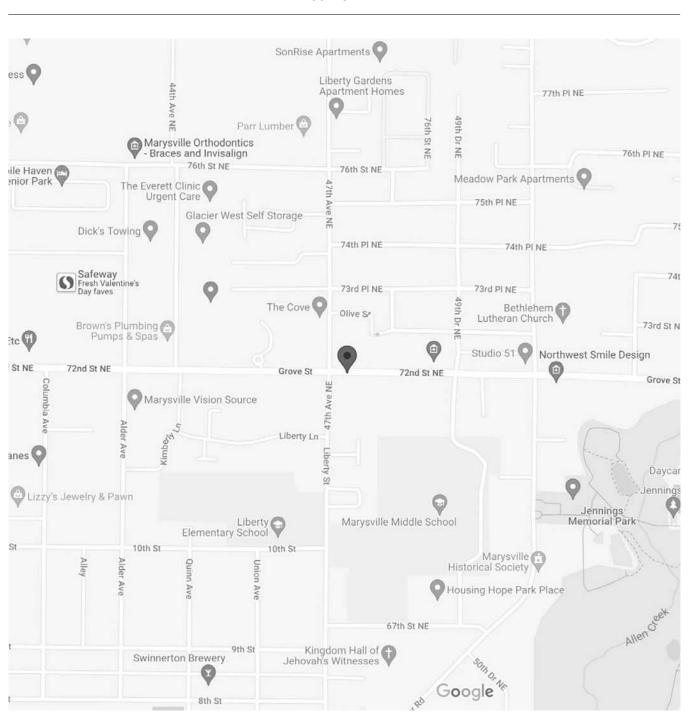
FIRE SAFETY NOTES

- 1 SINGLE OR MULTIPLE-STATION SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH IFC SECTION 907.2.11. SMOKE ALARMS SHALL BE LOCATED WITHIN EACH SLEEPING ROOM/AREA AND DIRECTLY OUTSIDE OF EACH SLEEPING ROOM/AREA. A MINIMUM OF ONE SMOKE ALARM SHALL BE LOCATED ON EACH LEVEL OF EACH DWELLING. SMOKE ALARMS SHALL COMPLY WITH UL 217 AND NFPA 72. SMOKE ALARMS SHALL BE INTERCONNECTED AS REQUIRED AND SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACKUP AS REQUIRED.
- PROVIDE CARBON MONOXIDE ALARMS IN ACCORDANCE WITH IFC SECTION 915. CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. A MINIMUM OF ONE CARBON MONOXIDE ALARM SHALL BE LOCATED ON EACH LEVEL OF EACH DWELLING. THE CARBON MONOXIDE ALARMS SHALL BE LISTED AS COMPLYING WITH UL 2034 AND BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH NFPA 720 AND THE MANUFACTURER'S INSTRUCTIONS.
- PROVIDE A KNOX™ BOX OR KNOX™ VAULT OUTSIDE THE MAIN BUILDING ENTRANCE FRONTING ON THE ADDRESSED STREET WITH ALL KEYS TO ACCESS THE BUILDING AND AS DIRECTED BY THE TACOMA FIRE DEPARTMENT. THE TOP OF THE BOX SHALL BE MOUNTED BETWEEN 66-INCHES AND 72-INCHES ABOVE FINISHED FLOOR. THE LOCK SPECIFICATION IS A ONE-INCH CYLINDER CAM LOCK KEY #39504. KNOX™ BOX APPLICATIONS/ORDER FORMS ARE AVAILABLE FROM THE KNOX™ COMPANY AT WWW.KNOXBOX.COM . PRIOR TO INSTALLATION, CONTACT THE FIRE PREVENTION BUREAU AT (253) 591-5740 TO SET UP A PRE-INSTALLATION INSPECTION TO APPROVE THE LOCATION OF THE KNOX™ BOX.
- PROVIDE FIRE EXTINGUISHERS THROUGHOUT IN ACCORDANCE WITH IFC SECTION 906 AND NFPA 10. MOUNT FIRE EXTINGUISHERS ALONG EGRESS PATHS WHENEVER POSSIBLE WITH TOPS NO MORE THAN 60 INCHES AND BOTTOMS NO LESS THAN 4 INCHES ABOVE THE FLOOR. MINIMUM FIRE EXTINGUISHER RATING IS 2A10BC. MAXIMUM TRAVEL DISTANCE TO AN EXTINGUISHER IS
- PROVIDE PREMISES IDENTIFICATION (ADDRESS NUMBERS) IN ACCORDANCE WITH IFC SECTION 505. NUMBERS SHALL BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET. NUMERALS SHALL BE PROVIDED (NOT SPELLED OUT). NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND AND HAVE A MINIMUM HEIGHT OF 4 INCHES.

DEFERRED SUBMITTAL NOTES

- MECHANICAL, PLUMBING, ELECTRCIAL, FIRE SPRINKLER SYSTEM, FIRE ALARM SYSTEM, AND TRUSS JOIST DESIGN WILL BE OBTAINED BY DEFERRED SUBMITTAL FOR APPROVAL BEFORE INSTALLATION. ARCHITECT SHALL CONFIRM THAT ALL DEFERRED SUBMITTALS CONFORM WITH ALL PERMIT DOCUMENTS.
- PER IBC 107.3, APPROVAL OF DEFERRED SUBMITTALS IS SUBJECT TO THE DISCRETION OF THE BUILDING OFFICIAL AND WILL REQUIRE NOTATION FROM THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE (RPDRC) INDICATING THE DEFERRED SUBMITTAL IS FOUND TO BE IN GENERAL CONFORMANCE TO THE DESIGN OF THE BUILDING.
- 3 DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE DEFERRED SUBMITTAL ITEMS HAVE BEEN APPROVED BY THE
- 4 A RPDRC IS A DESIGN PROFESSIONAL REGISTERED IN THE STATE OF WASHINGTON (LICENSED ARCHITECT, LICENSED ENGINEER, ETC) DESIGNATED BY THE OWNER OR OWNER'S AUTHORIZED AGENT WHO IS RESPONSIBLE FOR REVIEWING AND COORDINATING PERMIT SUBMITTAL DOCUMENTS REPARED BY OTHERS, INCLUDING PHASED AND DEFERRED SUBMITTAL ITEMS FOR COMPATIBILITY WITH THE DESIGN OF THE BUILDING.
- ALL SUBSEQUENT PERMIT SUBMITTALS ASSOCIATED WITH THIS PROJECT SHALL HAVE THE NOTATION OF GENERAL CONFORMANCE FROM THE RDPRC PROVIDED TO THE CITY PRIOR TO APPROVAL OF THE PERMIT.

LOCATION MAP



ABBREVIATIONS ABBREVIATIONS A.F.F. ABOVE FINISH FLOOR LAM LAMINATE A.P. ACCESS PANEL LAV LAVATORY ACOUS ACOUSTICAL LT LIGHT ADJ ADJACENT M.C. MEDICINE CABINET AGGR AGGREGATE M.O. MASONRY OPENING ALUM ALUMINUM MAX MAXIMUM APPROX APPROXIMATE MECH MECHANICAL ARCH ARCHITECTURAL MEMB MEMBRANE ASPH ASPHALT MFR MANUFACTURER B.O.E. BOTTOM OF EXCAVATION MIN MINIMUM BD BOARD MIRROR BITUM BITUMINOUS MISC MISCELLANEOUS BLDG BUILDING MTD MOUNTED BLK BLOCK MTL METAL BLKG BLOCKING MUL MULLION BEAM NORTH CAB CABINET N.I.C. NOT IN CONTRACT CEM CEMENT N.T.S. NOT TO SCALE CER CERAMIC NO NUMBER CLG CEILING NOM NOMINAL CLKG CAULKING O.C. ON CENTER CLOS CLOSET O.D. OUTSIDE DIAMETER CLR CLEAR OFF OFFICE COL COLUMN OPNG OPENING CONC CONCRETE OPP OPPOSITE CONSTR CONSTRUCTION P.I.P. POURED IN PLACE P.L. PROPERTY LINE CONT CONTINUOUS CORR CORRIDOR PL PLATE CS COUNTERSUNK PSL PARALLEL STRAND LUMBER CTR CENTER PT PRESSURE TREATED D.O. DOOR OPENING PTD PAINTED DBL DOUBLE PTN PARTITION DET DETAIL RISER DIA DIAMETER R.D. ROOF DRAIN DIM DIMENSION R.O. ROUGH OPENING DN DOWN RAD RADIUS DR DOOR REF REFRIGERATOR DS DOWNSPOUT REINF REINFORCED DWG DRAWING REQ REQUIRED EAST RESIL RESILIENT E.P. ELECTRICAL PANEL RGTR REGISTER EACH RM ROOM **ELEV ELEVATION** SOUTH EMER EMERGENCY S.C. SOLID CORE

S.D. SOAP DISPENSER

S.S. SANITARY SEWER

SCHED SCHEDULE

SECT SECTION

SH SHELF

SHT SHEET

SHWR SHOWER

SIM SIMILAR

SQ

SS

SPEC SPECIFICATION

SQUARE

STD STANDARD

STL STEEL

STOR STORAGE

STRUCT STRUCTURE

SUSP SUSPENDED

T.O. TOP OF

SYM SYMMETRICAL

T.O.W. TOP OF WALL

TEL TELEPHONE

TREAD

TELEVISION

U.O.N. UNLESS OTHERWISE NOTED

TER TERRAZZO

THK THICK

TYP TYPICAL

UNFIN UNFINISHED

VERT VERTICAL

VEST VESTIBULE

W/ WITH

W/O WITHOUT

WT WEIGHT

WEST

W.C. WATER CLOSET

W.D. WALL DIFFUSER

WPF WATERPROOFING

CO+SD

FEC

TRD

TV

T&G TONGUE AND GROOVE

T.P.D. TOILET PAPER DISPENSER

SMC SEATTLE MUNICIPAL CODE

SRC SEATTLE RESIDENTIAL CODE

STAINLESS STEEL

ENCL ENCLOSURE

EQPT EQUIPMENT

F.A. FIRE ALARM

F.F. FINISHED FACE

F.O.S. FACE OF STUD

FINISH

FLOOR

FLASH FLASHING

FLOUR FLOURESCENT

FIREPROOF

FOOTING

FUTURE

GAUGE

GLASS

GROUND

GRADE

GYPSUM

HOSE BIB

HOLLOW CORE

HEAT PUMP

HDWR HARDWARE

HORIZ HORIZONTAL

HOUR

HEIGHT

INSIDE DIAMETER

INSULATION

INTERIOR

JOINT

KIT KITCHEN

FURRING

GRAB BAR

GALVANIZED

GWB GYPSUM WALL BOARD

FOOT OR FEET

F.O.C. FACE OF CONCRETE

FOUNDATION

EXIST EXISTING

EQUAL

EXPANSION

EXTERIOR

FLOOR DRAIN

EQ

EXP

EXT

F.D.

FDN

FTG

FURR

FUT

G.B.

GΑ

GL

GR

GYP

H.B.

H.P.

HR

HT

INSUL

INT

GND

GALV

SECTION INDICATOR LEVEL INDICATOR DETAIL INDICATOR A101 Room name ROOM IDENTIFIER 101 1 / A101 VIEW REFERENCE NORTH ARROW (101) DOOR TAG WINDOW TAG WALL / STOREFRONT TAG TEMPERED GLASS SURFACE MOUNTED SURFACE MOUNTED, WET-RATED RECESSED DOWNLIGHT WALL SCONCE WALL SCONCE, WET-RATED PENDANT LIGHT RECESSED FLOURESCENT WALL-MOUNTED VANITY LIGHT WALL-MOUNTED STAIR LIGHT RECESSED SPEAKER SMOKE DETECTOR

CARBON MONOXIDE AND SMOKE DETECTOR

LIGHT / EXHAUST FAN COMBO

FIRE EXTINGUISHER CABINET

EXHAUST FAN

EXIT SIGN

SYMBOLS

CONSTRUCTION TYPE

PROJECT DATA PROJECT TEAM ARCHITECT PROJECT ADDRESS 4726 GROVE ST GREGORY MENIKOFF MARYSVILLE, WASHINGTON 98270 MENIKOFF DEISGN STUDIO, LLC. 1326 FIFTH AVENUE, SUITE 632 NAN HOMES, LLC SEATTLE, WASHINGTON 98101 T: 206.383.0380 PARCEL NUMBER(S) 30052800108700 STRUCTURAL ENGINEER JON CONNER E 95FT OF N 196FT OF NW QTR OF NW QTR OF SE QTR LAKEVIEW STRUCTURAL ENGINEERING OF NE QTR OF SEC 28 TWP 30 RGE 5E LESS 20FT FOR RD T: 206.914.9536 LESS N 10FT ADD'L R/W SWD TO CITY OF MARYSVILLE AF NO 8212170191 CIVIL ENGINEER DAVID HARMSEN, PE HARMSEN, LLC 3-STORY, 16-UNIT APARTMENT BUILDING 2822 COLBY AVE, STE 300 **EVERETT, WASHINGTON 98201** APPLICABLE CODES 2018 INTERNATIONAL BUILDING CODE T: 360.794.7811 2018 INTERNATIONAL FIRE CODE 2018 INTERNATIONAL MECHANICAL CODE SURVEYOR AARON TYSON, PLS 2020 NATIONAL ELECTRIC CODE 2018 UNIFORM PLUMBING CODE

> WASHINGTON STATE ENERGY CODE EVERETT, WASHINGTON 98201 ANSI A117.1-2009 T: 425.252.1884 MARYSVILLE MUNICIPAL CODE TITLE 22 UNIFIED DEVELOPMENT CODE GEOTECHNICAL ENGINEER PHIL HABERMAN, PE, LG, LEG COBALT GEOSCIENCES PO BOX 82243 KENMORE, WASHINGTON 98028 DOWNTOWN SUBAREA FR (FLEX RESIDENTIAL) T: 206.331.1097

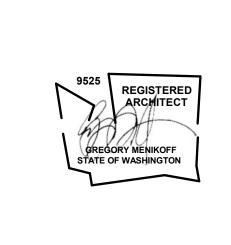
> > LANDSCAPE ARCHITECT JEFF VARLEY VARLEY VARLEY VARLEY 19819 30TH DRIVE SE BOTHELL, WASHINGTON 98012 T: 425.466.9430

TRAFFIC ENGINEER AARON VAN AKEN **HEATH & ASSOCIATES** PO BOX 397 PUYALLUP, WASHINGTON 98371 T: 253.770.1401

DRAWING LIST

2822 COLBY AVE, STE 300

SHEET NO.	SHEET NAME
A0.00	GENERAL NOTES, PROJECT TEAM, ABBREVIATIONS
SURVEY	PRELIMINARY TOPOGRAPHIC SURVEY
C1.0	OVERVIEW
C2.0	SEWER & WATER PLAN
C3.0	STORM DRAINAGE & PAVING PLAN
L-1	PUBLIC OPEN SPACE PLAN
L-2	LANDSCAPE NOTES AND DETAILS
L-3	IRRIGATION PLAN
L-4	IRRIGATION NOTES AND DETAILS
A1.00	SITE PLAN
A2.10	FLOOR PLANS - FLOORS 01 AND 02
A2.20	FLOOR PLANS - FLOOR 03 AND ROOF
A3.11	EXTERIOR ELEVATIONS
A3.21	BUILDING SECTIONS
A3.31	WALL SECTIONS
A3.32	WALL SECTIONS
A4.11	ENLARGED UNIT PLANS AND ACCESSIBILITY DETAILS
A4.12	ENLARGED UNIT PLANS
A4.13	ENLARGED UNIT PLANS
A6.10	REFLECTED CEILING PLANS
A6.20	REFLECTED CEILING PLANS
A7.01	ENLARGED STAIR PLANS
A7.02	ENLARGED STAIR SECTIONS
A7.03	ENLARGED STAIR SECTIONS
A8.00	DETAILS
A9.00	SCHEDULES
S01	STRUCTURAL NOTES
S02	FOUNDATION PLAN AND FLOOR FRAMING
S03	GARAGE FLOOR PLAN
S04	2ND FLOOR PLAN
S05	3RD FLOOR PLAN
S06	ROOF PLAN
S07	STRUCTURAL DETAILS



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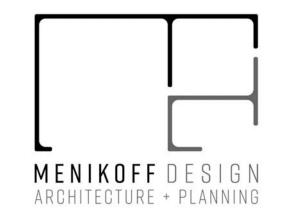
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Project Status GENERAL NOTES, PROJECT TEAM, **ABBREVIATIONS**

FEBRUARY 1, 2023 A.2206.01

1/4" = 1'-0'



LAND USE CODE ANALYSIS

PROJECT ADDRESS 4726 GROVE ST, MARYSVILLE, WASHINGTON 98270

PARCEL 30052800108700 SITE AREA 15,770 SF

DOWNTOWN SUBAREA FR (FLEX RESIDENTIAL)

MMC TABLE 22C.080.140 DIMENSIONAL REGULATIONS

BASE HEIGHT 41' - 8 3/4" MAX BASE DENSITY (28 DU/ACRE) MAX DENSITY STREET SETBACK 15' - 7" SIDE YARD SETBACK 5'-15' (SEE SITE PLAN) REAR YARD SETBACK 0-15' 5' - 7" MIN

¹ADDITIONAL UNITS PER 22C.090.030 PUBLIC BENEFITS AND DENSITY INCENTIVES (SEE CALCULATIONS BELOW)

REQUIRED PARKING MMC TABLE 22C.080.230

USE CATEGORY MIN SPACES PER UNIT 1 BEDROOM 1.25 2 BEDROOMS OR MORE 2 @ 1 BEDROOM 2x1.25 2.5 9 @ 2 BEDROOM 9x1.5 13.5 5 @ 3 BEDROOM 5x1.5 7.5 TOTAL PROVIDED

BLOCK-FRONTAGE TYPE MMC TABLE 22C.080.300

PERMITTED FRONTAGE FLEXIBLE

PROVIDED

UNDESIGNATED BLOCK FRONTAGE STANDARDS MMC TABLE 22C.080.350(3)

