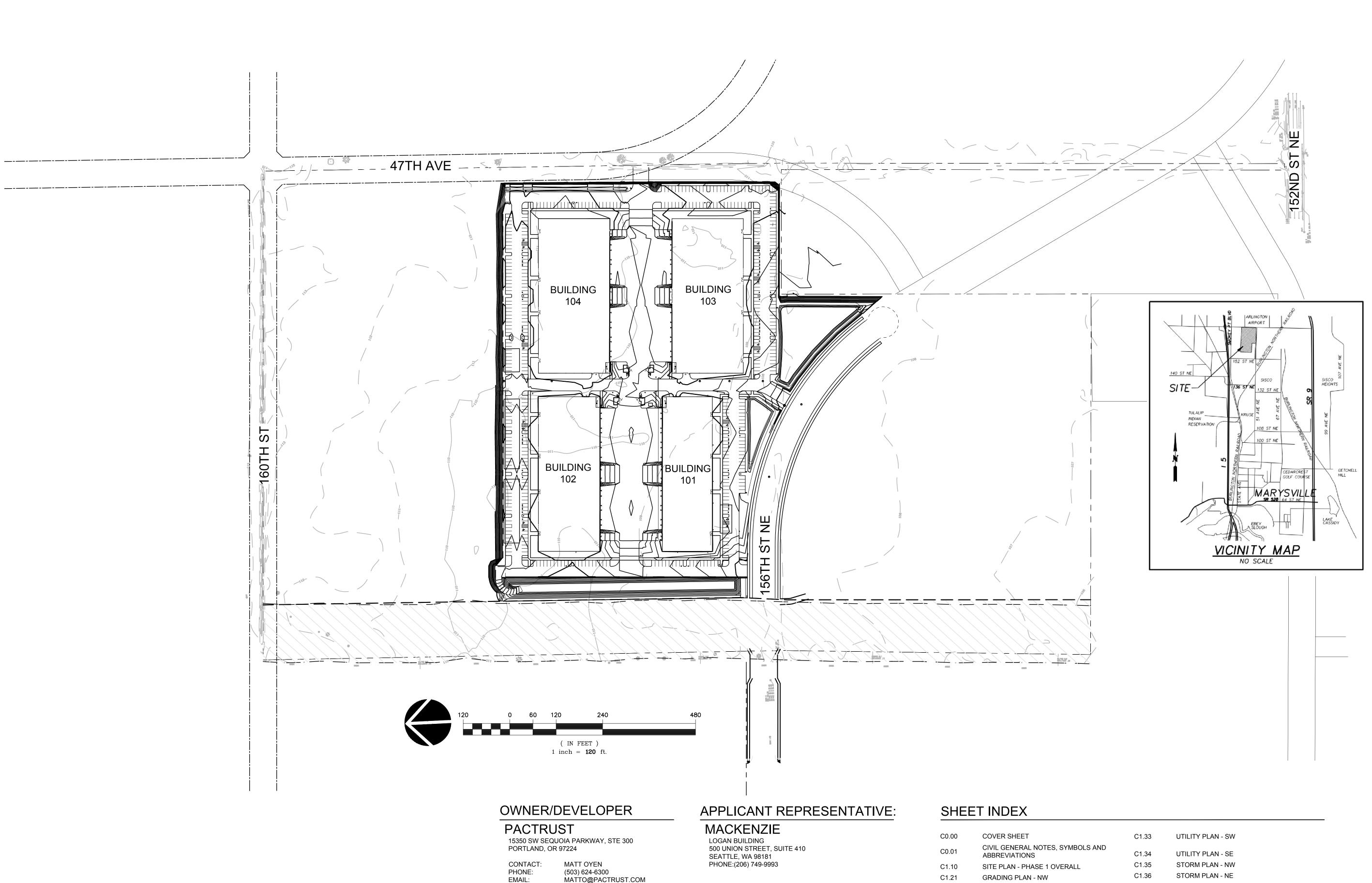
MARYSVILLE CORPORATE CENTER

BINDING SITE PLAN





503.224.9566 Vancouver, WA 360.695.7879 Seattle, WA 206.749.9993 www.mcknze.com

MACKENZIE

Client

PACTRUST

MARYSVILLE CORPORATE CENTER

BINDING SITE PLAN (PHASE 1)

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	REVISION SCHEDULE			
Delta	Issued As	Issue Date		

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Know what's below. Call before you dig.

STORM PLAN - SW

STORM PLAN - SE

GRADING PLAN - NE

GRADING PLAN - SW GRADING PLAN - SE UTILITY PLAN - NW

UTILITY PLAN - NE

GENERAL NOTES

- 1. ALL WORK SHALL CONFORM TO THE CURRENT STANDARD SPECIFICATIONS AND REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION AND THE CURRENT AMERICAN PUBLIC WORKS ASSOCIATION STANDARDS FOR PUBLIC WORKS CONSTRUCTION
- 2. THE SURVEY INFORMATION SHOWN AS A BACKGROUND SCREEN IS BASED ON A SURVEY BY OTHERS AND IS SHOWN FOR REFERENCE ONLY. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS WITH ITS OWN RESOURCES PRIOR TO START OF ANY CONSTRUCTION
- CONTRACTOR MUST COMPLY WITH LOCAL AND STATE REQUIREMENTS TO NOTIFY ALL UTILITY COMPANIES FOR LINE LOCATIONS SEVENTY-TWO (72) HOURS (MINIMUM) PRIOR TO START OF WORK. DAMAGE TO UTILITIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE
- 4. CONTRACTOR SHALL ADJUST ALL STRUCTURES IMPACTED BY CONSTRUCTION IMPROVEMENTS TO NEW FINISH GRADES
- 5. REQUEST BY THE CONTRACTOR FOR CHANGES TO THE PLANS MUST BE APPROVED BY THE ENGINEER.
- ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY REQUIRES A PUBLIC WORKS PERMIT
- 7. CONTRACTOR SHALL PROVIDE THE ENGINEER OF RECORD WITH AS-BUILT PLANS AT LEAST 2 WEEKS PRIOR TO REQUESTING AGENCY SIGN OFF ON PERMITS FOR OCCUPANCY
- 8. CONTRACTOR SHALL PERFORM ALL THE WORK SHOWN ON THE DRAWINGS AND ALL INCIDENTAL WORK NECESSARY TO COMPLETE THE PROJECT

SITE DEMOLITION NOTES

- 1. COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS FOR DEMOLITION OPERATIONS AND SAFETY OF ADJACENT STRUCTURES AND THE PUBLIC
- 2. INSTALL EROSION CONTROL MEASURES AND TEMPORARY FENCING PRIOR TO ANY **DEMOLITION ACTIVITIES**
- 3. MITIGATE DUST POLLUTION DUE TO DEMOLITION ACTIVITIES
- 4. PROTECT ALL EXISTING STRUCTURES, UTILITIES, LANDSCAPE AND OTHER ELEMENTS THAT ARE NOT DESIGNATED FOR REMOVAL. ANY DAMAGE TO EXISTING IMPROVEMENTS NOT DESIGNATED FOR REMOVAL SHALL BE REPAIRED/REPLACED AT THE CONTRACTOR'S **EXPENSE**
- 5. DO NOT BEGIN REMOVAL UNTIL ITEMS TO BE SALVAGED OR RELOCATED HAVE BEEN REMOVED AS NOTED. IF REMOVED GRAVEL OR PAVEMENT MATERIALS ARE TO BE RECYCLED OR REUSED, PREVENT CONTAMINATION OF THESE MATERIALS FROM TOPSOIL OR OTHER DELETERIOUS MATERIAL
- 6. CONTRACTOR SHALL COORDINATE DEMOLITION WORK WITH AFFECTED UTILITY COMPANIES, OBTAIN ALL REQUIRED PERMITS, NOTIFY THEM PRIOR TO STARTING WORK, AND COMPLY WITH THEIR REQUIREMENTS. ADDITIONAL REMOVALS MAY BE REQUIRED BY THE AUTHORITIES HAVING JURISDICTION AND THE CONTRACTOR SHALL CONFIRM ACCORDINGLY PRIOR TO BID. ACCURATELY RECORD ACTUAL LOCATIONS OF CAPPED AND ACTIVE UTILITIES FOR AS-BUILT PURPOSES AND SUPPLY TO OWNER AND ARCHITECT/ENGINEER OF RECORD
- 7. DEMOLISH AND REMOVE ALL NON-BUILDING SITE STRUCTURES AND ASSOCIATED FEATURES (APPURTENANCES) AS SHOWN. WITHIN AREA OF NEW CONSTRUCTION, REMOVE DESIGNATED WALLS AND FOOTINGS TO 2 FEET MINIMUM BELOW FINISHED GRADE. DEMOLISH ALL PAVED AREAS DESIGNATED FOR REMOVAL DOWN TO NATIVE SUBGRADE
- 8. ALL VEGETATION AND DELETERIOUS MATERIALS WITHIN THE LIMITS OF WORK SHALL BE STRIPPED AND REMOVED FROM THE SITE PRIOR TO GRADING WORK UNLESS NOTED OTHERWISE (E.G. PROTECTED TREES)
- 9. IF HAZARDOUS MATERIALS ARE DISCOVERED DURING DEMOLITION, STOP WORK AND IMMEDIATELY NOTIFY THE OWNER AND ARCHITECT/ENGINEER OF RECORD