BUILDING PLACEMENT BUILDING PLACED AT LEAST 15' BEHIND SIDEWALK **BUILDING ENTRANCES** BUILDING ENTRY VISIBLE AND DIRECTLY ACCESSIBLE FROM THE STREET FACADE TRANSPARENCY TRANSPARENT WINDOWS EXCEED 10% OF BUILDING FACADE (SEE 1/A3.11) WEATHER PROTECTION 3' DEEP REQUIRED, 3' - 6" PROVIDED (SEE 1/A2.10) PARKING NO PARKING LOT LOCATION RESTRICTIONS LANDSCAPING SEE LANDSCAPE PLANS

REQUIRED OPEN SPACE MMC 22C.080.420(3)

USE CATEGORY MIN OPEN SPACE PER UNIT 100 SF 1 BEDROOM 2 BEDROOMS OR MORE 150 SF 2 @ 1 BEDROOM 14 @ 2,3 BEDROOM 2100 SF TOTAL

BUILDING MASSING AND ARTICULATION MMC 22C.080.510

ARTICULATION FEATURES (AT LEAST THREE REQUIRED) MMC 22C.080.510(2)(b) (i) USE OF A WINDOW FENESTRATION PATTERN (ii) USE OF WEATHER PROTECTION FEATURES

2300 SF (SEE OPEN SPACE PLAN ON L-1)

(v) CHANGE IN BUILDING MATERIAL AND/OR SIDING STYLE

MAXIMUM FACADE LENGTH MMC 22C.080.510(3) NOT APPLICABLE- BUILDING ELEVATION LESS THAN 120'

MMC 22C.080.520(3) WINDOW DESIGN STANDARDS

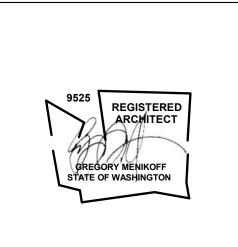
(a) WINDOWS RECESSED AT LEAST 1-1/2" (SEE 10-12/A8.00)

BUILDING MATERIALS MMC 22C.080.530(2)(d)

(i) NOT APPLICABLE - RESIDENTIAL USE (ii) INTEGRATED MIX OF TEXTURES (PANEL AND LAP SIDING) AND MODULATED BUILDING SURFACES

PUBLIC BENEFITS AND DENSITY INCENTIVES

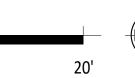
DENSITY INCENTIVE 3. COMMUNITY IMAGE AND IDENTITY \$15,000 PER BONUS UNIT



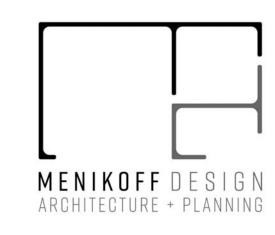
APARTMENTS GROVE

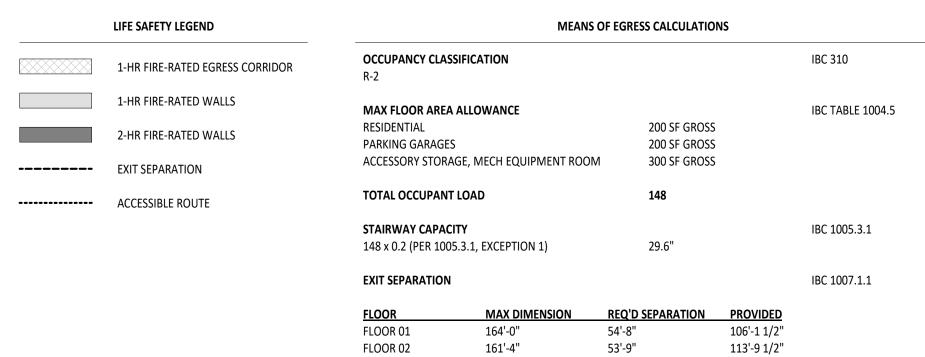
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MMC 22C.090.030



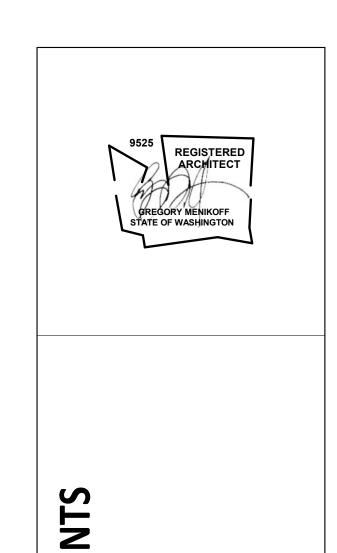


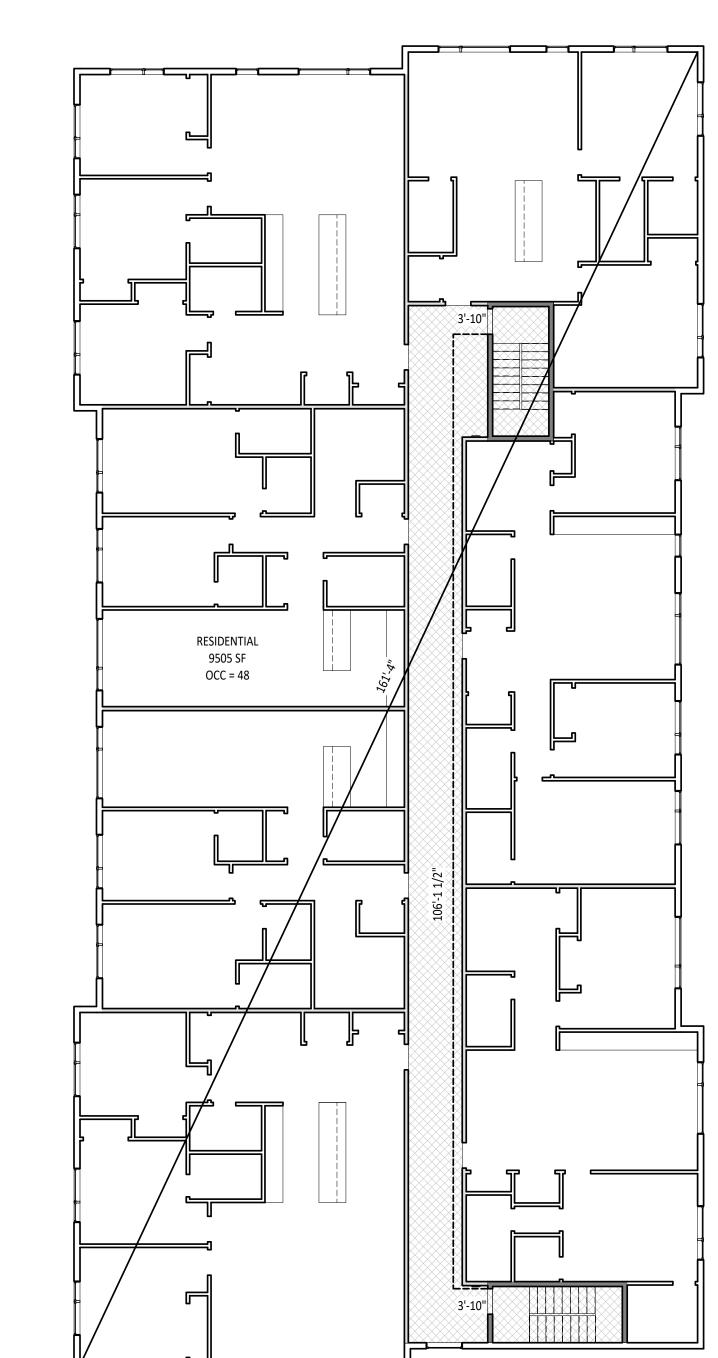
161'-4"

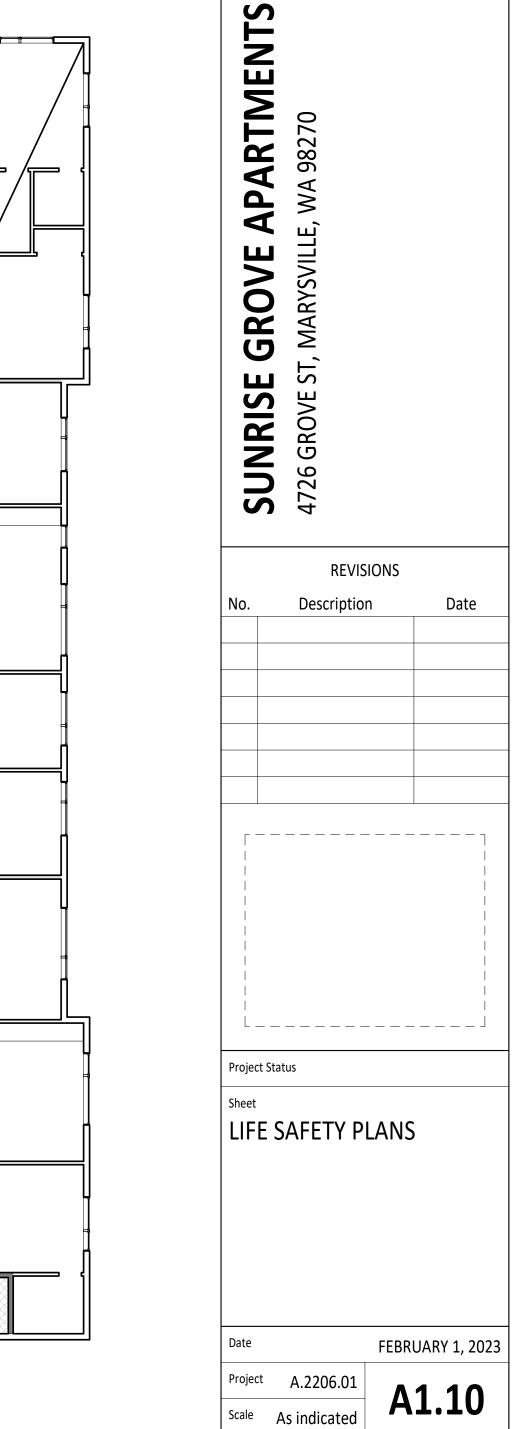
53'-9"

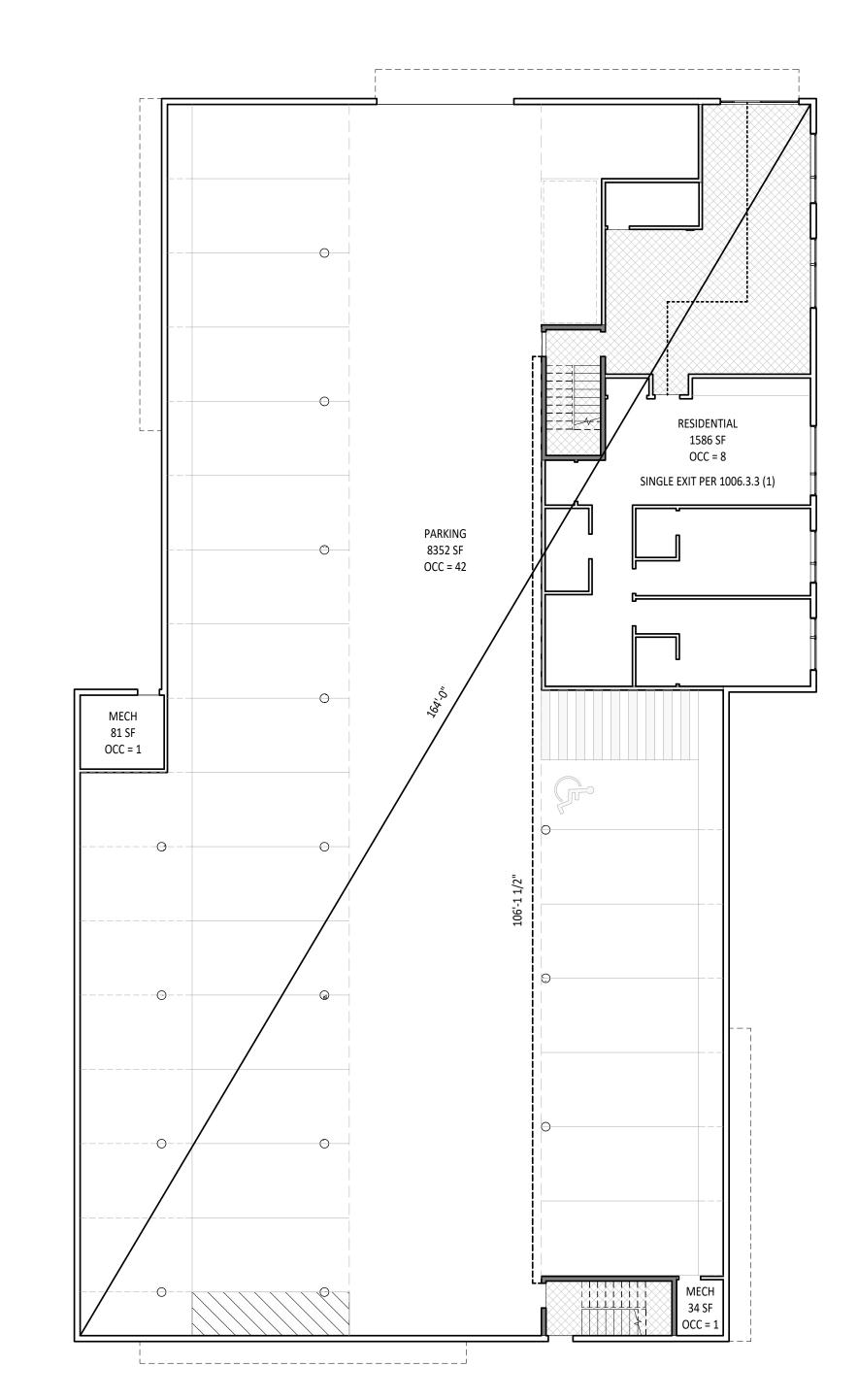
113'-9 1/2"

FLOOR 03









2 LIFE SAFETY PLAN - FLOOR 02

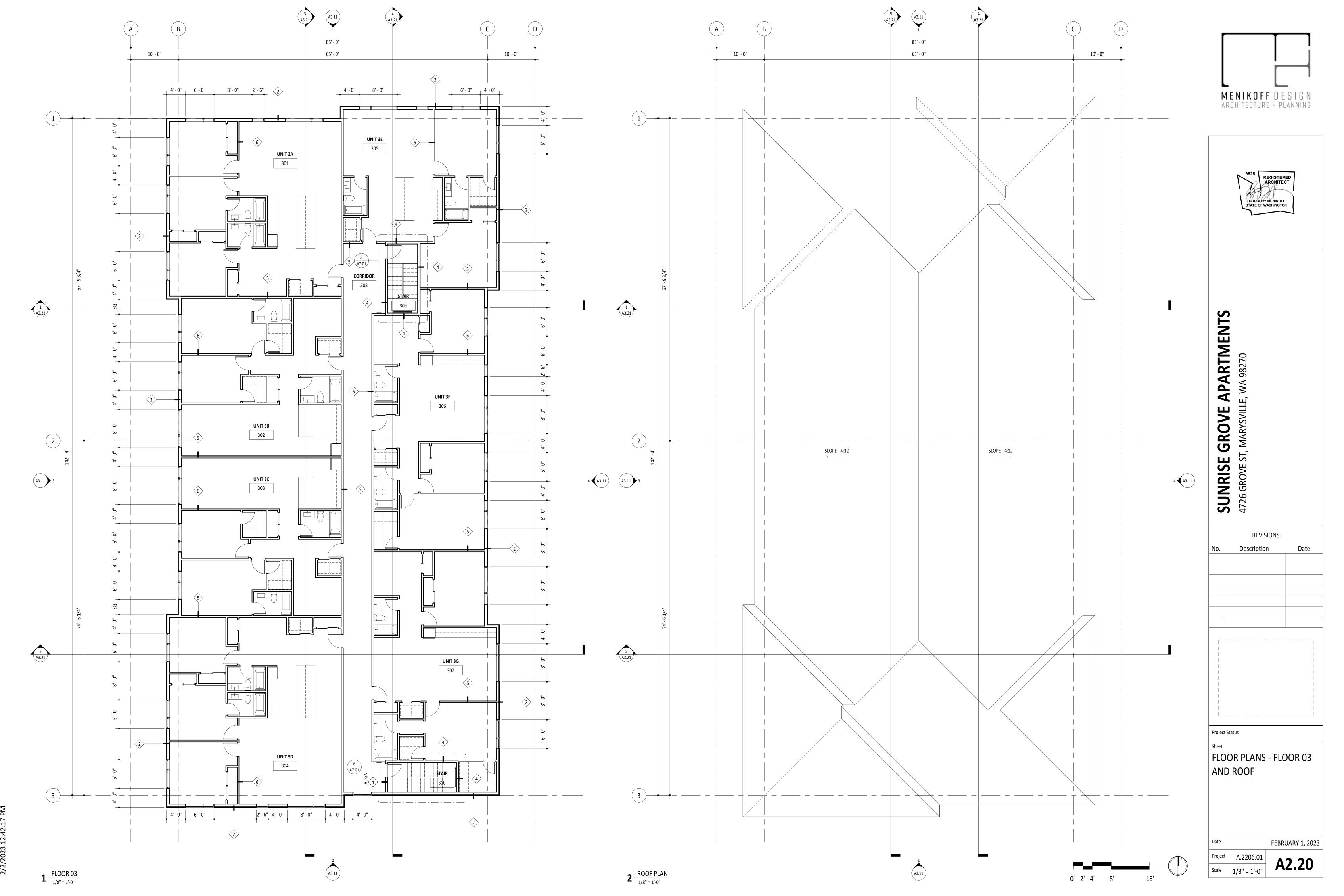
3/32" = 1'-0"