GRADING NOTES

- ROUGH GRADING: ROUGH GRADE TO ALLOW FOR DEPTH OF BUILDING SLABS, PAVEMENTS, BASE COURSES, AND TOPSOIL PER DETAILS AND SPECIFICATIONS
- 2. FINISH GRADING: BRING ALL FINISH GRADES TO LEVELS INDICATED. WHERE GRADES ARE NOT OTHERWISE INDICATED, HARDSCAPE FINISH GRADES ARE TO BE THE SAME AS ADJACENT SIDEWALKS, CURBS, OR THE OBVIOUS GRADE OF ADJACENT STRUCTURE. SOFTSCAPE GRADES (INCLUDING ADDITIONAL DEPTH OF TOPSOIL) SHALL BE SET 6 INCHES BELOW BUILDING FINISHED FLOORS WHERE ABUTTING BUILDINGS, 1-2 INCHES WHERE ABUTTING WALKWAYS OR CURBS, OR MATCHING OTHER SOFTSCAPE GRADES. GRADE TO UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE GRADES ARE GIVEN. ROUND OFF SURFACES, AVOID ABRUPT CHANGES IN LEVELS. AT COMPLETION OF JOB AND AFTER BACKFILLING BY OTHER TRADES HAS BEEN COMPLETED, REFILL AND COMPACT AREAS WHICH HAVE SETTLED OR ERODED TO BRING TO FINAL GRADES
- 3. EXCAVATION: EXCAVATE FOR SLABS, PAVING, AND OTHER IMPROVEMENTS TO SIZES AND LEVELS SHOWN OR REQUIRED. ALLOW FOR FORM CLEARANCE AND FOR PROPER COMPACTION OF REQUIRED BACKFILLING MATERIAL. DAMAGE TO UTILITIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE
- 4. EFFECTIVE EROSION PREVENTION AND SEDIMENT CONTROL IS REQUIRED. EROSION CONTROL DEVICES MUST BE INSTALLED AND MAINTAINED MEETING THE LOCAL AGENCY AND STATE AGENCY REQUIREMENTS. THE AUTHORITIES HAVING JURISDICTION MAY, AT ANY TIME, ORDER CORRECTIVE ACTION AND STOPPAGE OF WORK TO ACCOMPLISH **EFFECTIVE EROSION CONTROL**
- 5. DRAINAGE SHALL BE CONTROLLED WITHIN THE WORK SITE AND SHALL BE ROUTED SO THAT ADJACENT PRIVATE PROPERTY, PUBLIC PROPERTY, AND THE RECEIVING SYSTEM ARE NOT ADVERSELY IMPACTED. THE ENGINEER AND/OR AUTHORITIES HAVING JURISDICTION MAY, AT ANY TIME, ORDER CORRECTIVE ACTION AND STOPPAGE OF WORK TO ACCOMPLISH EFFECTIVE DRAINAGE CONTROL
- SITE TOPSOIL STOCKPILED DURING CONSTRUCTION AND USED FOR LANDSCAPING SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT
- 7. CONTRACTOR TO REVIEW AND CONFIRM GRADES AT JOIN POINTS, SUCH AS AT DAYLIGHT LIMITS AND BUILDING ENTRANCES, PRIOR TO CONSTRUCTION
- 8. ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL BE CONSTRUCTED AT 2% MAXIMUM SLOPE IN ALL DIRECTIONS
- 9. PEDESTRIAN SIDEWALK CONNECTIONS BETWEEN PUBLIC R.O.W. AND BUILDING ENTRANCES SHALL BE CONSTRUCTED AT AND 2% MAXIMUM CROSS SLOPE AND 5% MAXIMUM LONGITUDINAL SLOPE (8.33% FOR DESIGNATED RAMPS)

UTILITY NOTES

- 1. ALL WORK SHALL CONFORM TO THE CURRENT EDITIONS OF THE STATE PLUMBING AND BUILDING CODES WITH LOCAL AMENDMENTS AS APPLICABLE ALONG WITH ANY ADDITIONAL REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION.
- 2. THE WORKING DRAWINGS ARE GENERALLY DIAGRAMMATIC. THEY DO NOT SHOW EVERY OFFSET, BEND OR ELBOW REQUIRED FOR INSTALLATION IN THE SPACE PROVIDED. THEY DO NOT SHOW EVERY DIMENSION, COMPONENT PIECE, SECTION, JOINT OR FITTING REQUIRED TO COMPLETE THE PROJECT. ALL LOCATIONS FOR WORK SHALL BE CHECKED AND COORDINATED WITH EXISTING CONDITIONS IN THE FIELD BEFORE BEGINNING CONSTRUCTION. EXISTING UNDERGROUND UTILITIES WITHIN THE LIMITS OF EXCAVATION SHALL BE VERIFIED AS TO CONDITION, SIZE AND LOCATION BY UNCOVERING (POTHOLING), PROVIDING SUCH IS PERMITTED BY THE AUTHORITIES HAVING JURISDICTION, BEFORE BEGINNING CONSTRUCTION. CONTRACTOR TO NOTIFY ENGINEER IF THERE ARE ANY DISCREPANCIES.
- 3. NOT ALL REQUIRED CLEANOUTS ARE SHOWN ON THE PLANS. PROVIDE CLEANOUTS PER DETAIL OR/CX.XX AS REQUIRED BY THE AUTHORITIES HAVING JURISDICTION AND THE CURRENT EDITION OF THE STATE PLUMBING CODE (E.G. UNIFORM PLUMBING CODE CHAPTER 7, SECTIONS 707 AND 719, AND CHAPTER 11, SECTION 1101.13).
- 4. ALL SANITARY AND STORM PIPING IS DESIGNED USING CONCENTRIC PIPE TO PIPE AND WYE FITTINGS, UNLESS OTHERWISE NOTED
- 5. ALL DOWNSPOUT LEADERS TO BE 6 INCHES AT 2.0% MINIMUM UNLESS NOTED OTHERWISE
- 6. IF APPLICABLE, PROVIDE 2 INCH PVC DRAIN LINE FROM DOMESTIC WATER METER VAULT AND BACKFLOW PREVENTER VAULT TO THE DOUBLE DETECTOR CHECK VALVE (FIRE) VAULT. PROVIDE 1/3 HP SUMP PUMP AT BASE OF FIRE VAULT AND INSTALL 2 INCH PVC DRAIN LINE WITH BACKFLOW VALVE FROM SUMP PUMP TO DAYLIGHT AT NEAREST CURB. FURNISH 3/4 INCH DIAMETER CONDUIT FROM BUILDING ELECTRICAL ROOM TO FIRE VAULT FOR SUMP PUMP ELECTRICAL SERVICE. NOTE: COORDINATE WITH FIRE PROTECTION CONTRACTOR FOR FLOW SENSOR INSTALLATION AND CONDUIT REQUIREMENTS
- 7. PREFABRICATED PLUMBING PRODUCTS USED SHALL BE LISTED ON THE IAPMO R&T PRODUCT LISTING DIRECTORY (pld.iapmo.org). ALL SUBMITTALS FOR REVIEW SHALL BE ACCOMPANIED BY MANUFACTURER'S LITERATURE CLEARLY STATING THIS CERTIFICATION AND/OR THE PRODUCT LISTING CERTIFICATE FROM THE IAPMO DIRECTORY WEBSITE
- 8. IF APPLICABLE, CONTRACTOR TO PROVIDE POWER TO IRRIGATION CONTROLLER. SEE LANDSCAPE PLANS AND SPECIFICATIONS
- 9. SEE BUILDING PLUMBING DRAWINGS FOR PIPING WITHIN THE BUILDING AND UP TO 5 FEET OUTSIDE THE BUILDING, INCLUDING ANY FOUNDATION DRAINAGE PIPING
- 10. CONTRACTOR TO MAINTAIN MINIMUM 3 FEET OF COVER OVER ALL UTILITY PIPING AND CONDUITS, UNLESS NOTED OTHERWISE
- 11. WHERE CONNECTING TO AN EXISTING PIPE, AND PRIOR TO ORDERING MATERIALS, THE CONTRACTOR SHALL EXPOSE THE EXISTING PIPE TO VERIFY THE LOCATION, SIZE, AND ELEVATION. NOTIFY ENGINEER OF ANY DISCREPANCIES
- 12. CONTRACTOR SHALL SCOPE ALL PRIVATE ONSITE GRAVITY SYSTEM LINES THAT ARE BEING CONNECTED TO FOR PROPOSED SERVICE. SCOPING SHALL OCCUR A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION AND THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES WITH AS-BUILT RECORDS/SURVEY FINDINGS OR IF THE EXISTING UTILITIES ARE DAMAGED OR SHOW SIGNS OF SIGNIFICANT DETERIORATION. CONTRACTOR SHALL PROVIDE THE ENGINEER WITH VIDEO RECORDS, ALONG WITH A SKETCH IF THE LOCATIONS DIFFER FROM AS-BUILT PLANS OR SURVEY FINDINGS
- 13. PRODUCT MATERIAL SUBMITTALS FOR REVIEW BY THE ENGINEER SHALL BE ACCOMPANIED BY A MANUFACTURER'S CERTIFICATION THAT THE PRODUCT IS CAPABLE OF MEETING PERFORMANCE EXPECTATIONS (I.E. - WATERTIGHT, MINIMUM/MAXIMUM BURIAL. PREVENTION OF GROUNDWATER INTRUSION, ETC.) BASED ON THEIR REVIEW OF THE PROJECT PLANS. IN THE ABSENCE OF A MANUFACTURER'S CERTIFICATION, THE GENERAL CONTRACTOR'S REVIEW STAMP SHALL CONSTITUTE THAT THEY HAVE PERFORMED THE NECESSARY REVIEW TO CERTIFY THE PRODUCT'S CONFORMANCE TO PROJECT SPECIFICATIONS AND GENERAL EXPECTATIONS
- 14. PIPE LENGTHS SHOWN ON PLANS ARE TWO DIMENSIONAL AND MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE
- 15. MANHOLE RIM ELEVATIONS SHOWN ON PLANS REFERENCE THE CENTER OF THE STRUCTURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECONCILING LIDS/GRATES/ETC TO THE SLOPES OF THE SITE GRADING
- 16. MANHOLE OR VAULT RIM ELEVATIONS SHALL BE SET FLUSH IN PAVEMENT AREAS AND 3-4 INCHES ABOVE GRADE IN LANDSCAPE AREAS. RIMS IN PAVEMENT AREAS SHALL BE H-20 TRAFFIC RATED