RESIDENTIAL 9505 SF OCC = 48

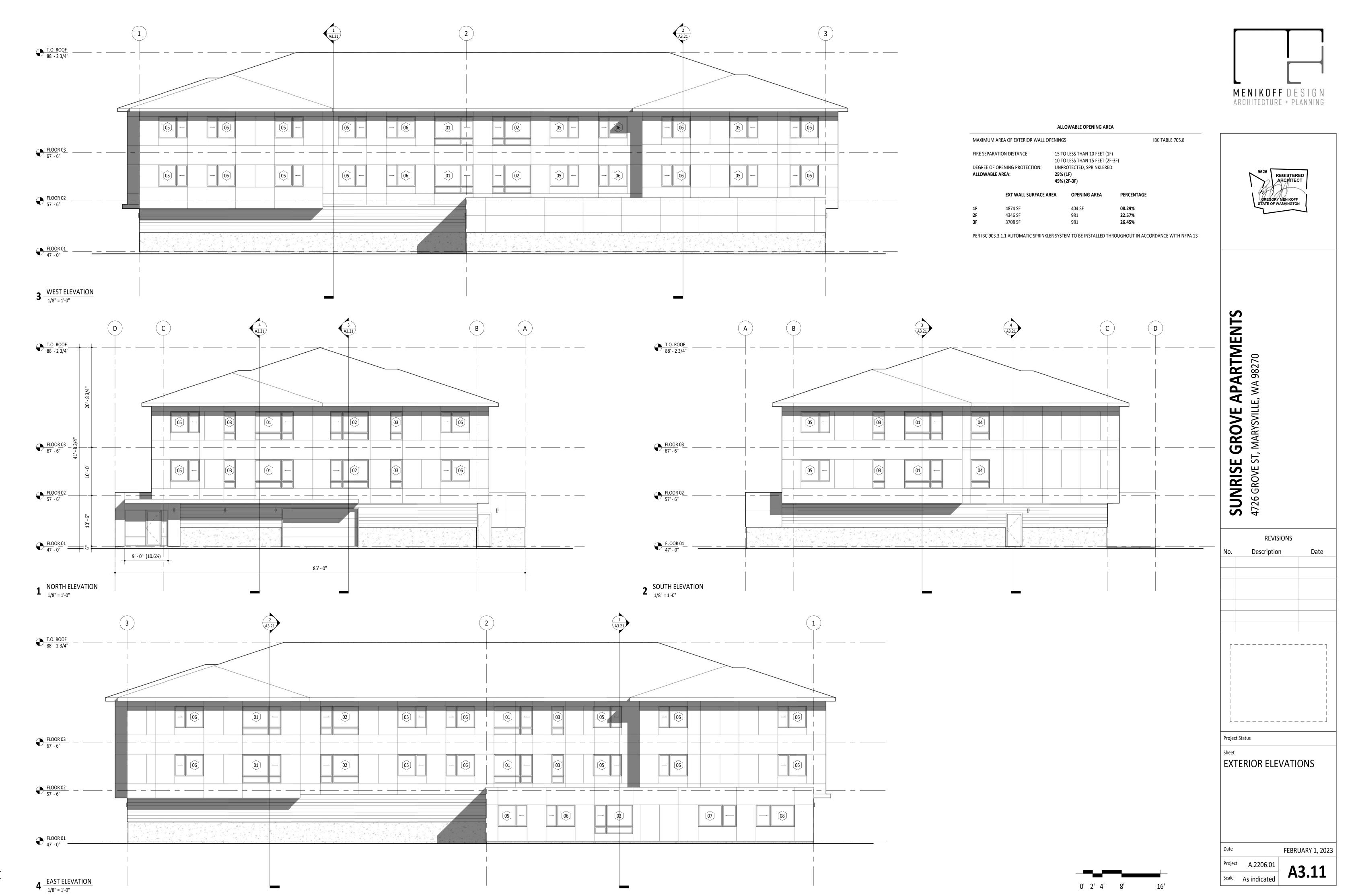
3'-10"



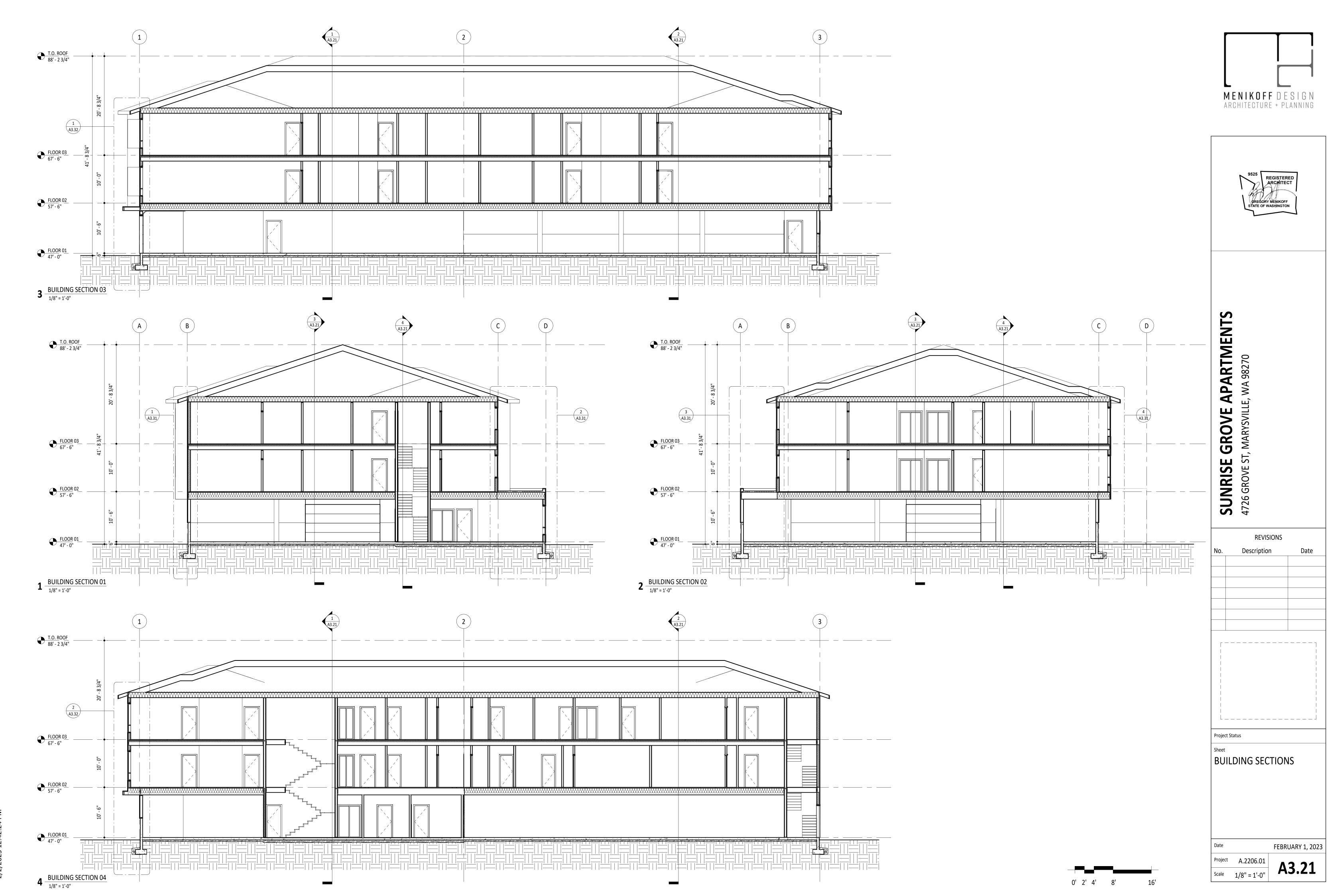
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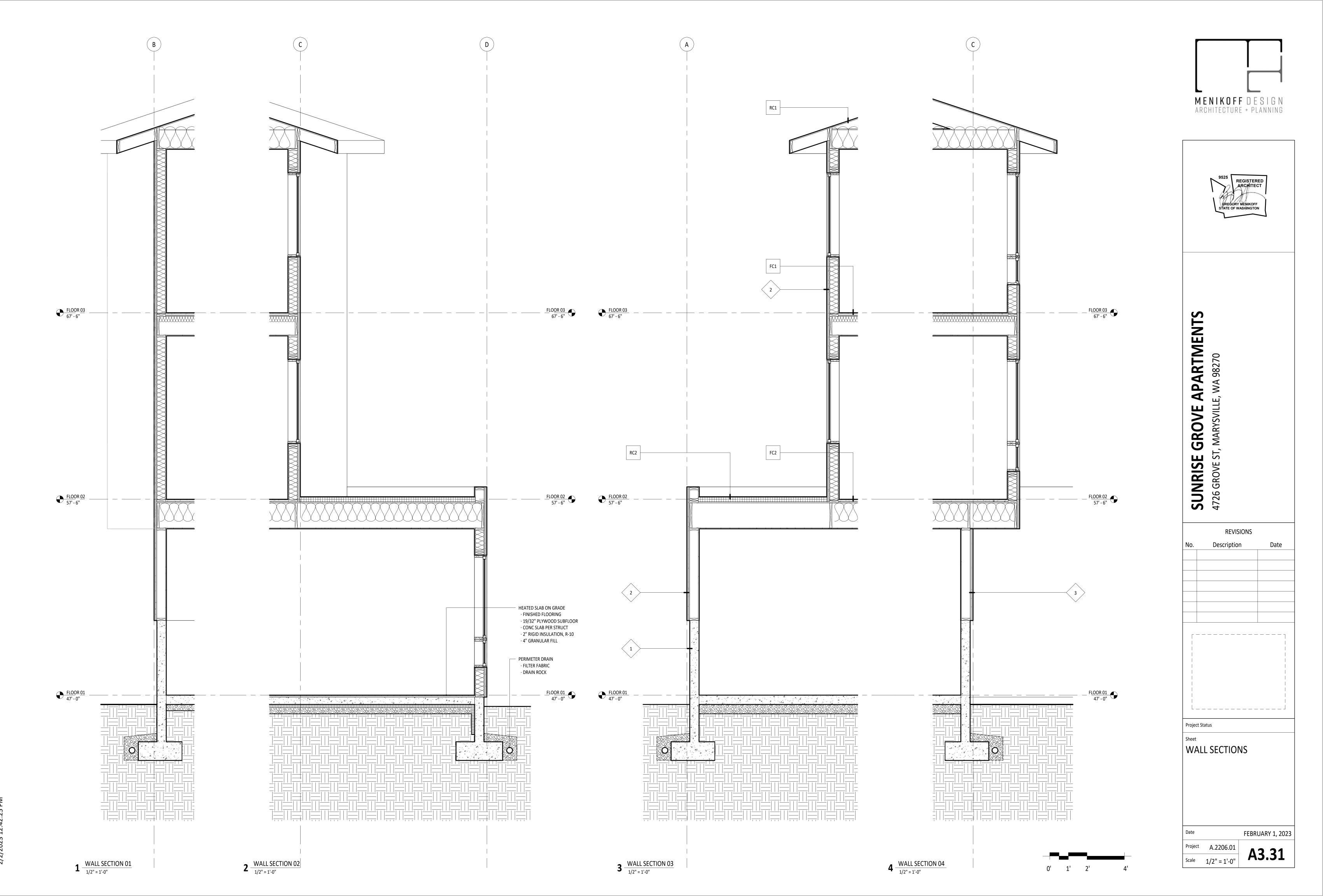
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SUNRISE GROVE APARTMENTS 4726 GROVE ST, MARYSVILLE, WA 98270

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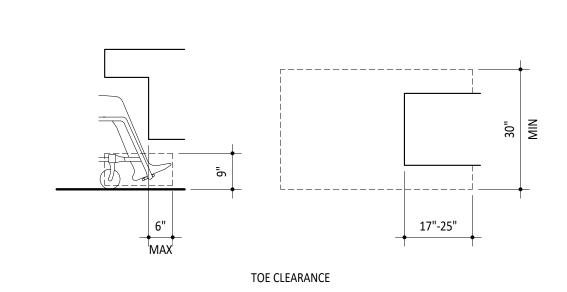
Project Status

WALL SECTIONS

FEBRUARY 1, 2023 Project A.2206.01

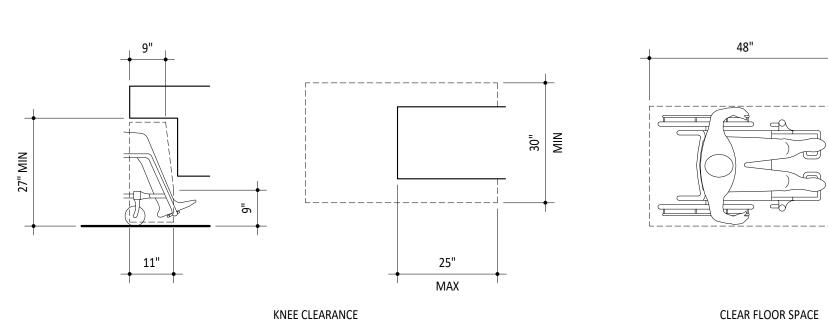
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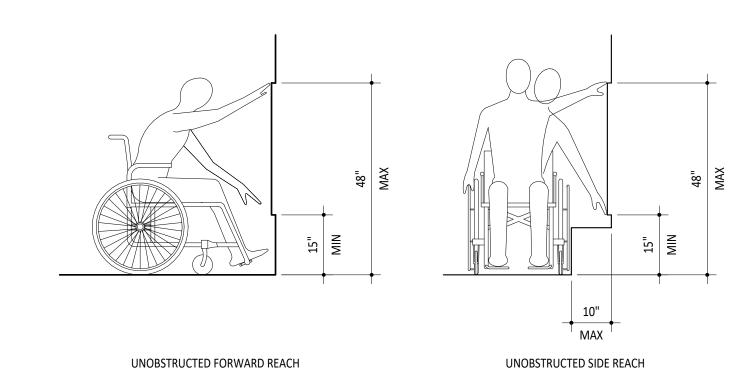


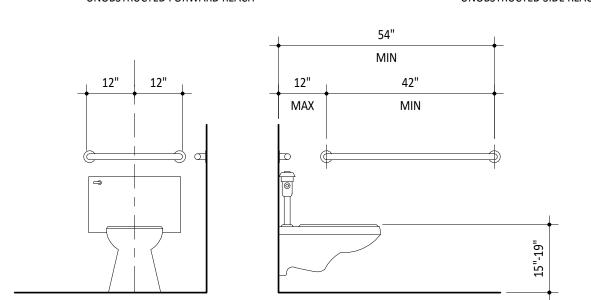


KNEE CLEARANCE

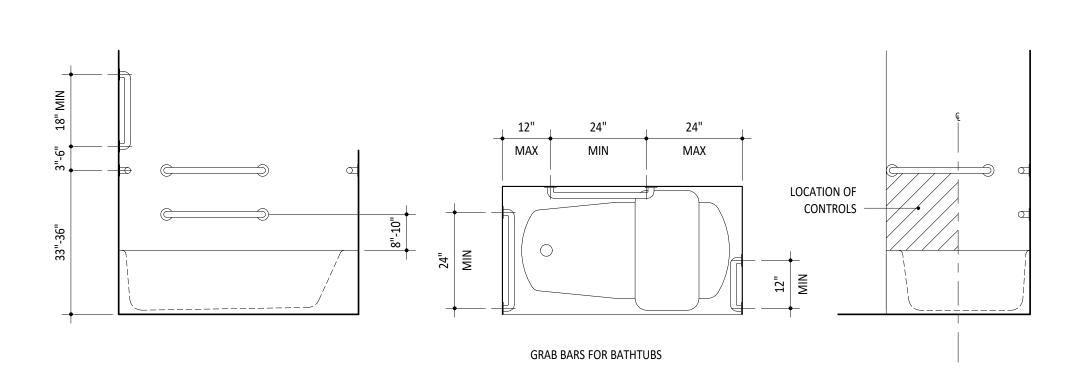
- 1 REINFORCEMENT SHALL BE PROVIDED FOR FUTURE INSTALLATION OF GRAB BARS COMPLYING WITH SECTION 604.5 AT WATER CLOSETS ANS SECTION 607.4 AT BATHTUBS.
- 2 IN ALL ACCESSIBLE UNITS OPERABLE PARTS SHALL BE LOCATED WITH A HIGH REACH OF 48" MAXIMUM AND A LOW REACH OF 15" MINIMUM ABOVE THE FLOOR.
- 3 IN ALL TYPE A ACCESSIBLE UNITS MIRRORS ABOVE LAVATORIES SHALL HAVE THE BOTTOM EDGE 40" MAXIMUM ABOVE FLOOR.
- 4 IN ALL TYPE A ACCESSIBLE UNITS AT LEAST ONE SECTION OF COUNTER SHALL PROVIDE A WORK SURFACE 30" MINIMUM IN LENGTH, 34" MAXIMUM ABOVE FLOOR. SINK SHALL BE LOCATED ON A WORK SURFACE 30" MINIMUM IN LENGTH, 34" MAXIMUM ABOVE FLOOR. A CLEAR FLOOR SPACE, POSITIONED FOR A FORWARD APPROACH SHALL BE PROVIDED. KNEE AND TOES CLEARANCE COMPLYING WITH SECTION 306 SHALL BE PROVIDED.







GRAB BARS AT WATER CLOSET





APARTMENTS GROVE SUNRISE 4726 GROVE ST

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Project Status ENLARGED UNIT PLANS AND ACCESSIBILITY

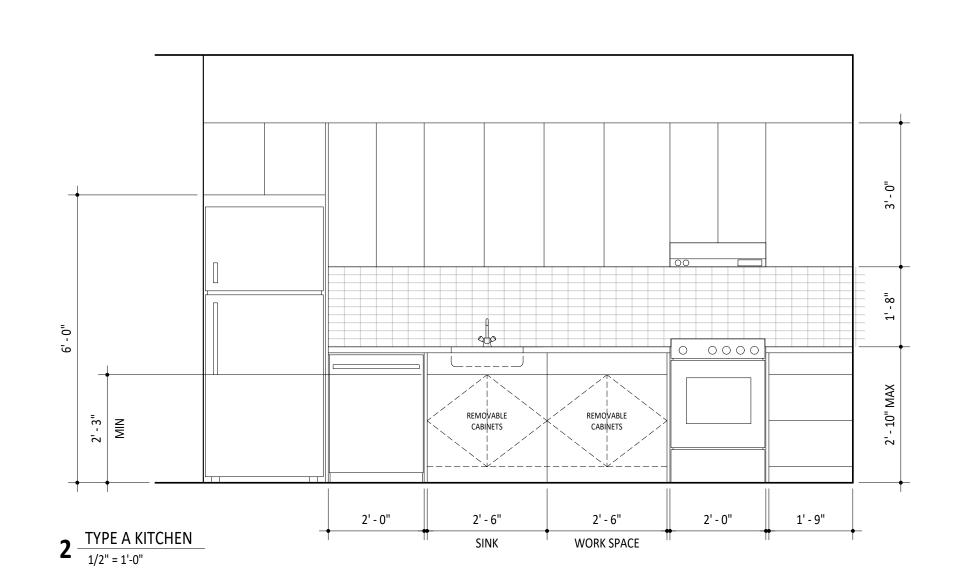
DETAILS

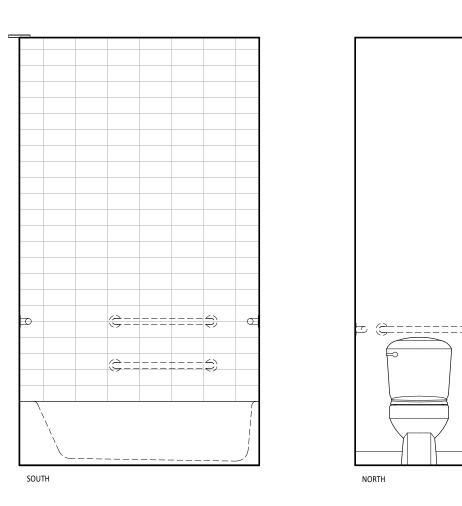
FEBRUARY 1, 2023

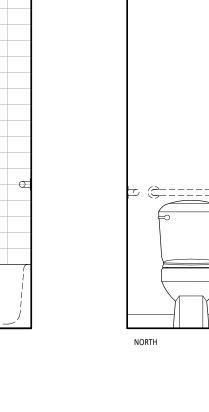
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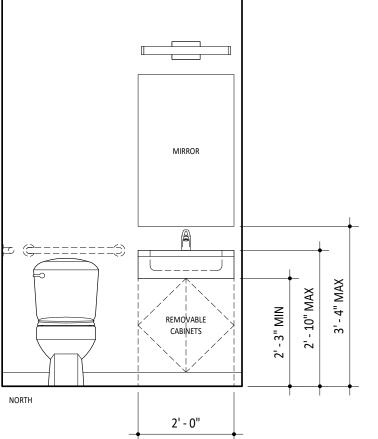
INTERIOR ELEVATION NOTES

- 1 IN TYPE A UNITS CABINETRY SHALL BE PERMITED UNDER THE WORK SURFACE PROVIDED THE CABINETRY CAN BE REMOVED WITHOUT REMOVAL OR REPLACEMENT OF THE WORK SURFACE; THE FLOOR FINISH EXTENDS UNDER THE CABINETRY; AND THE WALLS BEHIND AND SURROUNDING THE CABINETRY ARE FINISHED.
- 2 IN TYPE A UNITS CABINETRY SHALL BE PERMITED UNDER THE SINK PROVIDED THE CABINETRY CAN BE REMOVED WITHOUT REMOVAL OR REPLACEMENT OF THE SINK; THE FLOOR FINISH EXTENDS UNDER THE
- CABINETRY; AND THE WALLS BEHIND AND SURROUNDING THE CABINETRY ARE FINISHED. 3 IN TYPE A AND TYPE B UNITS, REINFORCEMENT SHALL BE PROVIDED FOR FUTURE INSTALLATION OF GRAB
- 4 IN TYPE A AND TYPE B UNITS CABINETRY SHALL BE PERMITTED UNDER THE LAVATORY PROVIDED THE CABINETRY CAN BE REMOVED WITHOUT REMOVAL OR REPLACEMENT OF THE LAVATORY; THE FLOOR FINISH EXTENDS UNDER THE CABINETRY; AND THE WALLS BEHIND AND SURROUNDING THE CABINETRY ARE FINISHED.
- 5 WATER SUPPLY AND DRAINPIPES UNDER LAVATORIES AND SINKS SHAL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES OR SINKS.









3 TYPE A BATH 1/2" = 1'-0"

1 ENLARGED FLOOR PLAN - UNIT 1A AND LOBBY 1/4" = 1'-0"

DEN

10' - 0"

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5' - 0"

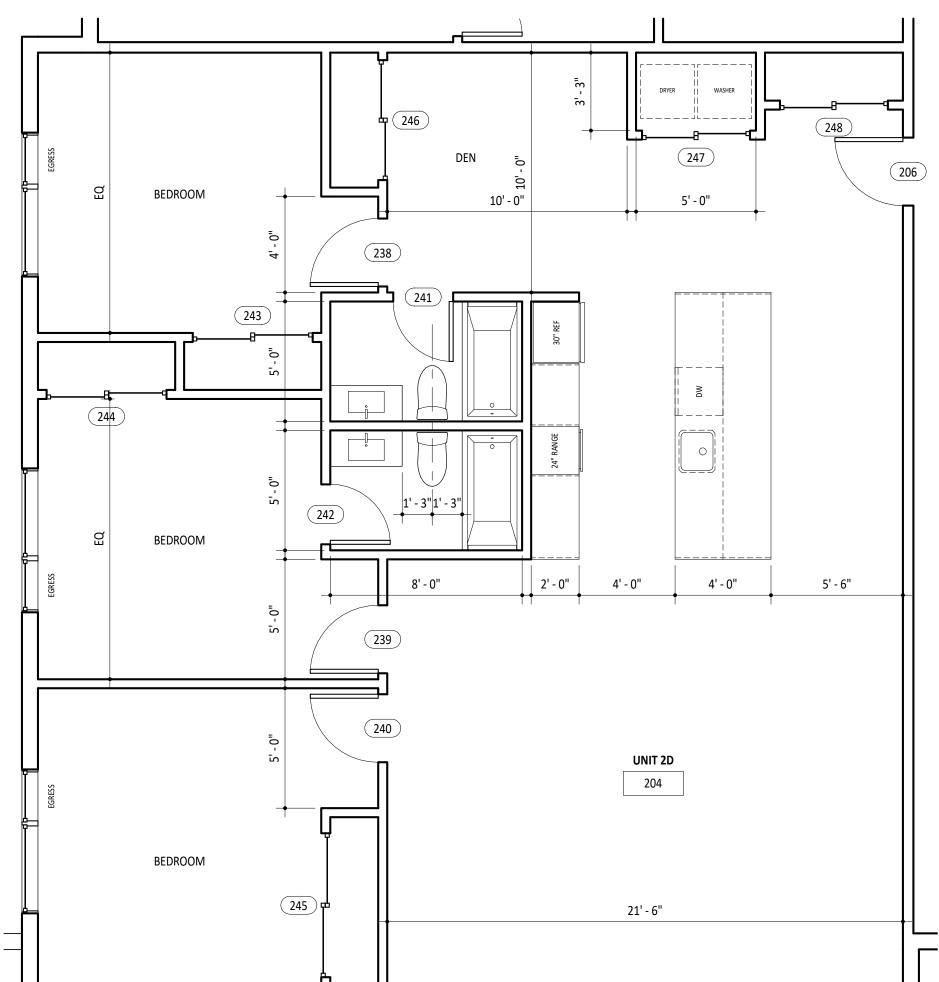
18' - 0"

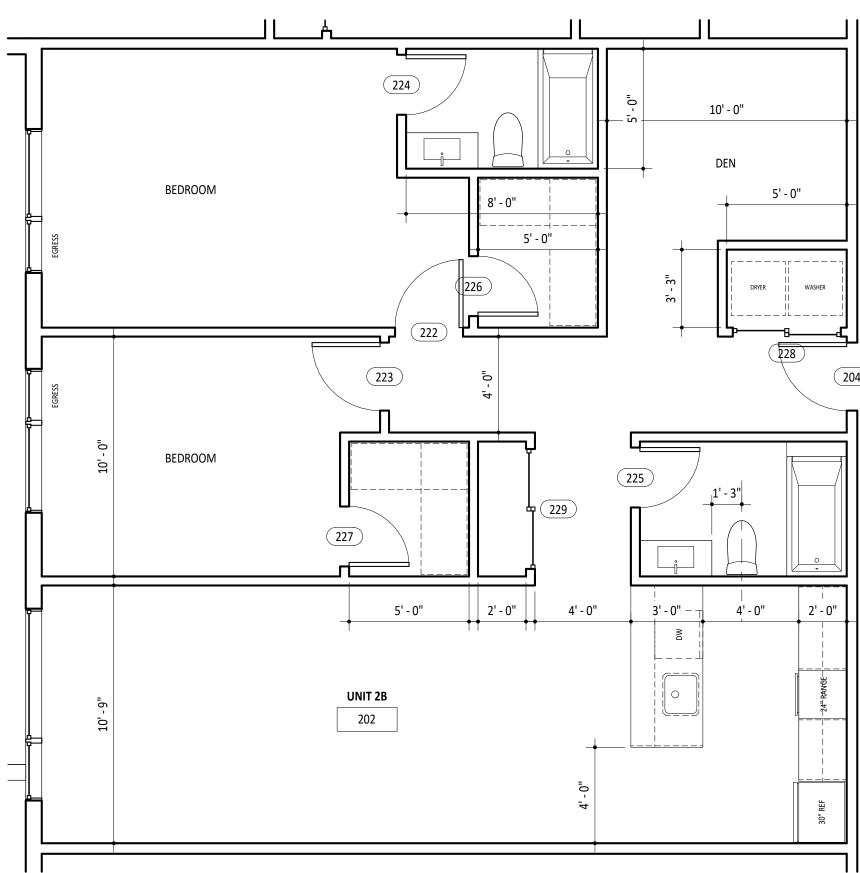
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106 TYPE A ACCESSIBLE

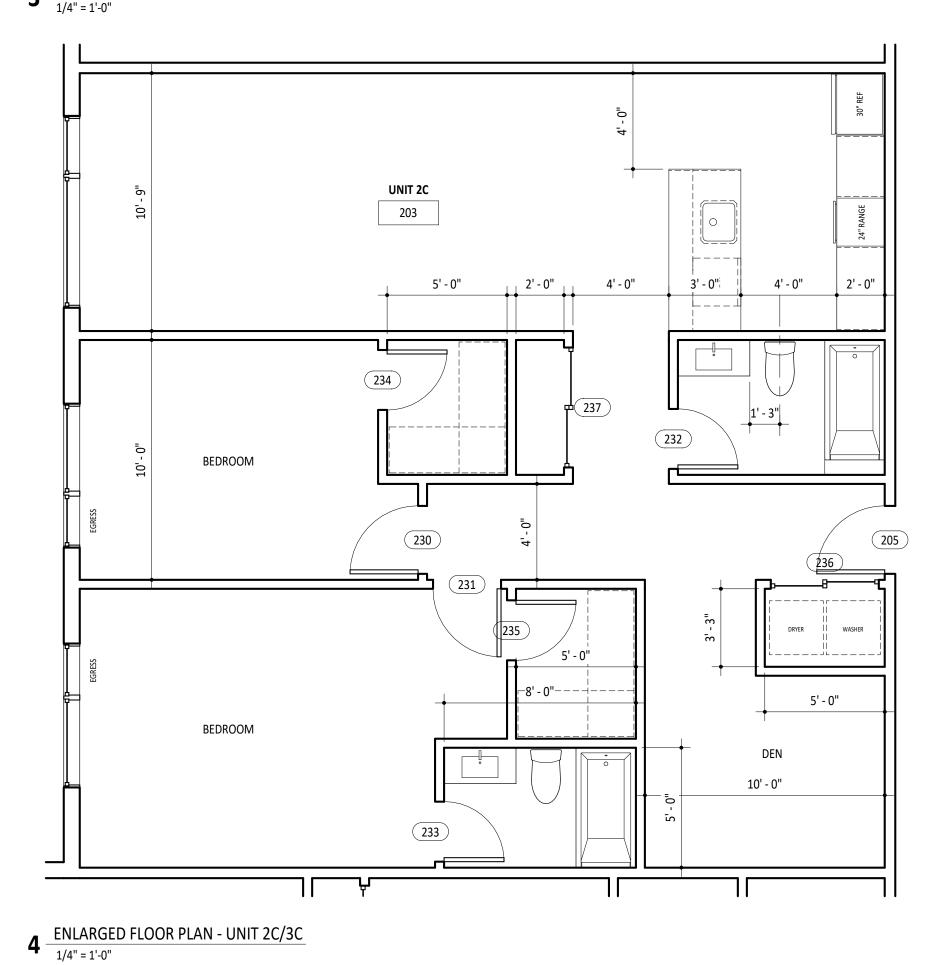
BEDROOM

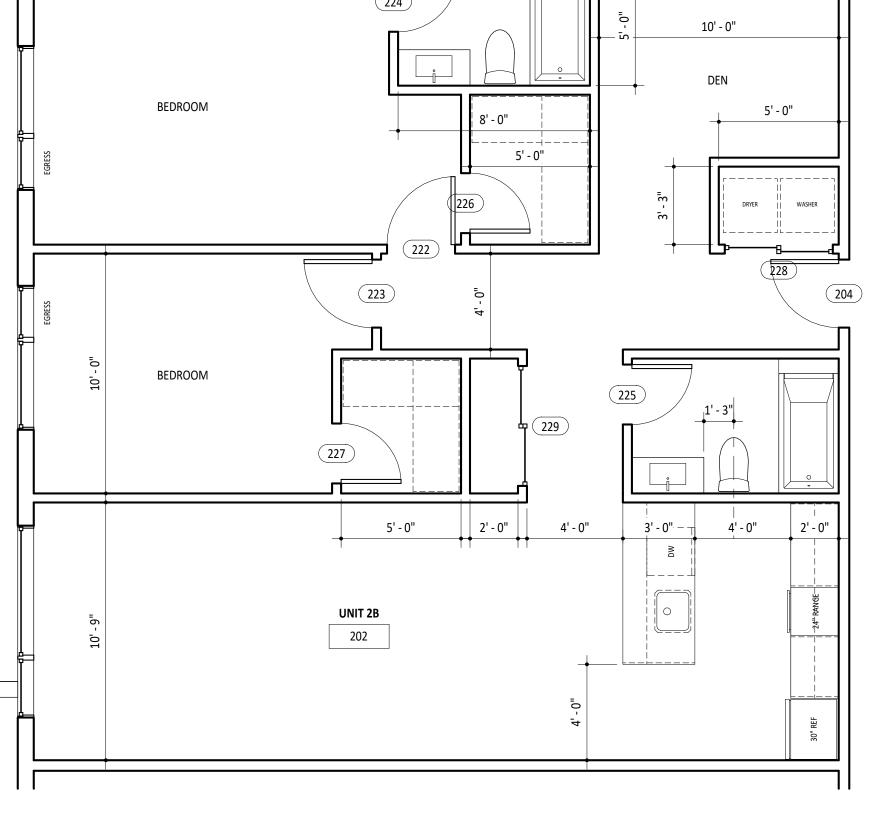
BEDROOM





3 ENLARGED FLOOR PLAN - UNIT 2B/3B 1/4" = 1'-0"

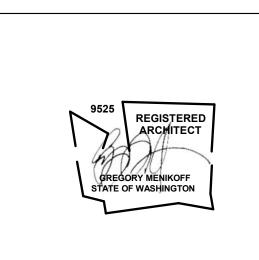




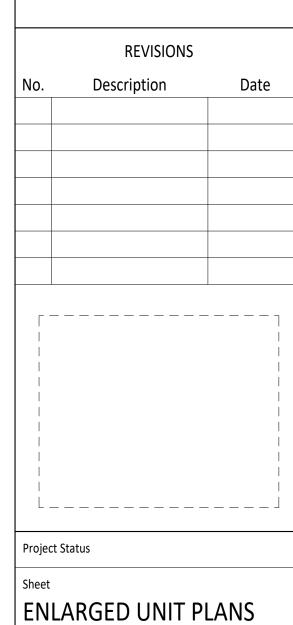
GENERAL PLAN NOTES

- 1 EVERY SLEEPING ROOM SHALL HAVE ONE OPERABLE EGRESS WINDOW WITH A 5.7 S.F. MIN. NET CLEAR OPENING, 20" CLEAR OPENING MIN. WIDTH AND 24" MIN. CLEAR OPEN HEIGHT.
- 2 ALL HANDRAIL AND HANDRAIL EXTENSIONS SHALL BE PLACED 36" ABOVE TREAD NOSING AND LANDINGS. HANDRAIL GRASPING DIMENSION SHALL BE 1-1/4" MINIMUM AND 2" MAXIMUM.
- 3 DRAFT STOPS SHALL BE INSTALLED IN FLOOR-CEILING ASSEMBLIES SO THAT CONCEALED SPACE DOES NOT EXCEED 1000 S.F. FIREBLOCKING SHALL BE PROVIDED.
- 4 ELECTRICAL OUTLETS IN ALL BATHROOMS, KITCHENS AND GARAGES SHALL BE PROVIDED WITH GFI
- 5 SHOWERS SHALL BE LIMITED TO 23 GALLONS PER MINUTE. LAVATORY FAUCETS SHALL BE LIMITED TO 25
- GALLONS PER MINUTE. TOILETS SHALL BE LIMITED TO 16 GALLONS PER FLUSH. 6 ALL PENETRATIONS THROUGH FLOORS AND CEILINGS SHALL BE CAULKED AND SEALED.
- 7 LOCKING DEVICES SHALL BE INSTALLED ON ALL OPERABLE WINDOWS AND SLIDING DOORS WITHIN 10' VERTICALLY OF GRADE.
- 8 ALL WINDOW AND DOOR HEADERS SHALL BE INSULATED WITH A MINIMUM OF R-10 INSULATION.
- 9 U-FACTORS OF FENERSTRATION PRODUCTS SHALL BE DETERMINED IN ACCORDANCE WITH NFRC 100, LABELED AND CERTIFIED BY MANUFACTURER