SITE WORK NOTES

- 1. ALL CURB RADII TO BE 3 FEET UNLESS NOTED OTHERWISE
- 2. STAIR RISERS AND TREADS SHALL BE CONFORMANT WITH THE REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION AND THE CURRENT EDITION OF THE STATE BUILDING CODE (E.G. INTERNATIONAL BUILDING CODE, CHAPTER 10, SECTION 1011.5)
- 3. WHEREVER A PEDESTRIAN WALKING PATH IS WITHIN 36 INCHES OF A VERTICAL DROP OF 30 INCHES OR GREATER, GUARDRAIL SHALL BE INSTALLED CONFORMANT WITH THE REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION AND THE CURRENT EDITION OF THE STATE BUILDING CODE (E.G. INTERNATIONAL BUILDING CODE, CHAPTER 10, SECTION 1015)

EROSION CONTROL NOTES

- HOLD A PRE-CONSTRUCTION MEETING OF PROJECT CONSTRUCTION PERSONNEL THAT INCLUDES THE LOCAL AGENCY INSPECTOR TO DISCUSS EROSION AND SEDIMENT CONTROL MEASURES AND CONSTRUCTION LIMITS
- 2. EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE BEFORE ANY LAND IS DISTURBED AND MUST REMAIN IN PLACE AND BE MAINTAINED, REPAIRED, AND PROMPTLY IMPLEMENTED FOLLOWING PROCEDURES ESTABLISHED FOR THE DURATION OF CONSTRUCTION, INCLUDING APPROPRIATE NON-STORMWATER POLLUTION CONTROLS
- 3. THE EROSION CONTROL DRAWING IS FOR GENERAL GUIDANCE ONLY. THE CONTRACTOR SHALL KEEP THE PLAN CURRENT FOR ALL PHASES OF CONSTRUCTION AND MEET EROSION/SEDIMENT CONTROL REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION (AHJ). ALL EROSION CONTROL MEASURES SHALL CONFORM TO THE REQUIREMENTS OF THE AHJ, THE PLANS, AND THE PROJECT SPECIFICATIONS
- 4. CONSTRUCT EROSION CONTROL IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT ENTER THE DRAINAGE SYSTEM, ROADWAYS, OR VIOLATE APPLICABLE WATER STANDARDS
- 5. METHOD OF INSTALLATION FOR SEDIMENT FENCE SHALL NOT CAUSE DAMAGE TO VEGETATED SLOPE EXCEPT AT POINT OF INSTALLATION. SIDECAST MATERIAL SHALL BE KEPT TO A MINIMUM AND SHALL BE TO THE UPHILL SIDE OF THE SEDIMENT FENCE. THE FENCE SHALL BE INSTALLED AT LEAST 4 FEET FROM ADJACENT TREES
- 6. ALL EROSION CONTROL DEVICES SHALL BE EXAMINED AND REPAIRED AFTER EACH STORM OCCURRENCE, AND INLETS SHALL BE CLEANED OF SEDIMENT WHENEVER NECESSARY
- 7. HYDROSEED AND MULCH ALL DISTURBED AREAS UPON COMPLETION OF CONSTRUCTION OR AS DIRECTED BY THE AUTHORITIES HAVING JURSIDICTION
- 8. THE CONTRACTOR SHALL LIMIT CONSTRUCTION TRAFFIC TO PAVED AREAS TO PREVENT AND MINIMIZE SEDIMENT TRACKING OFF-SITE. CONTRACTOR SHALL SWEEP OR VACUUM PAVED AREAS IF SEDIMENT ACCUMULATION OCCURS. DO NOT TRACK SEDIMENT TO THE PUBLIC STREET OR NEIGHBORING PROPERTIES
- 9. INSTALL TEMPORARY EROSION PREVENTION SUCH AS JUTE NETTING OR GEOTEXTILE ON DISTURBED AREAS STEEPER THAN 4H:1V
- 10. STAGING AND STOCKPILE AREAS TO BE DETERMINED BY CONTRACTOR AND ADJUSTED TO ACCOMMODATE THE PROGRESS OF CONSTRUCTION

ADDDE\/IATIONS

ADDK	EVIATIONS
<u> </u>	CENTER LINE
Ρį	PROPERTY LINE
AC	ASPHALT CONCRETE
AHJ	AUTHORITY HAVING JURISDICTION
AWWA	AMERICAN WATER WORKS ASSOCIATION
ВС	BOTTOM OF CURB
BCR	BEGIN CURB RETURN
BMP	BEST MANAGEMENT PRACTICE
BS	BOTTOM OF STEP
BW	BACK OF WALK
C	COMPACT
CB	CATCH BASIN
CI	CAST IN PLACE
CIP CO	CAST IN PLACE CLEANOUT
CONC	CONCRETE
CLR	CLEAR
CVR	COVER
DI	DUCTILE IRON
DW	DOMESTIC WATER
ECR	END CURB RETURN
ELEV	ELEVATION
EP	EDGE OF PAVEMENT
ESC	EROSION/SEDIMENT CONTROL
EW	EACH WAY
EX	EXISTING
FDC	FIRE DEPARTMENT CONNECTION
FF FG	FINISH FLOOR FINISHED GRADE
FH	FIRE HYDRANT
FI	FIELD INLET
FL	FLOWLINE
FW	FIRE WATER/FACE OF WALL
G/GUT	GUTTER LINE
GB	GRADE BREAK
Н	ACCESSIBLE STALL
HDPE	HIGH-DENSITY POLYETHYLENE
HMA	HOT MIX ASPHALT
IE 	INVERT ELEVATION
LT ME	LEFT MATCH EXISTING
MH	MANHOLE
MJ	MECHANICAL JOINT
NTS	NOT TO SCALE
OC	ON CENTER
ODOT	OREGON DEPARTMENT OF TRANSPORTATION
OSHA	OREGON STATE HEALTH AUTHORITY
OSSC	OREGON STATE SPECIFICATIONS FOR CONSTRUCTION
PC	POINT OF CURVATURE
PCC	POINT OF COMPOUND CURVATURE
PCCP	PORTLAND CEMENT CONCRETE PAVING
PR PRC	PROPOSED POINT OF REVERSE CURVATURE
PT	POINT OF REVERSE CORVATORE POINT OF TANGENCY
PVC	POLYVINYL CHLORIDE
RD	ROOF DRAIN
ROW	RIGHT OF WAY
RSGV	RESILIENT SEAT GATE VALVE
RT	RIGHT
S	STANDARD
SS	SANITARY SEWER
STA	STATION
SW	SIDEWALK TOD OF CURR
TC TH	TOP OF CURB THRESHOLD
TS	TOP OF STEP
TW	TOP OF WALL
TYP	TYPICAL