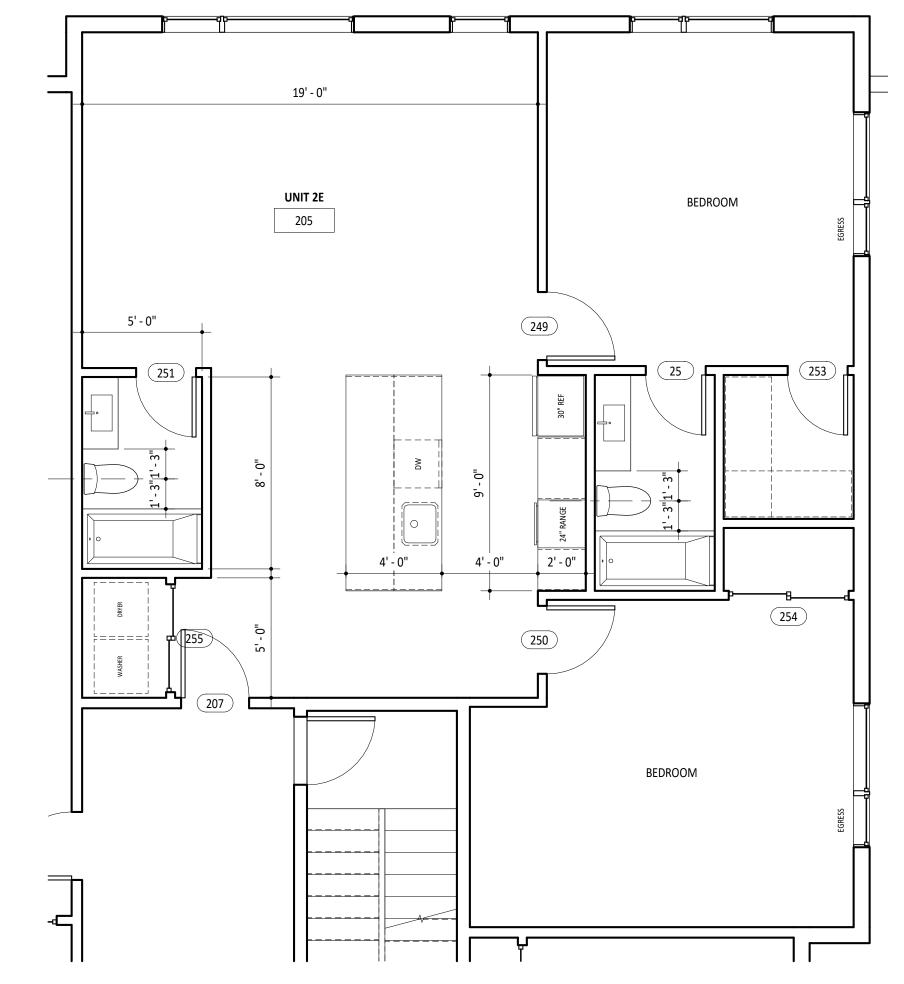




APARTMENTS GROVE SUNRISE 4726 GROVE ST

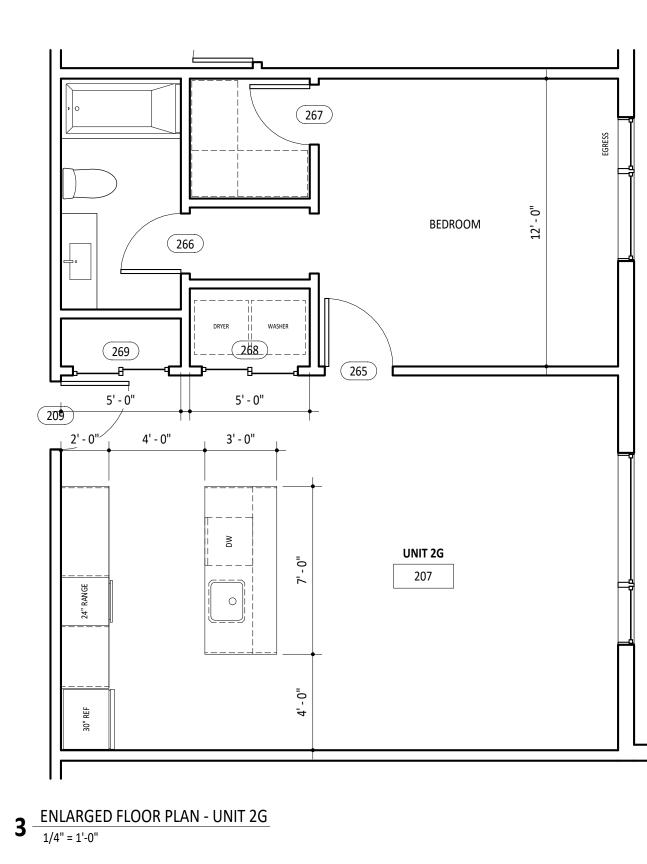


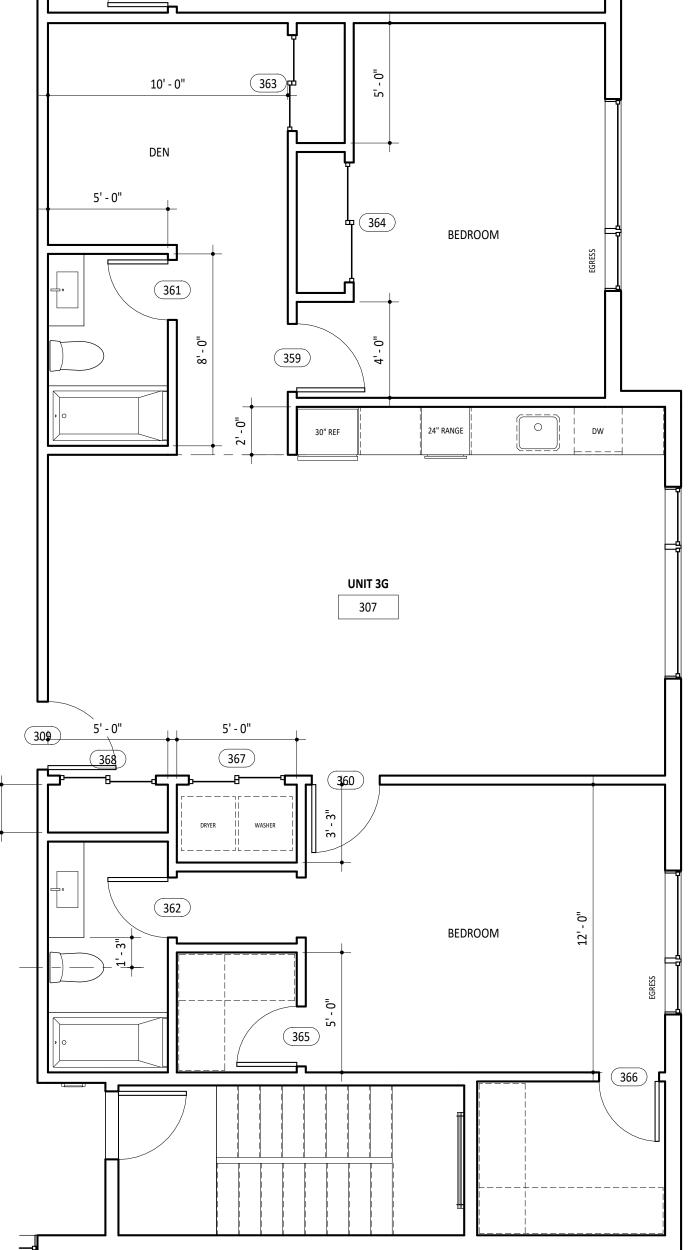
FEBRUARY 1, 2023



5 ENLARGED FLOOR PLAN - UNIT 2E/3E

1/4" = 1'-0"

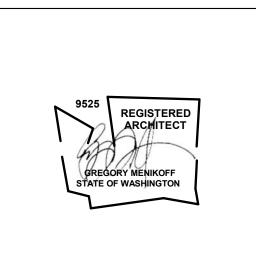




GENERAL PLAN NOTES

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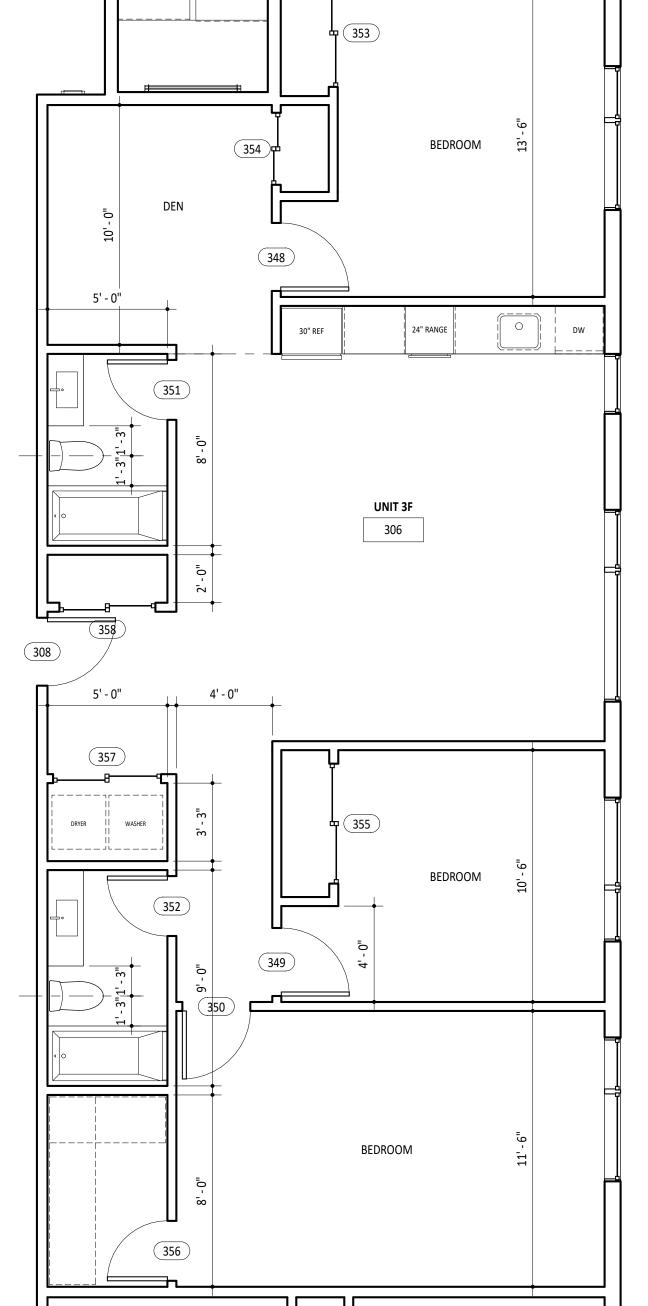


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ENLARGED UNIT PLANS

FEBRUARY 1, 2023







LIGHTING FIXTURE SCHEDULE

TYPE	COUNT	DESCRIPTION	MANUFACTURER	MODEL	WATTS	LOCATION	COMMENTS
E1	5	WALL-MOUNTED EXTERIOR LED	LUMASCAPE	LS121LED	12W	ENTRY	
EX1	7	SELF-ILLUMINATING EXIT SIGN	MAXILUM	ELX-605	2W		
FL1	29	FAN/LIGHT COMBO	PANASONIC	FV-0511VKL2	13.8W	UNIT BATH	
L1	32	4" RECESSED LED DOWNLIGHT	LIGHTOLIER	P4R	16.8W	CORRIDORS, LOBBY	IC-RATED W/ EMERGENCY BATTERY BALLAST
L2	229	5" SURFACE-MOUNTED LED DOWNLIGHT	LIGHTOLIER	S5R827K7AL	9.5W	UNIT LIVING, BEDROOM	
L3	28	5" SURFACE-MOUNTED LED DOWNLIGHT	LIGHTOLIER	S5R827K7AL-WR	9.5W	UNIT SHOWER	WET-RATED
L4	29	2' WALL-MOUNTED VANITY LIGHT	LITHONIA	FMVCCLS 24IN	18W	UNIT BATH	
L5	10	4' WALL-MOUNTED LED STAIR LIGHT	LITHONIA	WL4 30L LP840	28.2W	STAIRWAYS	BUILT-IN OCCUPANCY SENSOR, BUILT-IN EMERGENCY BALLAST,
							FIXTURE TO DIM TO 50% WHEN UNOCCUPIED
L6	8	SURFACE-MOUNTED LED GARAGE LIGHT	GARDCO	SVPG-A03-830	52 W	GARAGE	

TOTAL WATTAGE 4673.3W

REDUCED LIGHTING POWER

2018 WSEC, C406: TOTAL INTERIOR LIGHTING POWER (WATTS) OF THE BUILDING SHALL BE 75 PERCENT OR LESS OF THE LIGHTING POWER VALUES SPECIFIED IN TABLE C405.4.2(1) TIMES THE FLOOR AREA FOR THE BUILDING TYPES

TABLE C405.4.2(1): MULTIFAMILY - LPD = 0.41

BLDG FLOOR AREA

30,276 SF INTERIOR LIGHTING POWER ALLOWANCE 30,276 x 0.41 12,413.16W

REDUCED LIGHTING POWER ALLOWANCE 412,413.16 x 0.75 = **9309.87W**

4673.3W TOTAL BUILDING LIGHTING POWER



SUNRISE GROVE APARTMENTS 4726 GROVE ST, MARYSVILLE, WA 98270

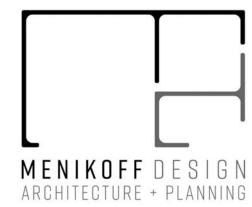
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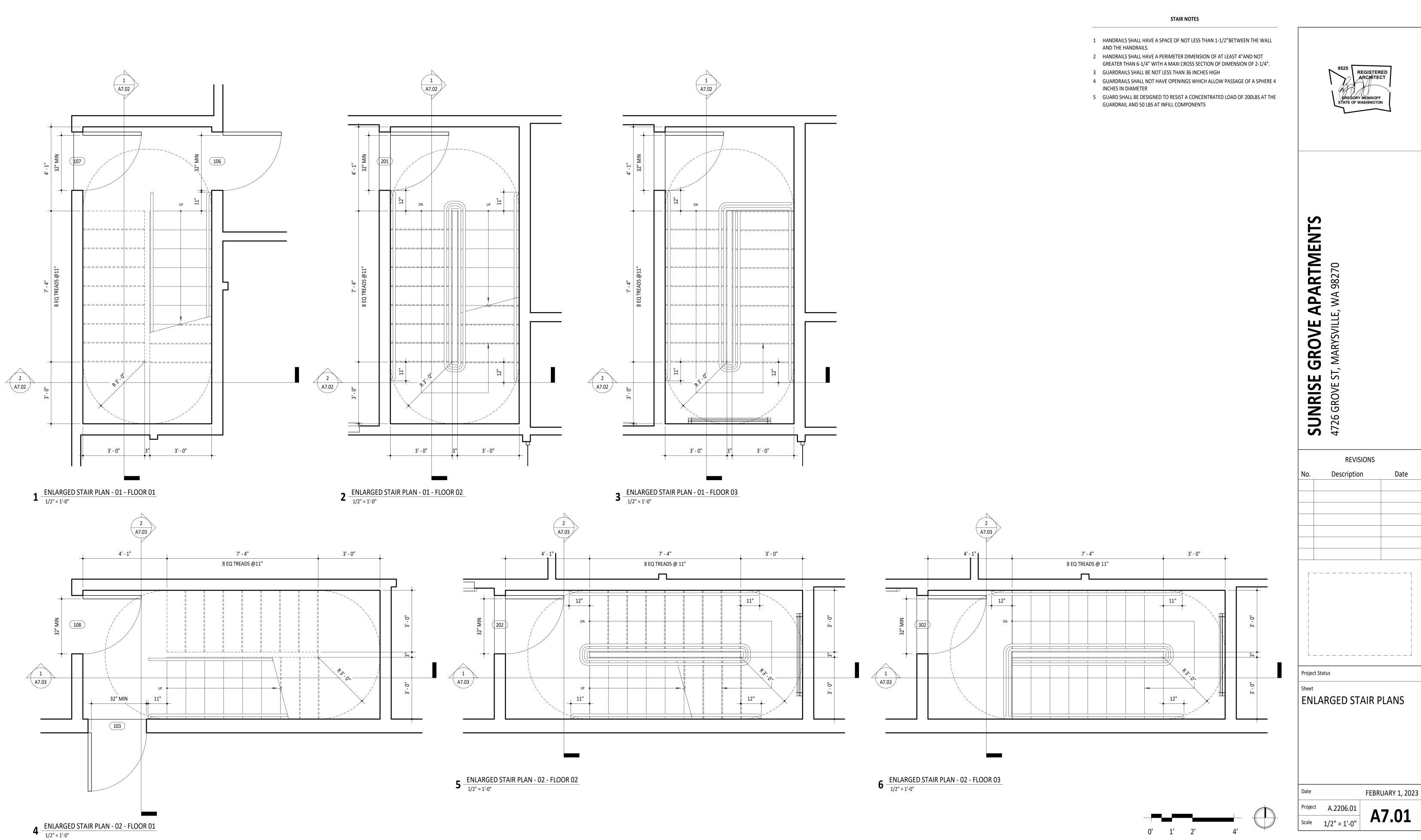
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REFLECTED CEILING PLANS