WHEELCHAIR

LEGEND	EXISTING	PROPOSED
RIGHT-OF-WAY LINE		
SOUNDARY LINE		
CENTERLINE PROPERTY LINE		
CURB		
VETLAND BOUNDARY	WTB	
EDGE OF PAVEMENT		
EASEMENT		
FENCE LINE		
GRAVEL EDGE		
POWER LINE	——————————————————————————————————————	· · ·
OVERHEAD WIRE	——————————————————————————————————————	
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STORM SEWER LINE	STM	
SANITARY SEWER LINE	SAN	
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REE		
CONTROL MANHOLE	/	
DRYWELL		\bigoplus
FIRE DEPARTMENT CONNECTION	FDC	→ 1
		_
FIRE HYDRANT	Q	*
WATER BLOWOFF/AIR RELEASE	₽WBO	<u> </u>
WATER METER	WM WAT	⊘ ⊗
WATER VALVE BACKFLOW PREVENTOR		⊗ ⊗ ≥> >
WATER VAULT	WV	[- /-]
MONITORING WELL	(W)	
STORM/SANITARY MANHOLE	\bigcirc	
STORM SEWER CATCH BASIN		
SANITARY CLEAN OUT	o ^{sc}	•
GAS VALVE	GV	·
GAS METER	GM	
SIGN		
MAIL BOX	MB	
FOUND SURVEY MONUMENT		
GUY WIRE ANCHOR		
JTILITY POLE	T.	
IVAC UNIT	AC	
POWER VAULT	P	
ELECTRICAL METER	EM	
POWER JUNCTION BOX	EB	_
POWER TRANSFORMER	TFR	
LIGHT POLE	\$	\$
TELEPHONE/TELEVISION VAULT	Т	
FELEPHONE/TELEVISION	\triangle	
JUNCTION BOX	TR	
TELEPHONE/TELEVISION RISER	SGB	
SIGNAL JUNCTION BOX	SS	
BOLLARD	-	/
ADA COMPLIANT CURB RAMP SLOPE ARROW		
SLOPE ARROW		
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Architecture - Interiors

Planning - Engineering

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MARYSVILLE

CORPORATE

(PHASE 1)

BINDING SITE PLAN

CENTER

REVISION SCHEDULE				
Delta	Issued As	Issue Date		

SHEET TITLE:

CIVIL GENERAL NOTES, SYMBOLS AND **ABBREVIATIONS**

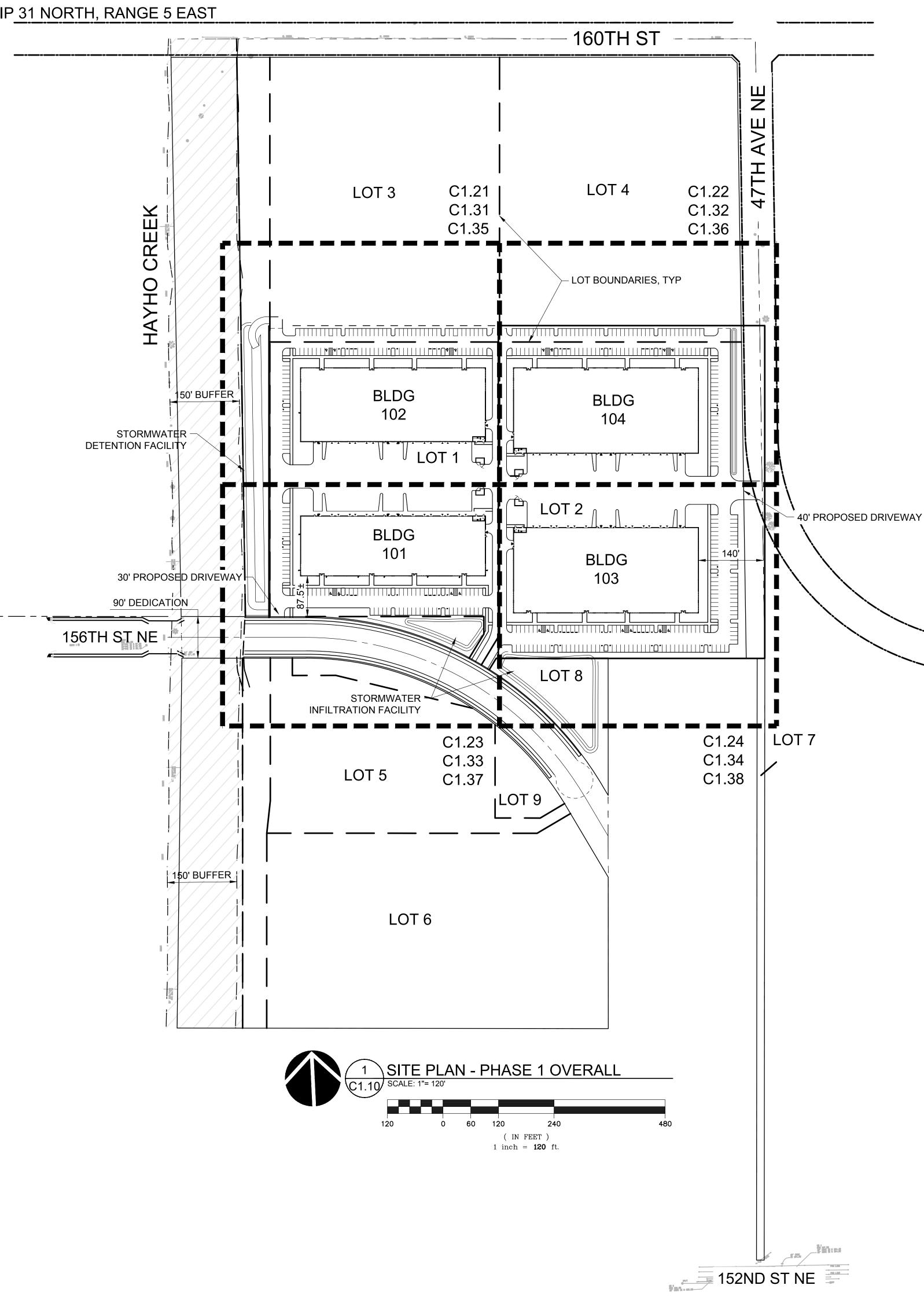
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NE ½ SECTION 33, TOWNSHIP 31 NORTH, RANGE 5 EAST





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SITE DATA - LOT 1

SITE DATA - LOT 2

SIDEWALK/DRIVE AISLE AREA

STREET SETBACK: MINIMUM 10' PROVIDED 90.5' INTERIOR SETBACK: MINIMUM 5' PROVIDED 30'

STREET SETBACK: MINIMUM 10' PROVIDED 99.71' INTERIOR SETBACK: MINIMUM 5' PROVIDED 30'

PARKING DATA - LOT 1

OFFICE: (12,000 SF X 1 STALL PER 400 SF) =

COMPACT SPACE: 0 (0.0%)

TOTAL: (PER ABOVE)

COMPACT SPACE: <u>0</u> (0.0%)

85 REQUIRED 147 PROVIDED

BICYCLE PARKING: REQUIRED 9, PROVIDED 16.
(BICYCLE PARKING LOCATIONS TO BE DETERMINED)

68 REQUIRED 168 PROVIDED

106 REQUIRED 206 PROVIDED

BICYCLE PARKING: REQUIRED 12, PROVIDED 16. (BICYCLE PARKING LOCATIONS TO BE DETERMINED)

PARKING DATA - LOT 2

OFFICE: (12,800 SF X 1 STALL PER 400 SF) =

LOT COVERAGE: MAXIMUM OF <u>80%</u> IMPERVIOUS, PROVIDED <u>72.0%</u> BUILDING LOT COVERAGE: N/A

LOT COVERAGE: MAXIMUM OF <u>80%</u> IMPERVIOUS, PROVIDED <u>72.0%</u> BUILDING LOT COVERAGE: N/A

30 REQUIRED 30 PROVIDED

WAREHOUSE/MANUFACTURING: (108,000 SF X 1 STALL PER 2,000 SF) =

55 REQUIRED 117 PROVIDED

TOTAL: (PER ABOVE)

ACCESSIBLE SPACE: 7 REQUIRED, 6 STANDARD 2 VAN PROVIDED

LOADING SPACE: (2= 2 REQUIRED) 32 PROVIDED
RIDE SHARE PARKING SPACES: (5%=9 REQUIRED) 9 PROVIDED

38 REQUIRED 38 PROVIDED SF X 1 STALL PER 2,000 SF) =

ACCESSIBLE SPACE: 12 REQUIRED, 9 STANDARD 3 VAN PROVIDED

LOADING SPACE: (2 = 2 REQUIRED) 32 PROVIDED
RIDE SHARE PARKING SPACES: (5%=16 REQUIRED) 16 PROVIDED

SIDEWALK/DRIVE AISLE AREA

83,299 SF (1.92 AC) (28.0%)

94,196 SF (2.16 AC) (31.7%)

120,000 SF (2.75 AC) (40.3%)

101,345 SF (2.33 AC) (28.0%)

112,602 SF (2.58 AC) (31.1%)

148,000 SF (3.40 AC) (40.9%)

361,947 SF (8.31 AC)

297,495 SF (6.83 AC)

LANDSCAPE AREA

BUILDING AREA

TOTAL AREA

BUILDING SETBACKS:

LANDSCAPE AREA

BUILDING AREA

BUILDING SETBACKS:

TOTAL AREA

PACTRUST

Project

MARYSVILLE

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BINDING SITE PLAN (PHASE 1)

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SHEET TITLE:

SITE PLAN -PHASE 1 OVERALL

DRAWN BY: RSO

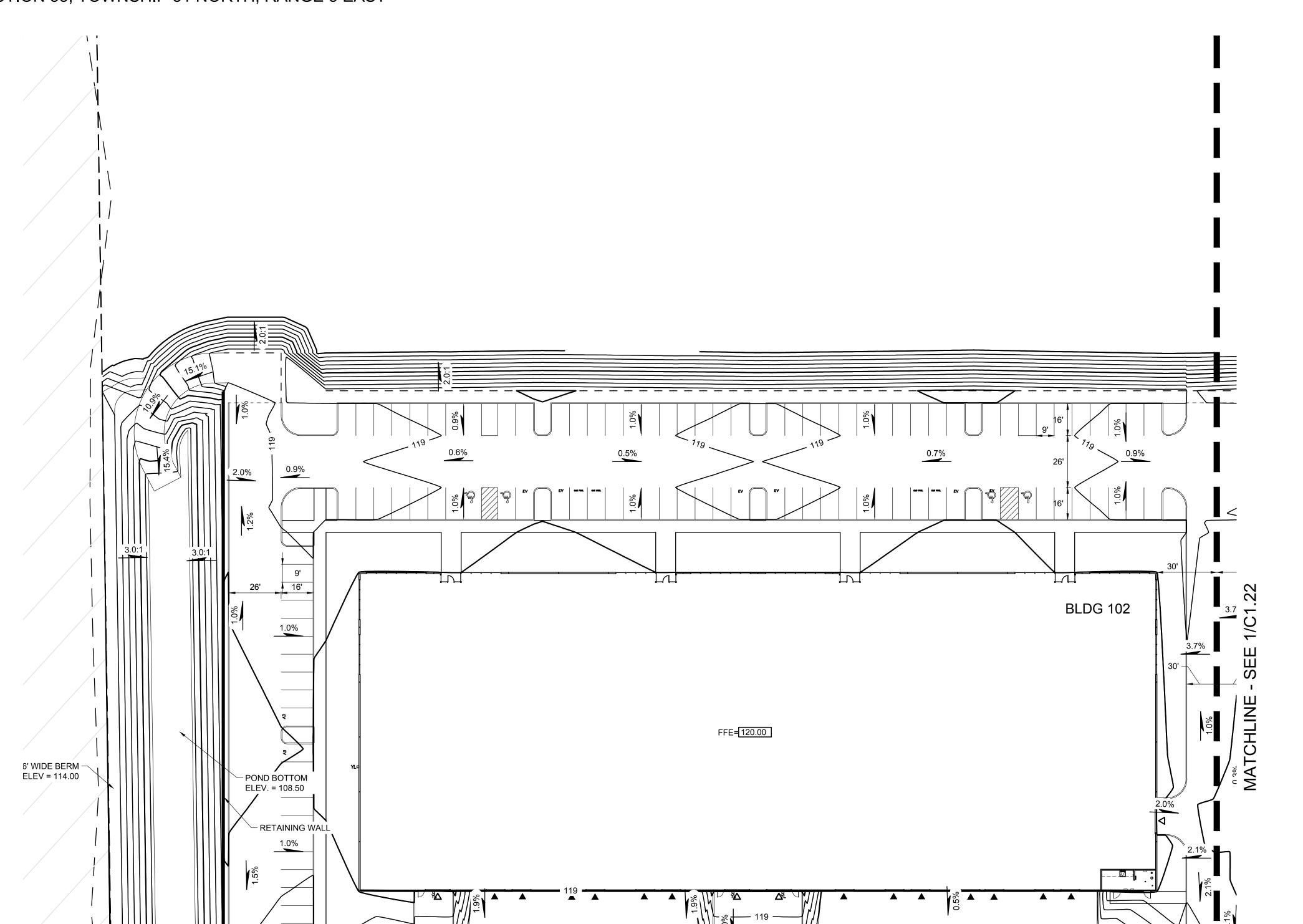
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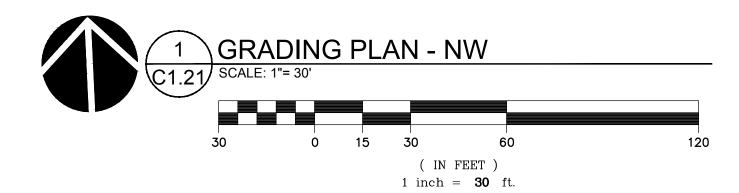


JOB NO. **2200444.00**

SE $\frac{1}{4}$ SECTION 28, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M. $NE_{\frac{1}{4}}$ SECTION 33, TOWNSHIP 31 NORTH, RANGE 5 EAST



MATCHLINE - SEE 1/C1.23



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SHEET TITLE:

GRADING PLAN - NW

DRAWN BY: RSO

CHECKED BY:MLJ

C1.21

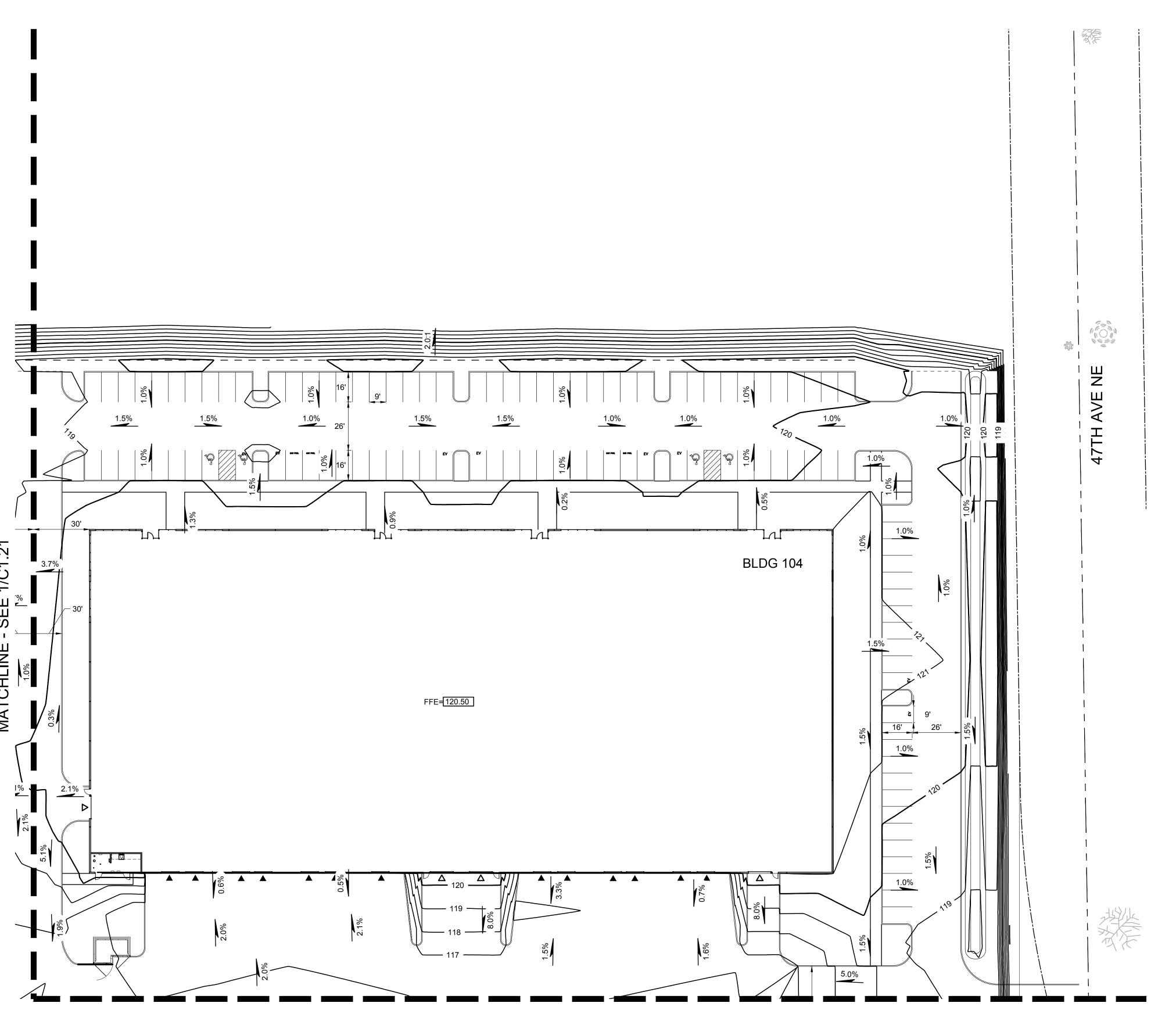


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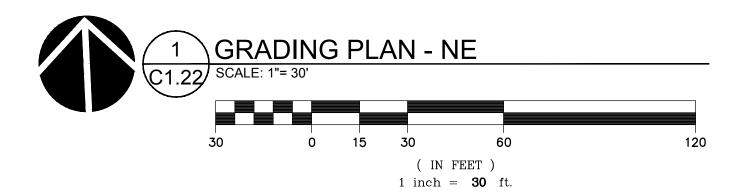
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SE $\frac{1}{4}$ SECTION 28, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M. $NE_{\frac{1}{4}}$ SECTION 33, TOWNSHIP 31 NORTH, RANGE 5 EAST



MATCHLINE - SEE 1/C1.24





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SHEET TITLE:

GRADING

PLAN - NE

DRAWN BY: RSO

CHECKED BY:MLJ

Know what's below.
Call before you dig.