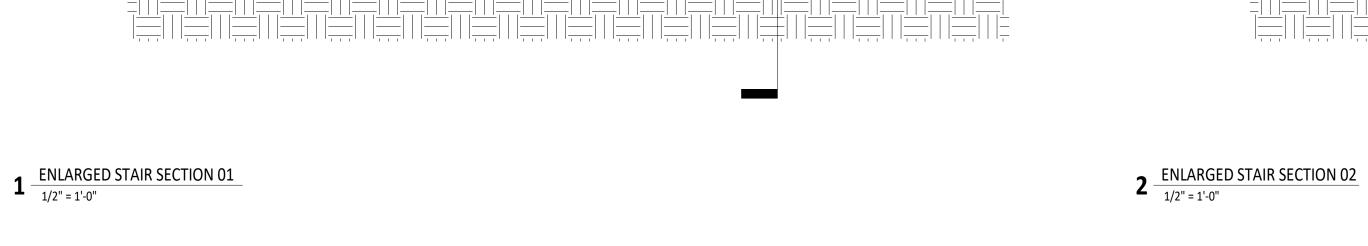
FEBRUARY 1, 2023 Project A.2206.01

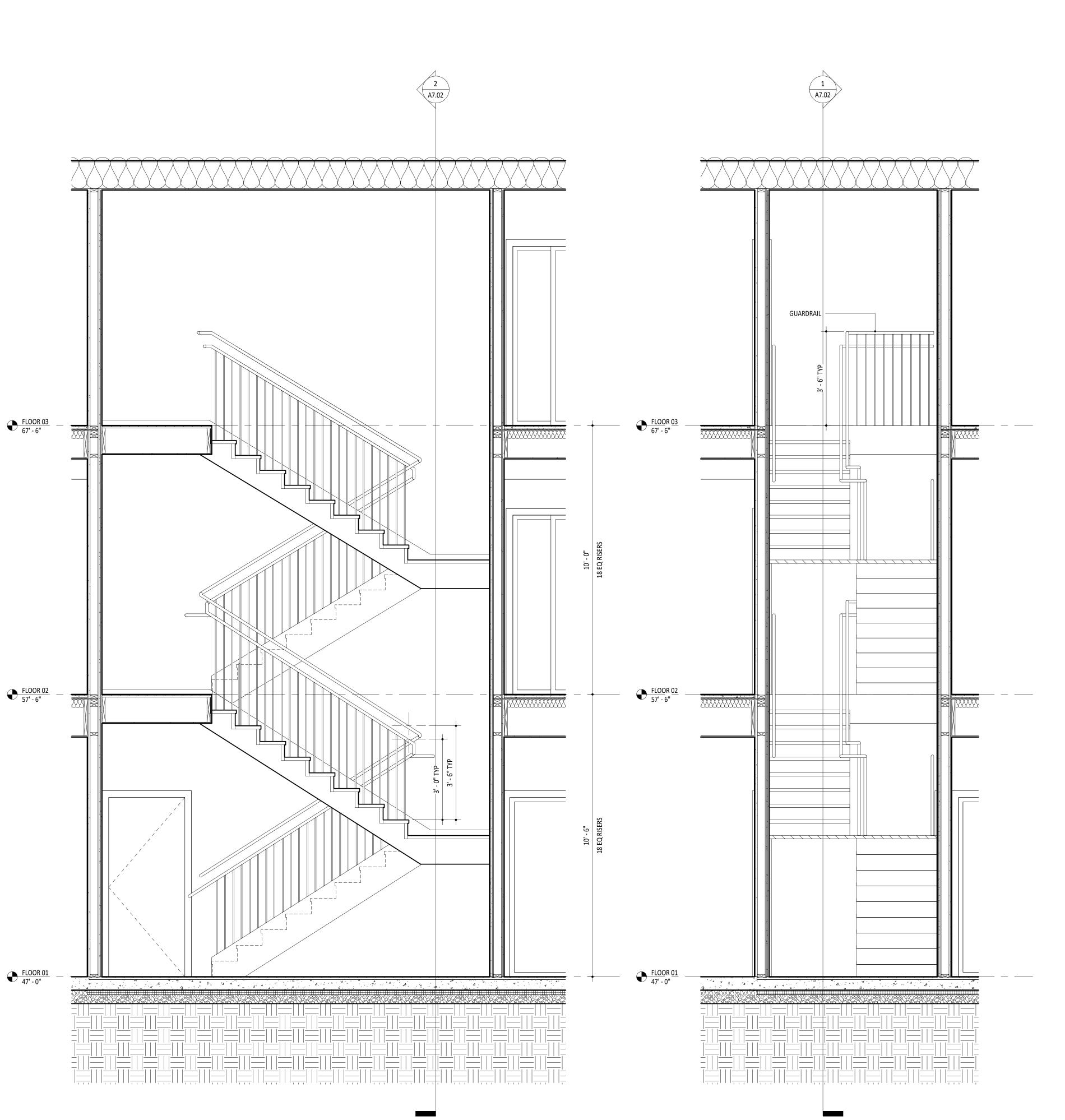
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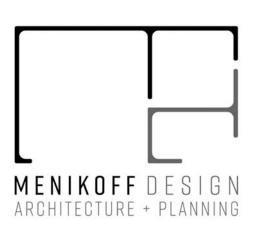
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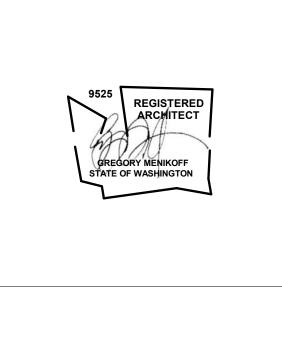












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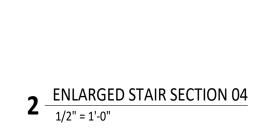
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ENLARGED STAIR
SECTIONS

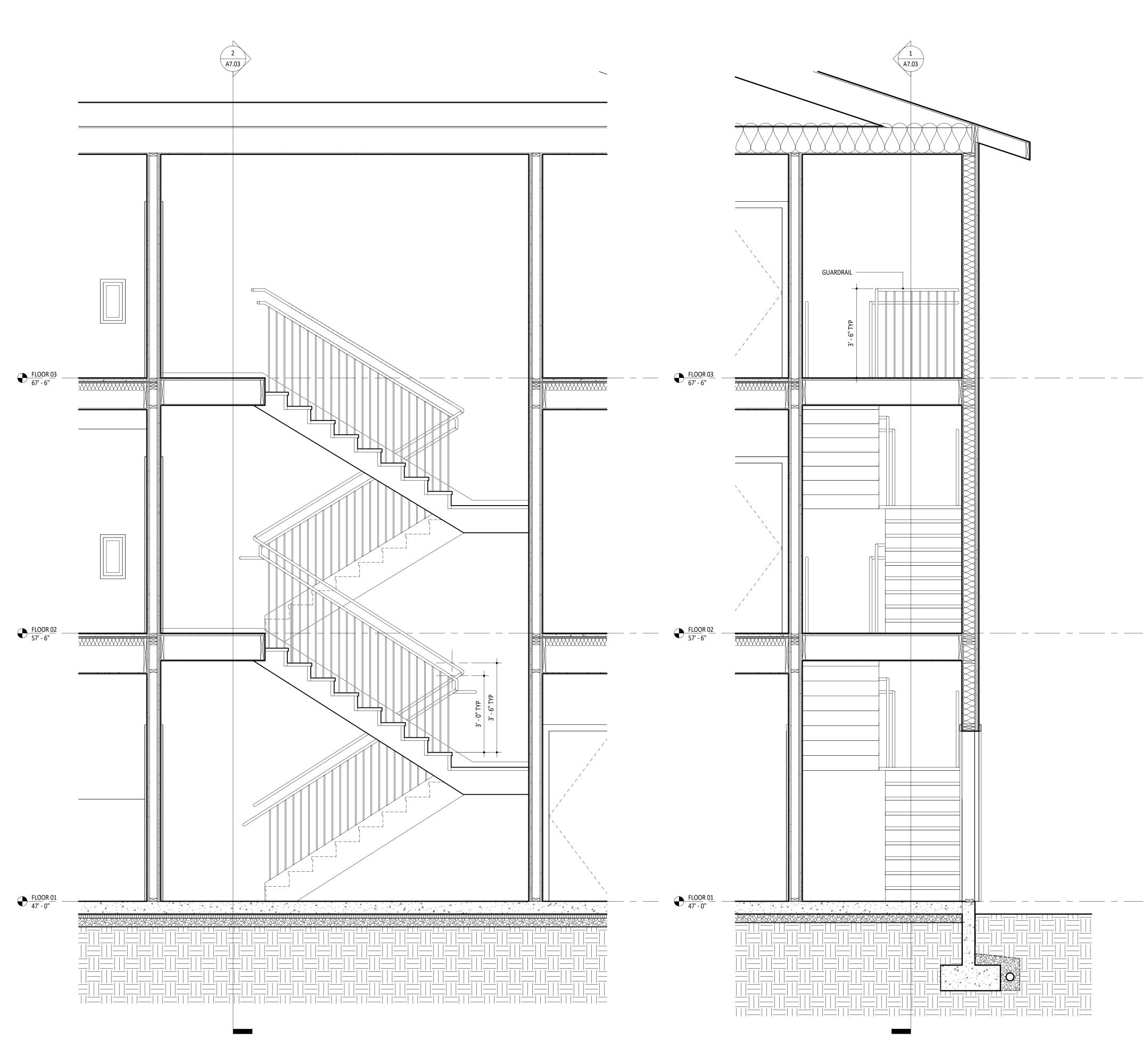
FEBRUARY 1, 2023

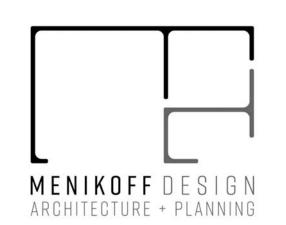
pject A.2206.01 **A7.0**ale 1/2" = 1'-0"

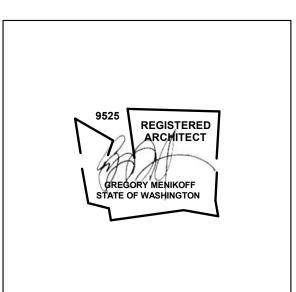
1 ENLARGED STAIR SECTION 03

1/2" = 1'-0"









SUNRISE GROVE APARTMENTS 4726 GROVE ST, MARYSVILLE, WA 98270

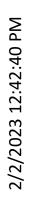
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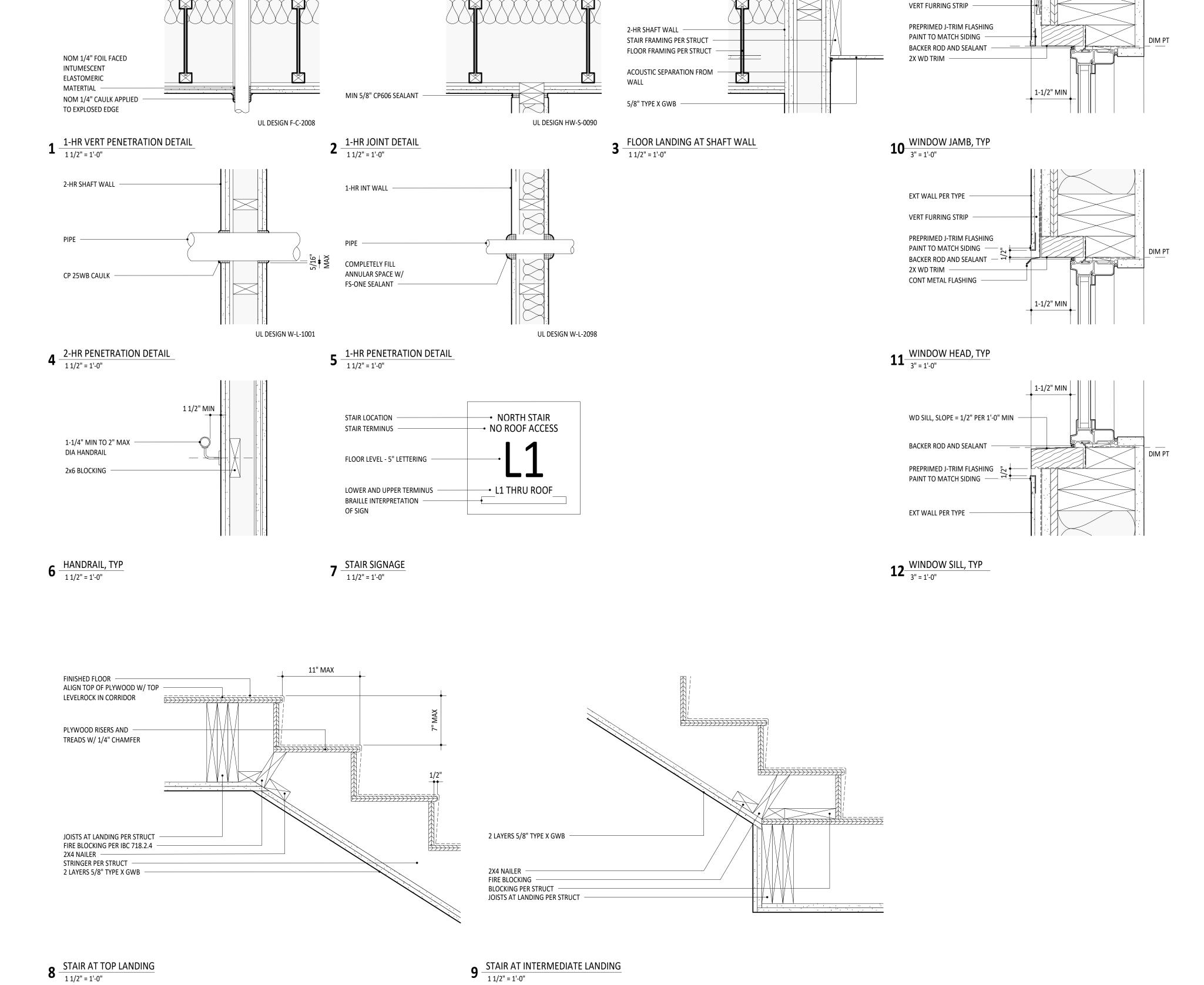
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SECTIONS

Scale 1/2" = 1'-0"

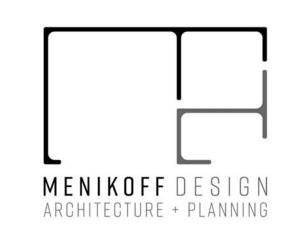
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EXT WALL PER TYPE

1-HR FLOOR ASSEMBLY



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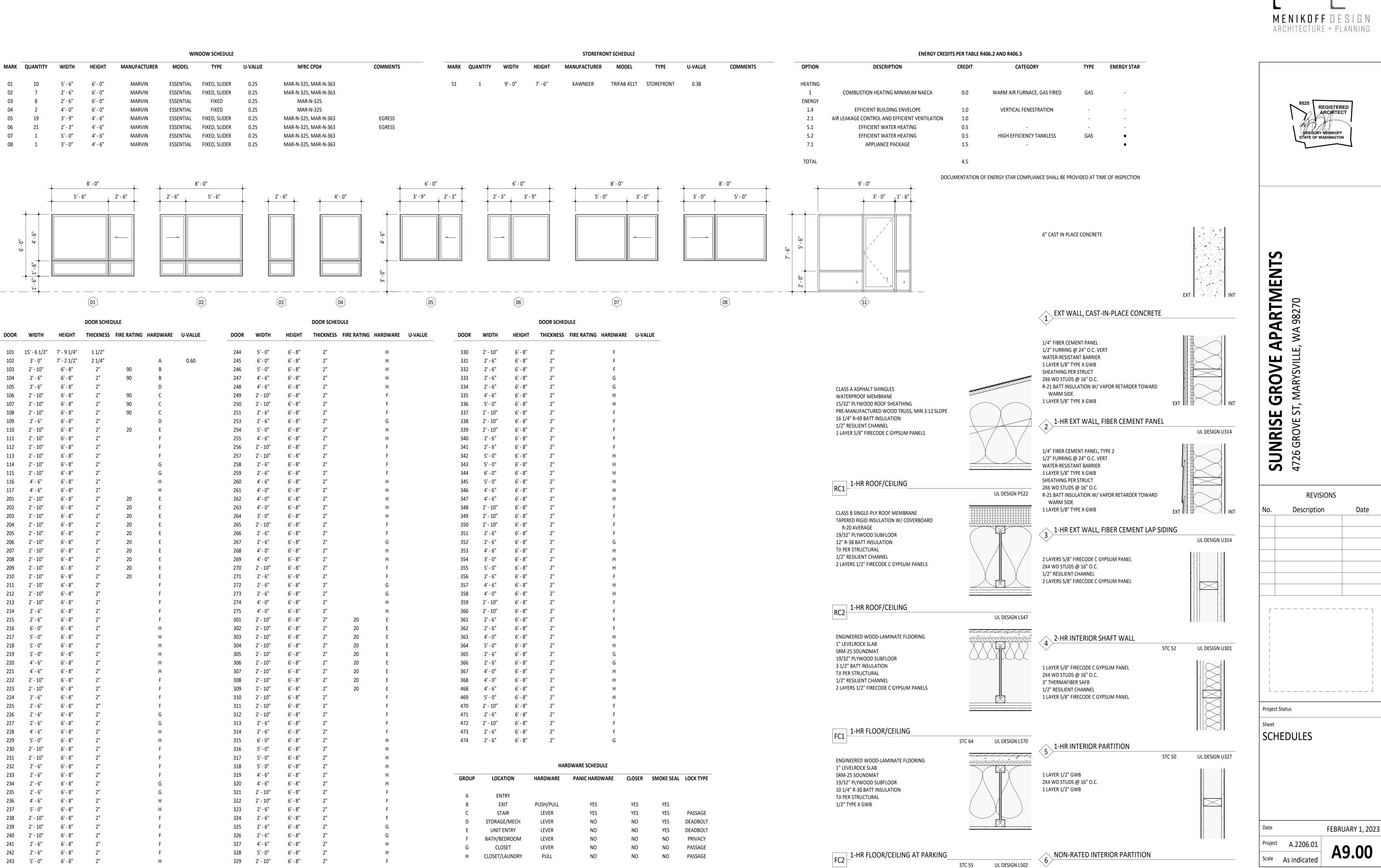
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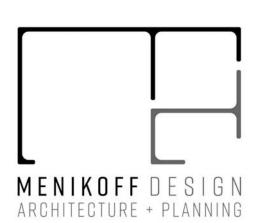
DETAILS

Project A.2206.01

Scale As indicated

FEBRUARY 1, 2023





GENERAL STRUCTURAL NOTES (300 TYP.)