C1.22

C1.22

C1.24

C1.21

C1.23

MATCHLINE - SEE 1/C1.21



C1.21

C1.23

KEY MAP
SCALE: NTS



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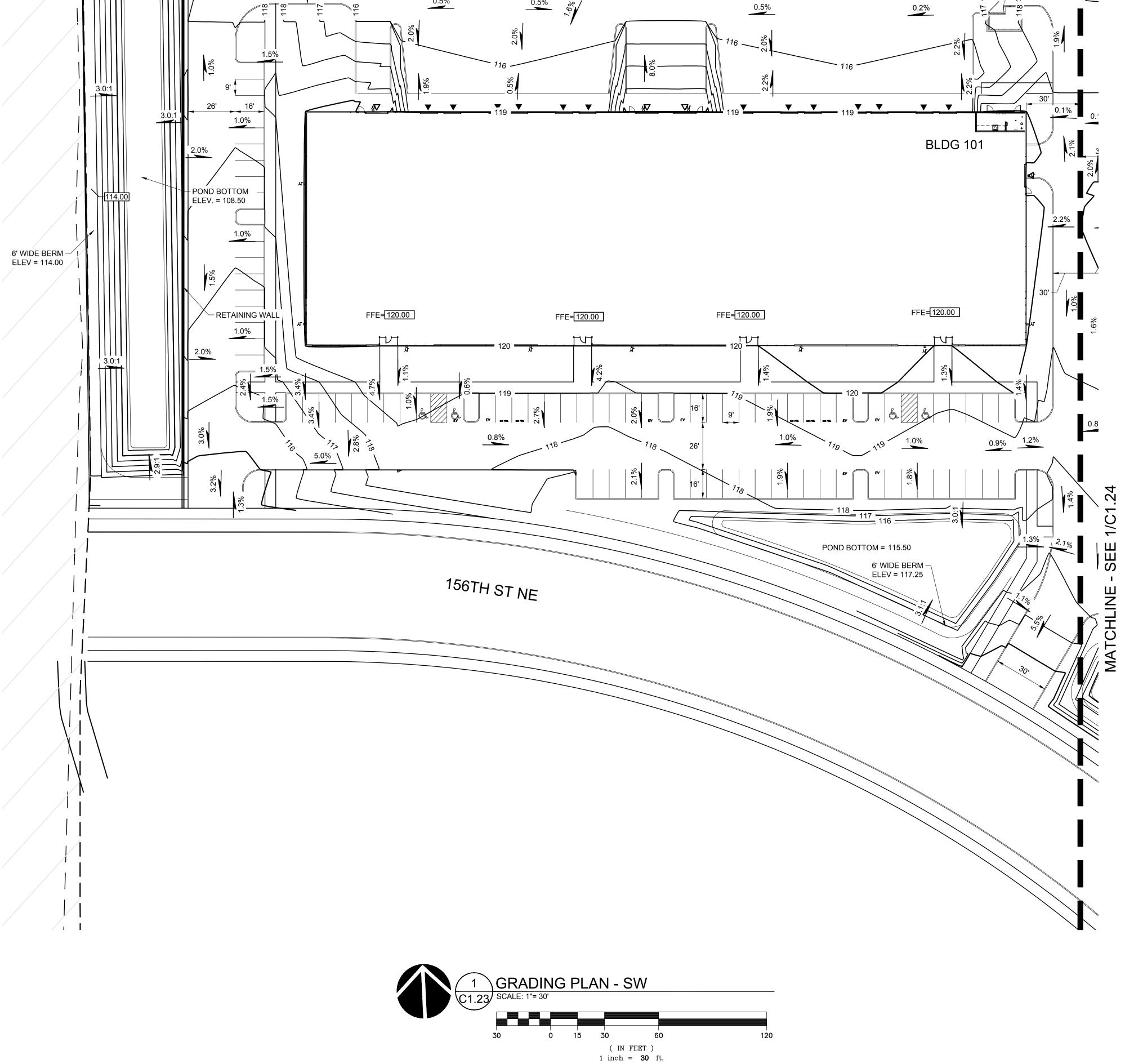
GRADING PLAN - SW

DRAWN BY: RSO

CHECKED BY:MLJ

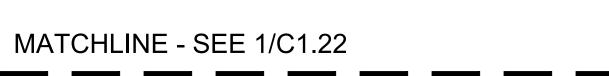
C1.23





C1.22

C1.24





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SHEET TITLE:

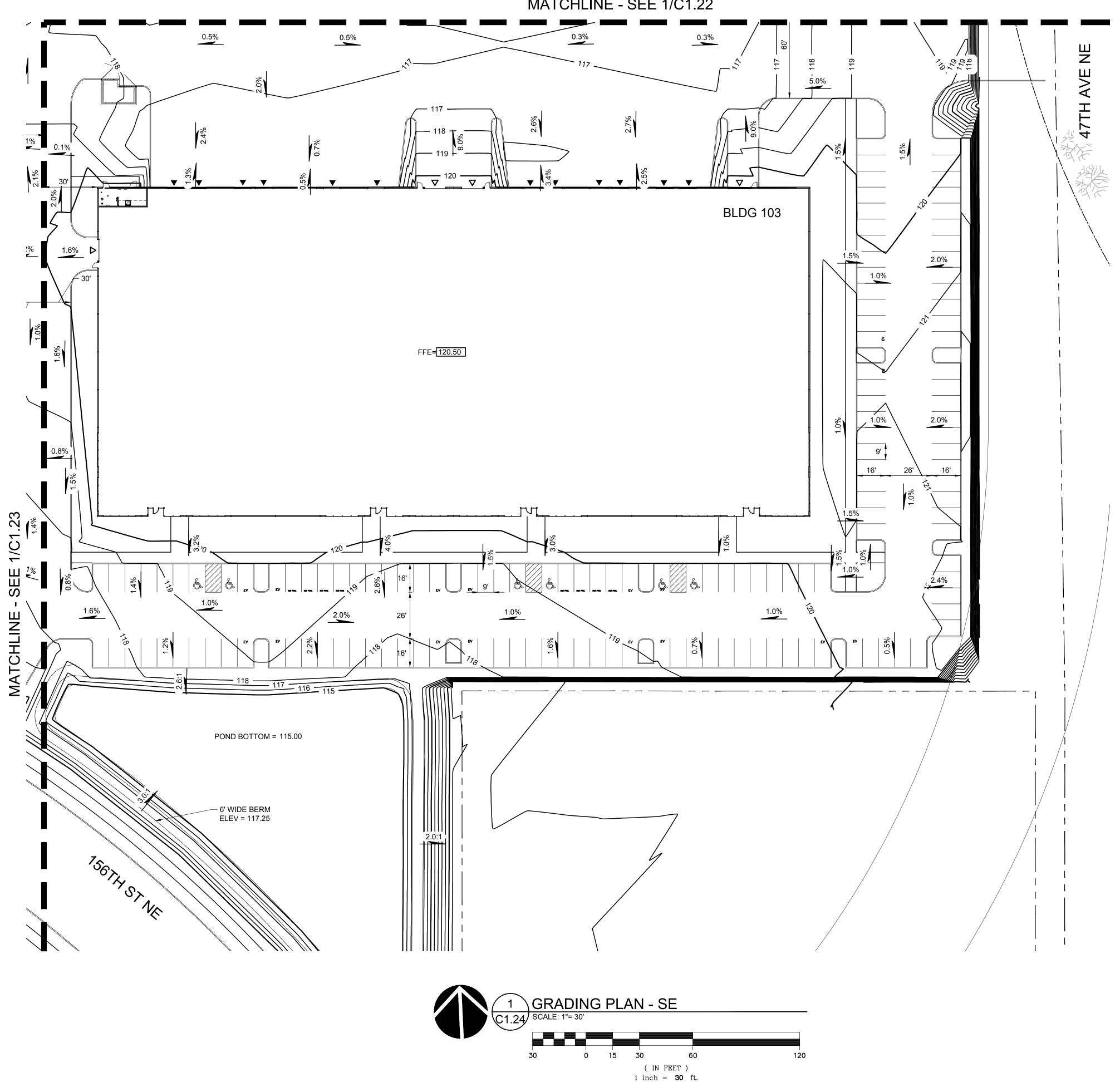
GRADING PLAN - SE

DRAWN BY: RSO

CHECKED BY:MLJ

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SE $\frac{1}{4}$ SECTION 28, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M. NE $\frac{1}{4}$ SECTION 33, TOWNSHIP 31 NORTH, RANGE 5 EAST

STUB FOR FUTURE DEVELOPMENT

FIRE HYDRANT, TYP

∠ 8" D.I. WATER, TYP

MATCHLINE - SEE 1/C1.33

(IN FEET) 1 inch = **30** ft.

UTILITY PLAN - NW



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SHEET TITLE:

UTILITY PLAN
NW

DRAWN BY: RSO

CHECKED BY:MLJ

CHECKED BT.MLJ



C1.31

C1.32

C1.34

C1.33

KEY MAP
SCALE: NTS

FIRE HYDRANT, -TYP

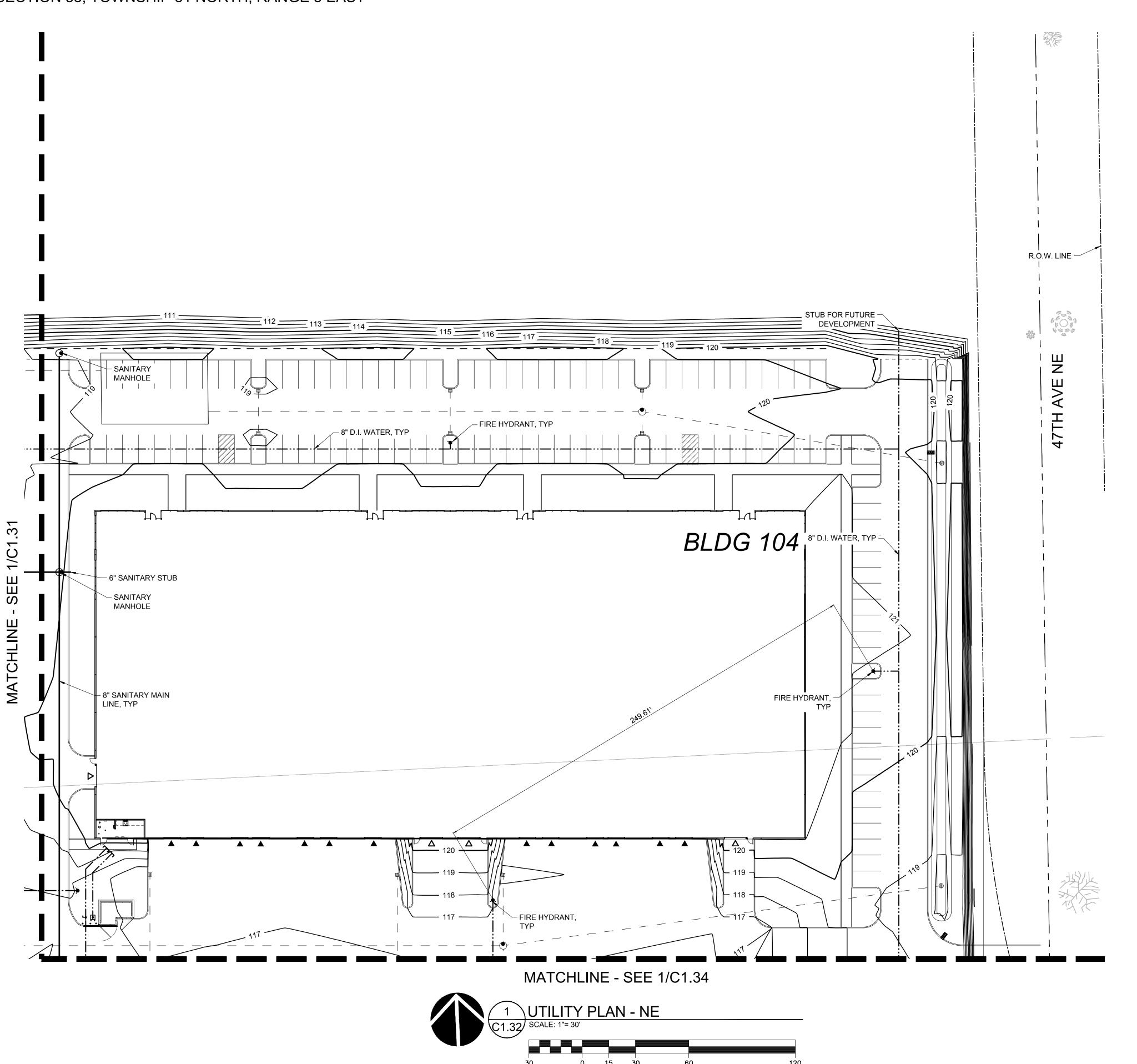
6" SANITARY STUB -

BLDG 1/02

FIRE HYDRANT,

- 8" D.I. WATER, TYP

SE $\frac{1}{4}$ SECTION 28, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M. NE $\frac{1}{4}$ SECTION 33, TOWNSHIP 31 NORTH, RANGE 5 EAST



(IN FEET) 1 inch = **30** ft.



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UTILITY PLAN -

NE

DRAWN BY: RSO

CHECKED BY:MLJ



C1.32

C1.32

C1.34

C1.31

C1.33





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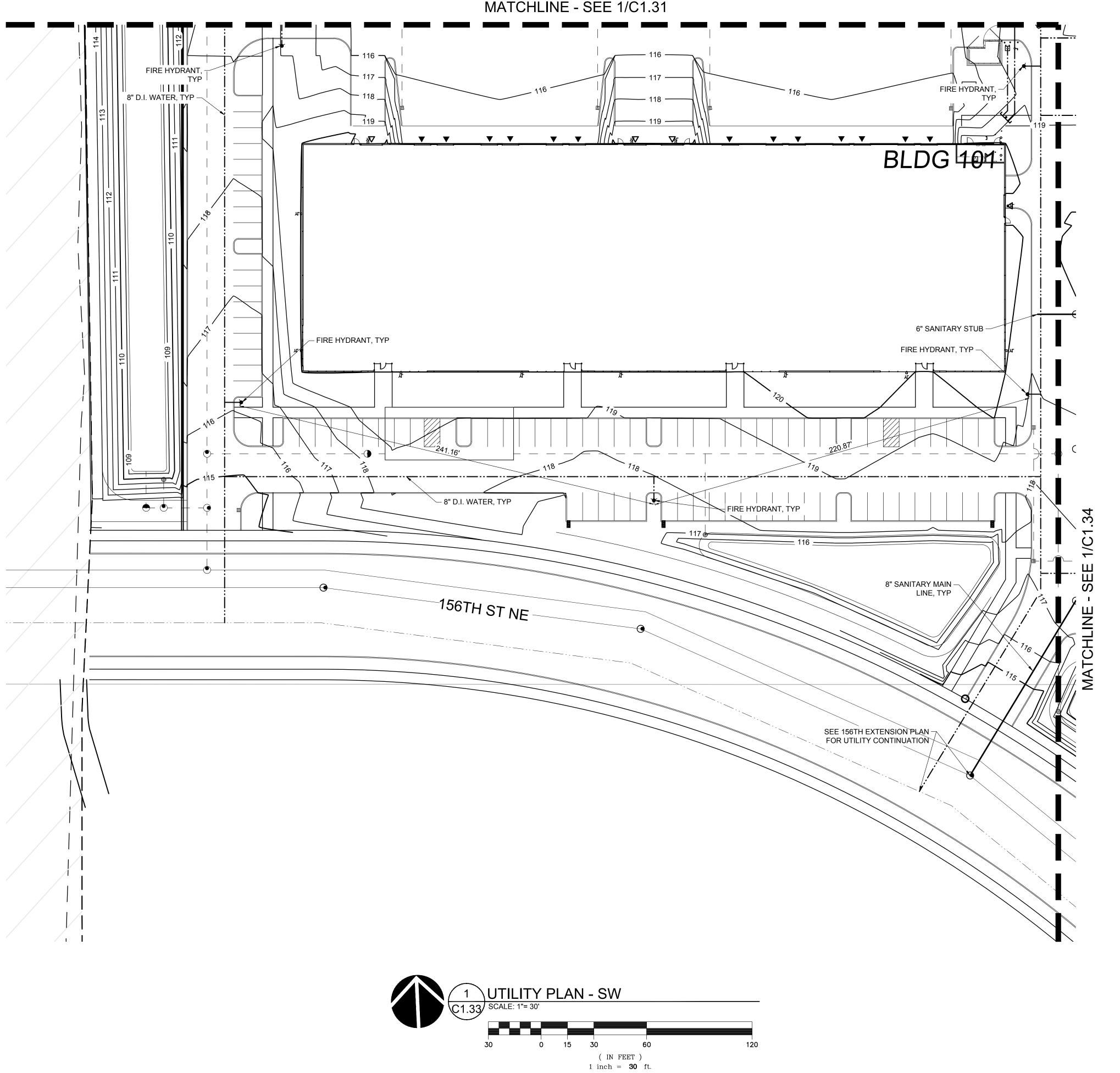
SW