- 2018 INTERNATIONAL BUILDING CODE WITH WASHINGTON STATE AMENDMENTS - RISK CATEGORY II

- CONSTRUCTION LOADS SHALL NOT EXCEED THE DESIGN LIVE LOAD PER SQUARE FOOT

GEOTECHNICAL PARAMETERS:

ANGLE DE ADINO	4 500 DOE
INIMUM FROST DEPTH:	18"

1,500 PSF STATIC (ASSUMED) MAXIMUM NET BEARING:

SEISMIC DESIGN DATA:

RISK CATEGORY: SEISMIC IMPORTANCE FACTOR le: MAPPED SPECTRAL RESPONSE ACCELERATION: S1: 0.396 g Ss: 1.111 g SITE CLASS: D (DEFAULT)

DESIGN SPECTRAL RESPONSE ACCELERATION: SDS: 0.889 g SD1: 0.502 g SEISMIC DESIGN CATEGORY: SEISMIC FORCE RESISTING SYSTEM: LIGHT FRAMED WOOD SHEAR WALLS

DESIGN BASE SHEAR: 36,005 LBS SEISMIC 85,011 LBS WIND SEISMIC RESPONSE COEFFICIENT: 0.137

RESPONSE MODIFICATION COEFFICIENT: 6.5 ANALYSIS PROCEDURE USED: **EQUIVALENT LATERAL FORCE**

WIND DESIGN DATA: ULTIMATE DESIGN WIND SPEED:

110 MPH RISK CATEGORY: EXPOSURE: B (SUBURBAN)

SNOW DESIGN DATA:

GROUND SNOW LOAD: SLOPED ROOF SNOW LOAD: 25 PSF UNBALANCED ROOF SNOW LOAD: N/A SNOW EXPOSURE FACTOR Ce: **IMPORTANCE FACTOR, Is:** 1.0 THERMAL FACTOR, Ct:

OTHER DESIGN VALUES USED:

TRUSSES	PER TRUSS MANUFACTURER
FRAMING LUMBER	STUDS: HEM FIR
STRUCTURAL LUMBER	DOUG FIR LARCH #2
GLULAM	24F-V4 DF/DF

LIVE LOADS:

ROOF **FLOOR** 40 PSF **GARAGE** 100 PSF

ALL MATERIALS, WORKMANSHIP, DESIGN, AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, AND THE INTERNATIONAL BUILDING CODE (2018 EDITION)

SPECIAL INSPECTIONS, TESTS, AND OBSERVATIONS:

BUILDING OFFICIAL INSPECTIONS SHALL BE PERFORMED IN ACCORDANCE WITH IBC SECTION 110:

- ANCHORAGE INSTALLATION OF POST INSTALLED ANCHORS: PERIODIC

- WOOD - PERIODIC INSPECTIONS:

- -- ANCHOR BOLTS, HOLD DOWNS, DRAG STRUT CONNECTIONS, NAILING SIZE AND
- VERIFICATION OF MOISTURE CONTENT OF STUDS, PLATES, BEAMS, AND JOISTS
- -- PREFABRICATED PANELIZED SHEAR WALL CONNECTIONS -- 2X AND 3X BOTTOM PLATES AND PLATE WASHERS
- CONTINUOUS INSPECTION:
- -- FIELD GLUING OPERATIONS

- STRUCTURAL OBSERVATIONS, WHEN REQUIRED BY THE PROVISIONS OF IBC CHAPTER 17, THE OWNER OR OWNER'S AUTHORIZED AGENT SHALL EMPLOY THE EOR TO PERFORM STRUCTURAL OBSERVATIONS. STRUCTURAL OBSERVATIONS DO NOT INCLUDE OR WAIVE THE RESPONSIBILITY FOR BUILDING DEPARTMENT INSPECTIONS OR THIRD PARTY SPECIAL INSPECTIONS, OR ANY OTHER INSPECTIONS REQUIRED BY CODE.

GENERAL:

LINES SHOWN ON DRAWINGS MAY BE ASSOCIATED WITH CAD MODELING AND MAY NOT REPRESENT REQUIRED OR ALLOWED JOINTS. SEE DETAILS FOR CLARIFICATION ON REQUIRED AND ALLOWED JOINTS. ALL FASTENERS INSTALLED IN TREATED LUMBER SHALL BE HOT-DIP GALVANIZED.

VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCH DRAWINGS, DO NOT SCALE PLANS

COORDINATE CURBS AND ELECTRICAL & MECHANICAL FLOOR OPENINGS AND PENETRATIONS WITH ARCHITECTURAL DRAWINGS

MOISTURE PROOF ALL BELOW GRADE WALLS PER ARCH SPECIFICATIONS

VERIFY POINT LOADS ARE SUPPORTED CONTINUOUSLY THROUGH FLOORS TO FTG

ALL EXTERIOR WALLS TO BE 2X6 @ 16" O.C., TYP UNO. ALL INTERIOR BEARING AND SHEAR WALLS TO BE 2X4 @ 16" O.C. UNO.

DEFERRED SUBMITTALS:

ALL PRE-ENGINEERED, PRE-FABRICATED, AND PRE-MANUFACTURED PRODUCTS DESIGNED BY OTHERS SHALL BE DESIGNED FOR ALL APPLICABLE LOADING AND DEFLECTIONS OUTLINED ABOVE. DESIGN SHALL CONFORM TO THE PROJECT DRAWINGS, REFERENCE STANDARDS, AND THE GOVERNING CODE.

DRAWINGS, CALCULATIONS, AND PRODUCT DATA FOR THE DESIGN AND FABRICATIONS OF DEFERRED SUBMITTAL ITEMS SHALL BEAR THE SEAL AND SIGNATURE OF A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF WASHINGTON WHO IS RESPONSIBLE FOR THE DESIGN OF THE ITEMS. DEFERRED SUBMITTALS SHALL BE SUBMITTED TO THE ARCHITECT/EOR AND BUILDING AND BUILDING DEPARTMENT AS REQUIRED FOR REVIEW PRIOR TO FABRICATION. EOR REVIEW IS FOR GENERAL CONFORMANCE WITH THE DESIGN CRITERIA AND PROJECT DRAWINGS. ALL NECESSARY HARDWARE, ANCHORAGE, AND BRACING SPECIFICATION SHALL BE FURNISHED BY THE MANUFACTURER. THE DESIGN AND CONNECTION TO THE PRIMARY STRUCTURE IS THE RESPONSIBILITY OF THE ENGINEER IN CHARGE OF THE DEFERRED SUBMITTAL ITEMS.

THE FOLLOWING ITEMS HAVE BEEN DEFERRED FOR SUBMITTAL TO THE BUILDING OFFICIAL UNTIL AFTER ISSUANCE OF THE BUILDING PERMIT:

- PREFABRICATED METAL-PLATE-CONNECTED WOOD TRUSSES

REINFORCED CONCRETE:

- REINFORCING STEEL SHALL BE DETAILED (INCLUDING HOOKS AND BENDS) IN ACCORDANCE WITH ACI 315-99 AND 318-14. LAP ALL REINFORCEMENTS IN ACCORDANCE WITH THE "REINFORCING SPLICE AND DEVELOPMENT LENGTH SCHEDULE" - SEE THIS SHEET. PROVIDE CORNER BARS AT ALL WALL INTERSECTIONS.
- 2. NO BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE SHALL BE FIELD BENT UNLESS SPECIFICALLY DETAILED OR APPROVED BY THE STRUCTURAL ENGINEER.
- 3. CONCRETE PROTECTION FOR REINFORCING STEEL SHALL BE AS FOLLOWS. UNLESS
- OTHERWISE NOTED: 3.1. FOOTINGS AND OTHER UNIFORMED SURFACES CAST AGAINST AND
- 3.2. FORMED SURFACES EXPOSED TO EARTH (WALLS BELOW GRADE),
- WATER OR WEATHER (#6 BARS OR SMALLER) 2"

ABBREVIATIONS:

AL - ALUMINUM CHK - CHECKERED CL - CENTERLINE CLR - CLEAR EA - EACH EF - EACH FACE FB - FLAT BAR GALV - GALVANIZED HORZ - HORIZONTAL LLV - LONG LEG VERT

O.C. - ON CENTER PL - PLATE RB - ROUND BAR RST - REINF. STEEL SST - STAINLESS STEEL T&B - TOP & BOTTOM

VERT - VERTICAL PJF - PREMOLDED JOINT FILLER

REINFORCEMENT SPLICE AND DEVELOPMENT SCHEDULE Ld, MINIMUM STRAIGHT MINIMUM LAP DEVELOPMENT LENGTHS SPLICE LENGTHS BAR | MINIMUM | TOP BARS | OTHERWISE CLASS A CLASS B Ld 1.3xLd 24" 32" Ld 1.3xLd #5 29" 38" 43" Ld 1.3xLd #6 55" 63" 1.3xLd 42" Ld

'MINIMUM" IF:

MIN COVER OF ONE BAR Ø AND MIN SPACING OF TWO BAR DIAMETERS MIN COVER ONE Ø, MIN SPACING OF ONE BAR Ø, AND TIES OR STIRRUPS LESS THAN 12" OF FRESH CONCRETE BELOW HORIZONTAL BARS "TOP BARS" IF:

MEETS CRITERIA FOR MIN EXCEPT 12" OR MORE FRESH CONC BELOW "OTHERWISE" IF: DOES NOT MEET REQUIREMENTS FOR MIN DEVELOPMENT LENGTH

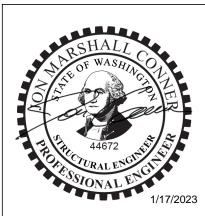
"CLASS A" IF: ONLY HALF OF BARS LAPPED AT ONE LOCATION AND TWICE THE REINFORCING FOR TENSION IS PROVIDED

"CLASS B" IF: LAP SPLICES DO NOT MEET CLASS A REQUIREMENTS

FRAMING NOTES:

- -ALL FRAMING MEMBERS AND BLOCKING SHALL BE 2" NOMINAL OR GREATER. ALL JOINTS IN SHEATHING SHALL OCCUR OVER AND BE FASTENED TO COMMON FRAMING MEMBERS OR COMMON BLOCKING.
- FOR BUNDLED END STUDS, STITCH NAIL TOGETHER WITH FASTENER DIAMETER AND SPACING TO MATCH THE BOTTOM PLATE NAILING TO RIM.
- ALL NAILS ARE COMMON, UNLESS NOTED OTHERWISE. NAILS SHALL BE DRIVEN WITH THE HEAD OF THE NAIL FLUSH WITH THE SURFACE OF THE SHEATHING. OTHER APPROVED FASTENERS SHALL BE DRIVEN AS REQUIRED FOR PROPER INSTALLATION OF THE FASTENER.
- FOUNDATION ANCHOR BOLTS SHALL HAVE A GALVANIZED STEEL PLATE WASHER UNDER EACH NUT NOT LESS THAN 0.229"x3"x3" IN SIZE. PROVIDE A MINIMUM 6" ANCHOR BOLT EMBEDMENT INTO THE FOUNDATION. PROVIDE AN ANCHOR BOLT AT EACH END OF EACH SILL PLATE WITH AN END DISTANCE OF 6".
- ALL SHEAR WALL PANELS SHALL NOT BE LESS THAN 4'X8', EXCEPT AT BOUNDARIES AND CHANGES IN FRAMING. ALL EDGES OF ALL PANELS SHALL BE SUPPORTED BY AND FASTENED TO FRAMING MEMBERS OR BLOCKING.
- NAILS SHALL BE LOCATED AT LEAST 3/8" FROM THE PANEL EDGES. REFERENCE SCHEDULE ABOVE AND PLAN FOR EDGE NAIL SPACING. NAILS AT THE INTERMEDIATE FRAMING MEMBERS SHALL BE THE SAME SIZE AS NAILS SPECIFIED FOR THE PANEL EDGE NAILING. THE MAXIMUM NAIL SPACING AT INTERMEDIATE FRAMING MEMBERS IS 12" OC. THE MAXIMUM STUD SPACING IS 16" OC.
- ALL FRAMING CLIPS AND HARDWARE MUST BE INSTALLED PER THE MANUFACTURER'S INSTALLATION INSTRUCTIONS TO OBTAIN THE MAXIMUM HARDWARE CAPACITY.
- EDGE NAILING IS REQUIRED IN ALL HOLDOWN POSTS. EDGE NAILING IS REQUIRED TO EACH STUD USED IN BUILT UP HOLDOWN POSTS.
- NAILS AT ALL PANEL EDGES SHALL BE STAGGERED.
- PROVIDE HOT DIPPED GALVANIZED NAILS AND FRAMING CLIPS AT PRESSURE TREATED LUMBER
- TYPICAL TOP PLATE SPLICE: PROVIDE 48" LAP W/ 16d NAILS @, 6" O.C. STAGGERED
- SUPPORT ALL BEAMS WITH (2) 2X STUDS MINIMUM, UNO.
- ALL DUCTS, CHASES, PIPE, AND CONDUIT OPENINGS SHALL BE PER ARCHITECTURAL, MECHANICAL, PLUMBING, & ELECTRICAL DRAWINGS. CONTACT EOR FOR APPROVAL OF ANY OPENING IN FLOOR SHEATHING OR FRAMING MEMBERS NOT SHOWN IN THE STRUCTURAL DRAWINGS. REFER TO ISHEETI FOR ACCEPTABLE OPENINGS IN FRAMING
- FULLY BLOCK FLOOR CAVITY AT ALL POINT LOADS. VERIFY POINT LOADS ARE SUPPORTED CONTINUOUSLY THROUGH FLOORS TO THE FOUNDATION

FASTENING SCHEDULE (IRC R602.3(1)) BUILDING ELEMENTS FASTENER TYPE & QTY SPACING & LOCATION				
DOILDING ELLIVIENTS		STACING & LOCATION		
	ROOF SCHEDULE			
1.BLOCKING BETWEEN CEILING JOISTS OR RAFTERS TO TOP PLATE	(3) 8d COMMON (2 $\frac{1}{2}$ " X 0.131")	TOE NAIL		
2. CEILING JOISTS TO TOP PLATE	(3) 8d COMMON (2 $\frac{1}{2}$ " X 0.131")	PER JOIST, TOE NAIL		
3. CEILING JOISTS NOT ATTACHED TO PARALLEL, LAPS OVER PARTITIONS	(3) 16d COMMON (3 $\frac{1}{2}$ " X 0.162")	FACE NAIL		
5. RAFTER OR ROOF TRUSS TO TOP PLATE	(3) 16d BOX (3 ½" X 0.135")	(2) TOE NAILS ON ONE SIDE, 1 TOE NAIL ON OPPOSITE SIDE		
6. ROOF RAFTERS TO RIDGE, VALLEY/HIP RAFTER/ROOF RAFTER TO RIDGE BEAM	(4) 16d BOX (3 ½" X 0.135")	TOE NAIL		
	(3) 16d BOX (3 $\frac{1}{2}$ " X 0.135")	END NAIL		
	WALL SCHEDULE			
7. STUD TO STUD	10d BOX (3" X 0.128")	16" O.C. FACE NAIL		
8. BUILT UP HEADER (2" TO 2" HEADER W/SPACER)	16d BOX (3 ½" X 0.135")	12" O.C EACH EDGE FACE NAIL		
9. CONTINUOUS HEADER TO STUD	(4) 8d COMMON (2 $\frac{1}{2}$ " X 0.131")	TOE NAIL		
10. TOP PLATE TO TOP PLATE	10d BOX (3" X 0.128")	12" O.C. FACE NAIL		
11. DOUBLE TOP PLATE SPLICE	(12) 10d BOX (3" X 0.128")	FACE NAIL, EA SIDE OF JOINT (24" SPLICE		
12. BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST, OR BLOCKING	16d BOX (3 ½" X 0.135")	12" O.C. FACE NAIL		
13. TOP/BOT PLATE TO STUD	(4) 8d COMMON (2 ¹ / ₂ " X 0.131")	TOE NAIL		
	(3) 10d BOX (3" X 0.128")	END NAIL		
14. TOP PLATES, LAPS AT CORNERS/INTERSECTIONS	(3) 10d BOX (3" X 0.128")	FACE NAIL		
	FLOOR SCHEDULE			
15. JOIST TO SILL, TOP PLATE OR GIRDER	(3) 8d COMMON (2 ½" X 0.131")	TOE NAIL		
16. RIM / BAND JOIST OR BLOCKING TO SILL/TOP PLATE	8d COMMON (2 ½" X 0.131")	6" O.C. TOE NAIL		
17. LEDGER SUPPORTING JOISTS OR RAFTERS	(4) 16d BOX (3 ½" X 0.135")	EA JOIST/RAFTER, FACE NAIL		
18. BRIDGING OR BLOCKING TO JOIST	(2) 8d COMMON (2 ½" X 0.131")	EA END, TOE NAIL		
18. SHEAR WALLS	PER PLANS	PER PLANS		
19. ROOF & FLOOR DIAPHRAGMS	PER PLANS	PER PLANS		





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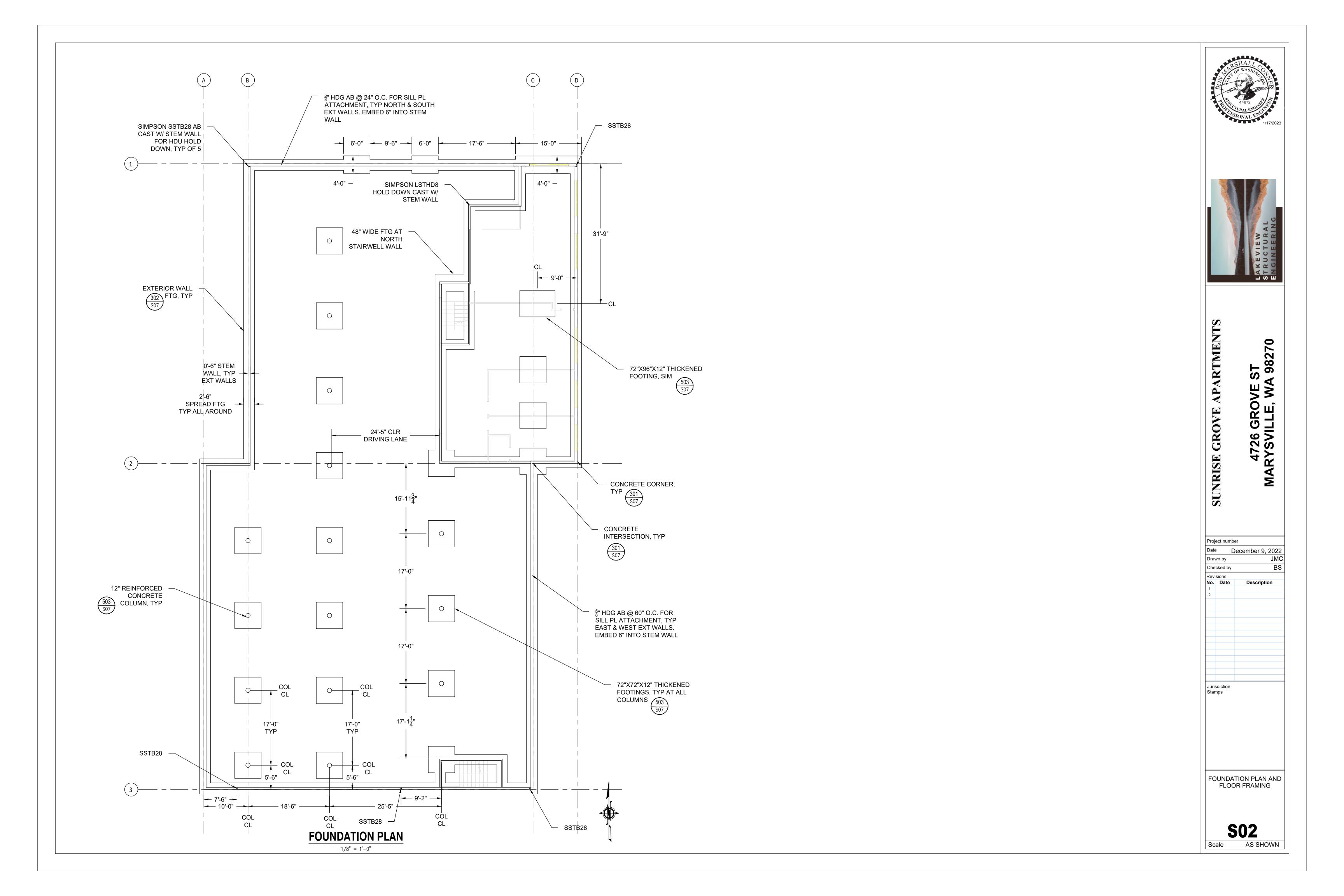
December 9, 2022 Checked by Revisions No. Date Description Jurisdiction Stamps

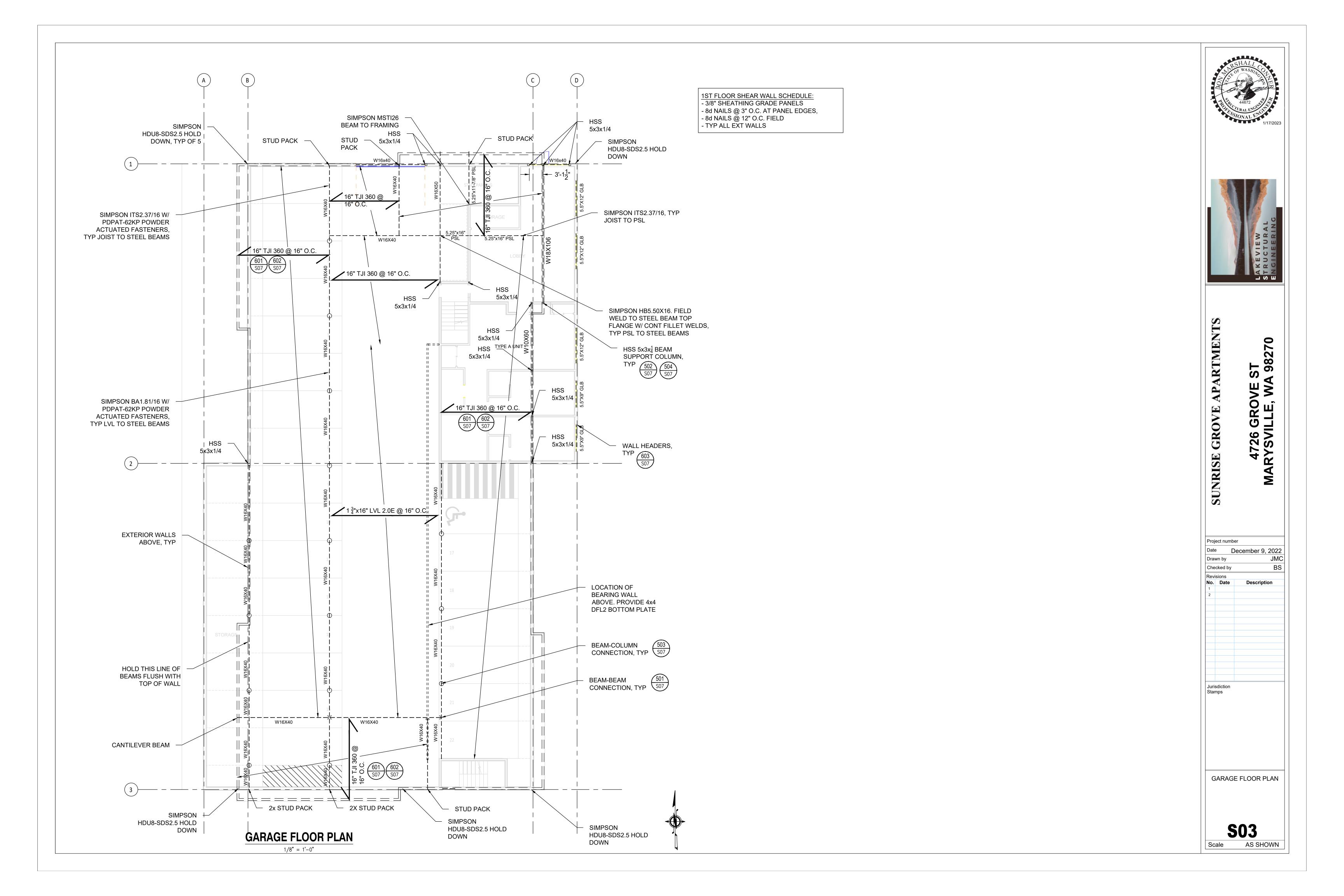
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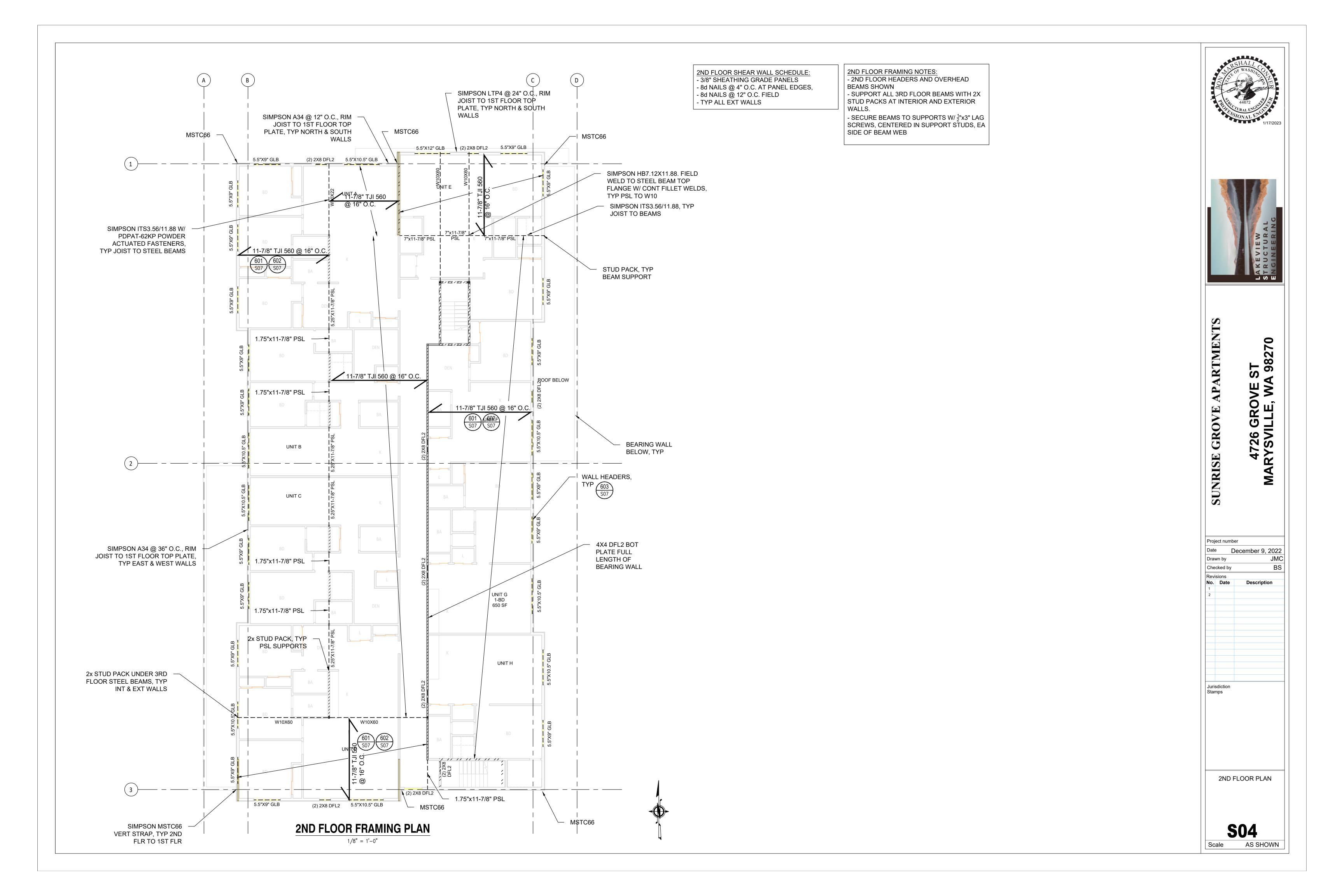
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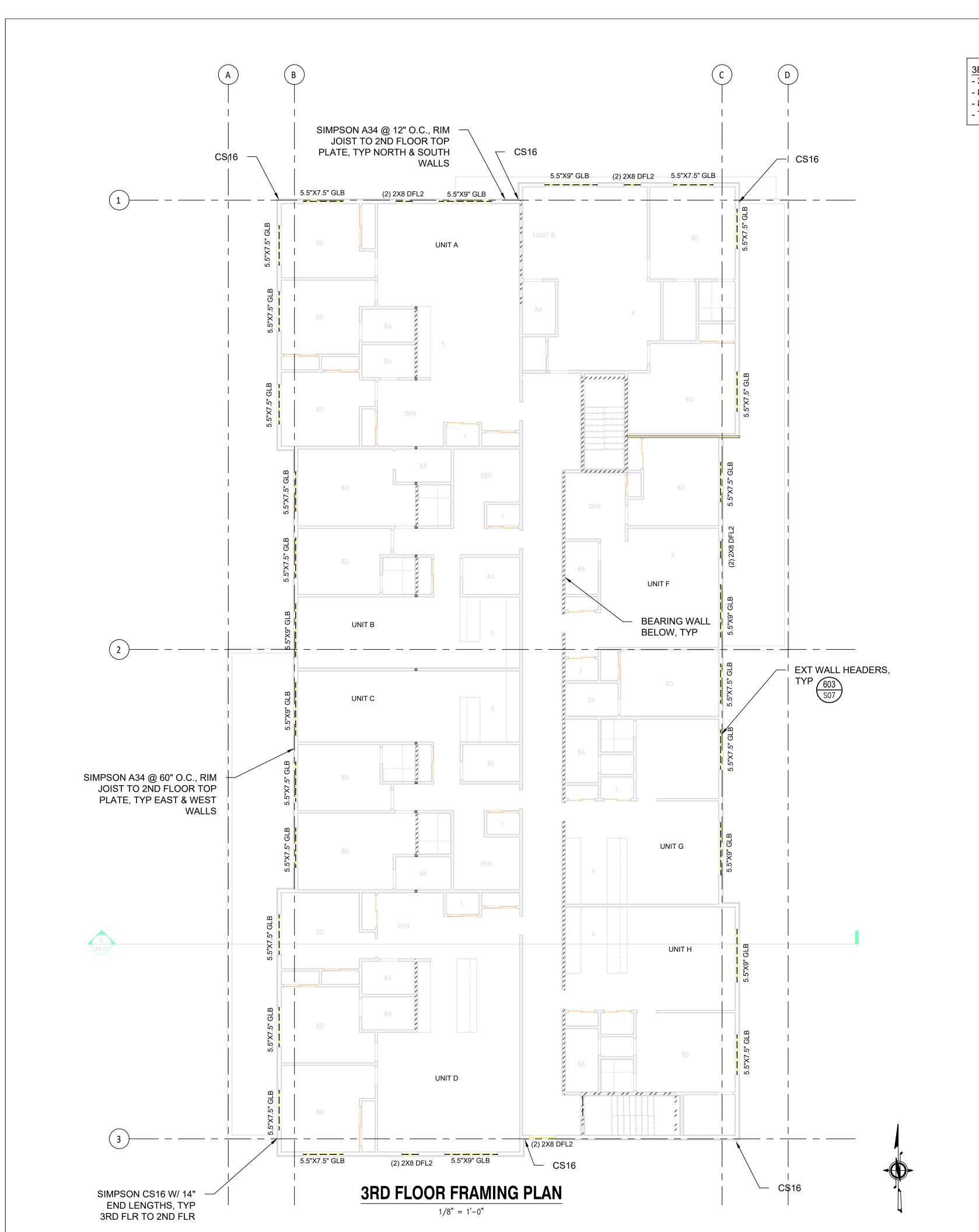
NOTES

1/8" = 1'-0"









3RD FLOOR SHEAR WALL SCHEDULE:
- 3/8" SHEATHING GRADE PANELS
- 8d NAILS @ 6" O.C. AT PANEL EDGES,
- 8d NAILS @ 12" O.C. FIELD
- TYP ALL EXT WALLS





SUNRISE GROVE APARTMEN

4726 GROVE ST RYSVILLE, WA 98270

Project number

Date December 9, 2022

Drawn by JMC

Checked by BS

Revisions

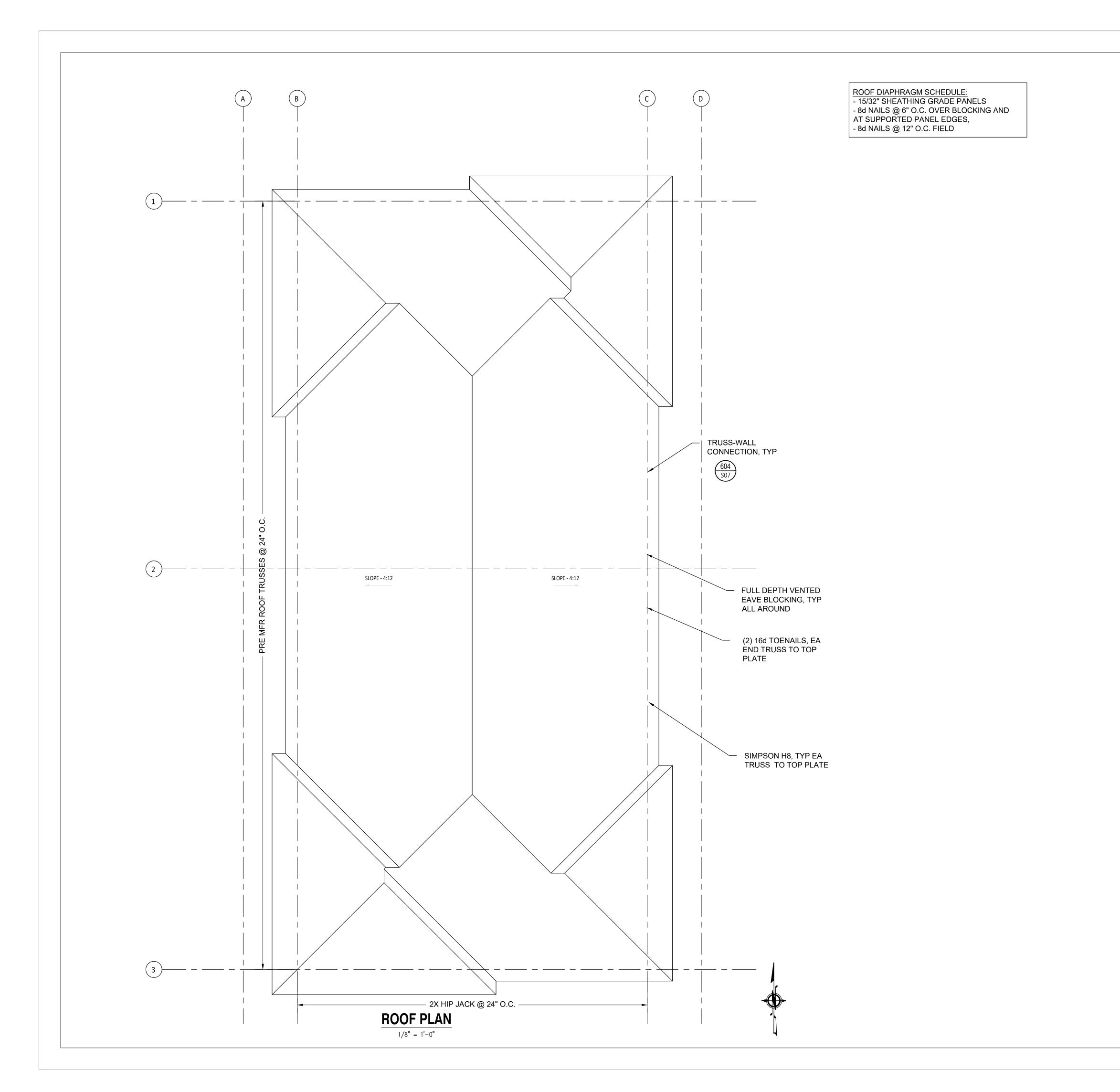
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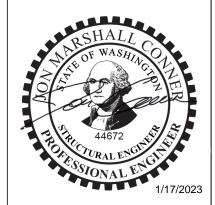
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Jurisdiction
Stamps

3RD FLOOR PLAN

Scale AS SHOWN







SUNRISE GROVE APARTMENTS

4726 GROVE ST MARYSVILLE, WA 982

Proje	ct numbe	er
Date	D	ecember 9, 20
Draw	n by	J
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Revis	sions	
No.	Date	Description
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ROOF PLAN

S06

Scale AS SHOWN