CHECKED BY:MLJ

C1.33

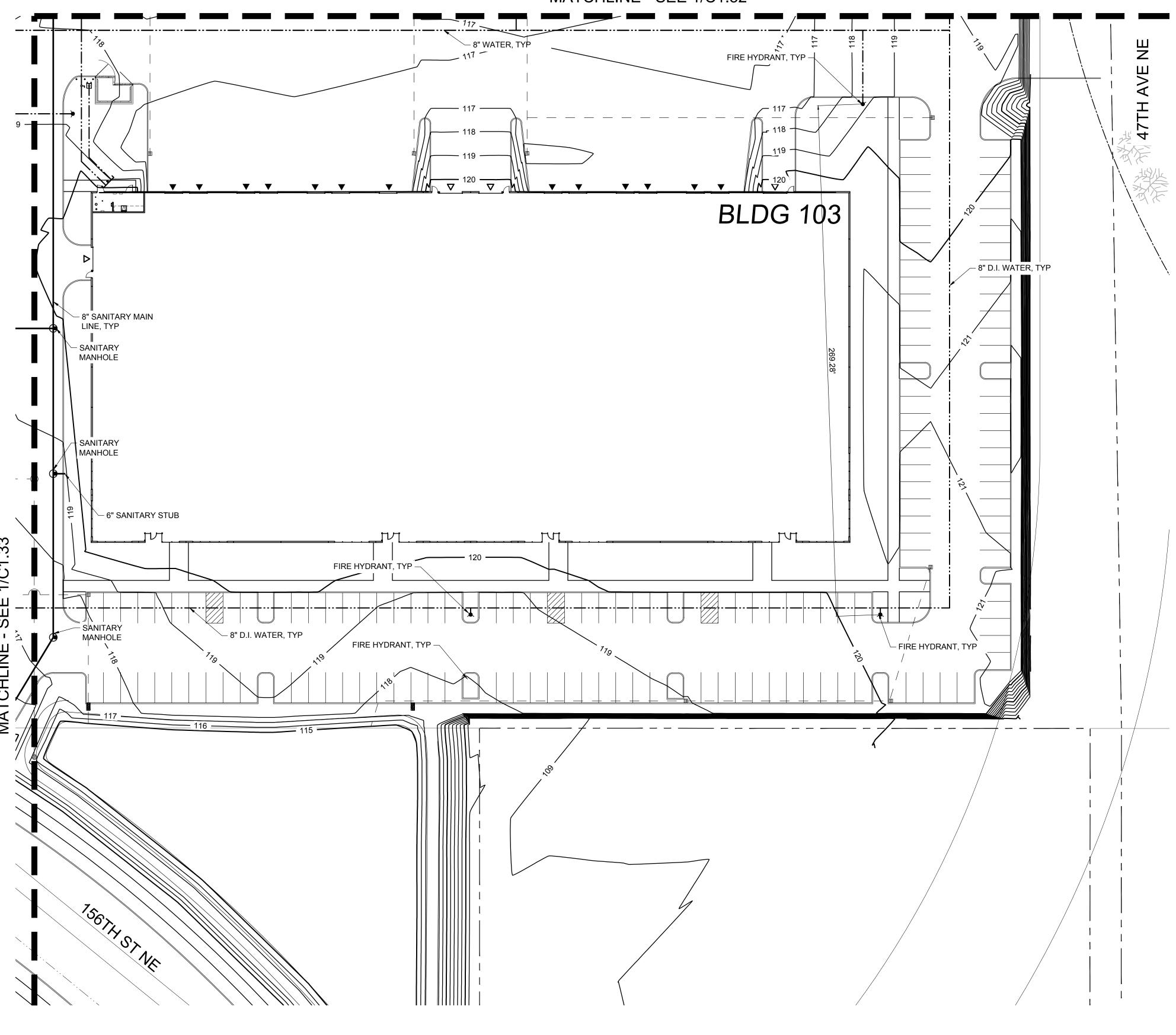


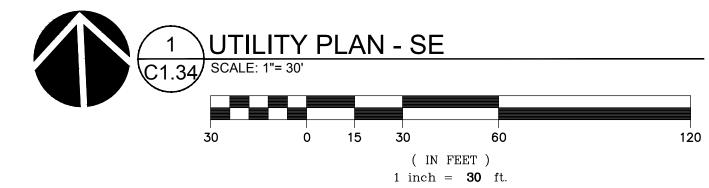




 $NE_{\frac{1}{4}}$ SECTION 33, TOWNSHIP 31 NORTH, RANGE 5 EAST

MATCHLINE - SEE 1/C1.32







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SHEET TITLE:

UTILITY PLAN -

SE

DRAWN BY: RSO

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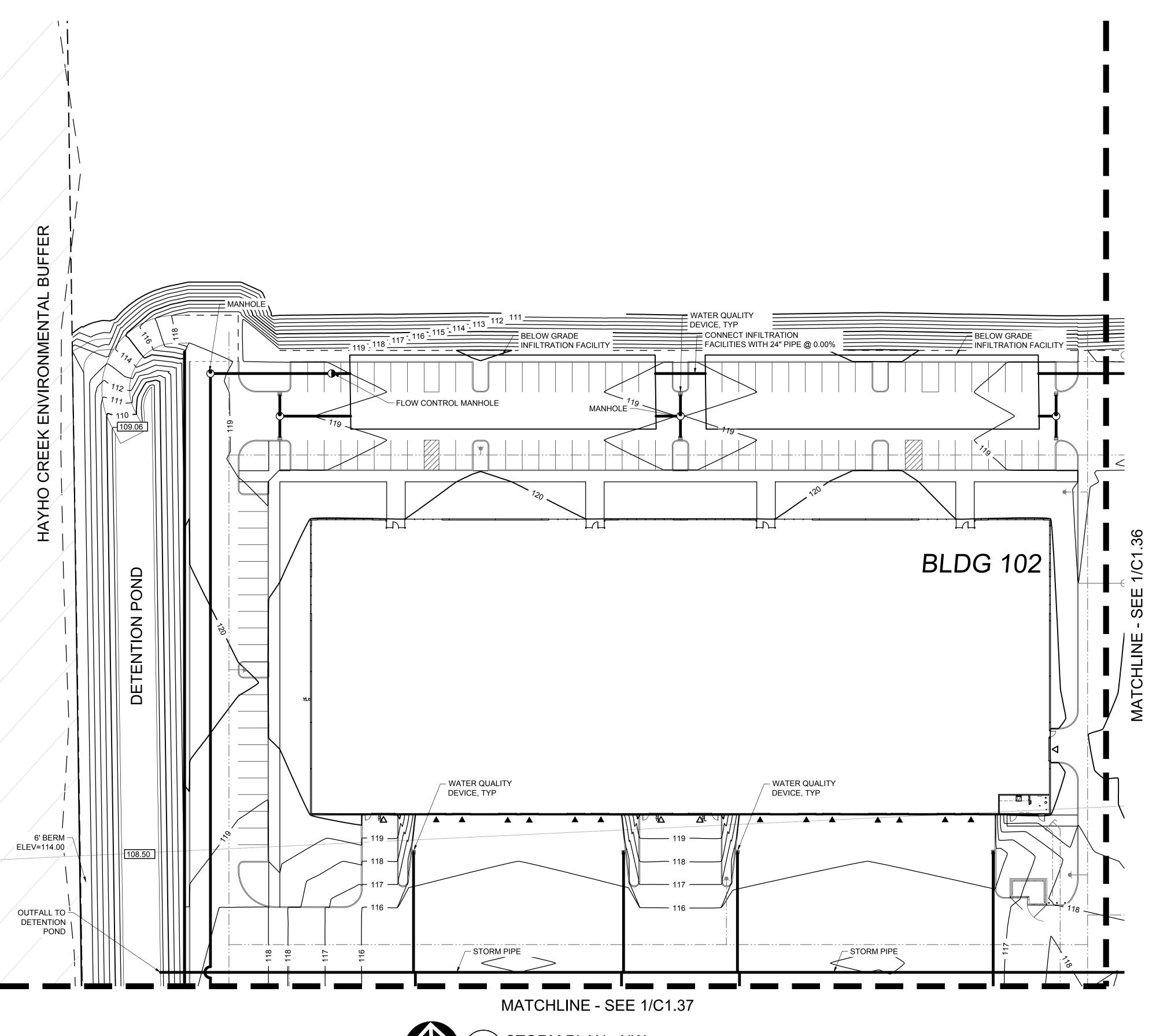
n. C1.3

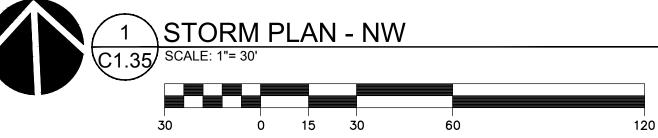
C1.32

C1.34

C1.31

SE $\frac{1}{4}$ SECTION 28, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M. $NE_{\frac{1}{4}}$ SECTION 33, TOWNSHIP 31 NORTH, RANGE 5 EAST





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SHEET TITLE:

STORM PLAN -NW

DRAWN BY: RSO

CHECKED BY:MLJ

C1.35



C1.36

C1.38

C1.35



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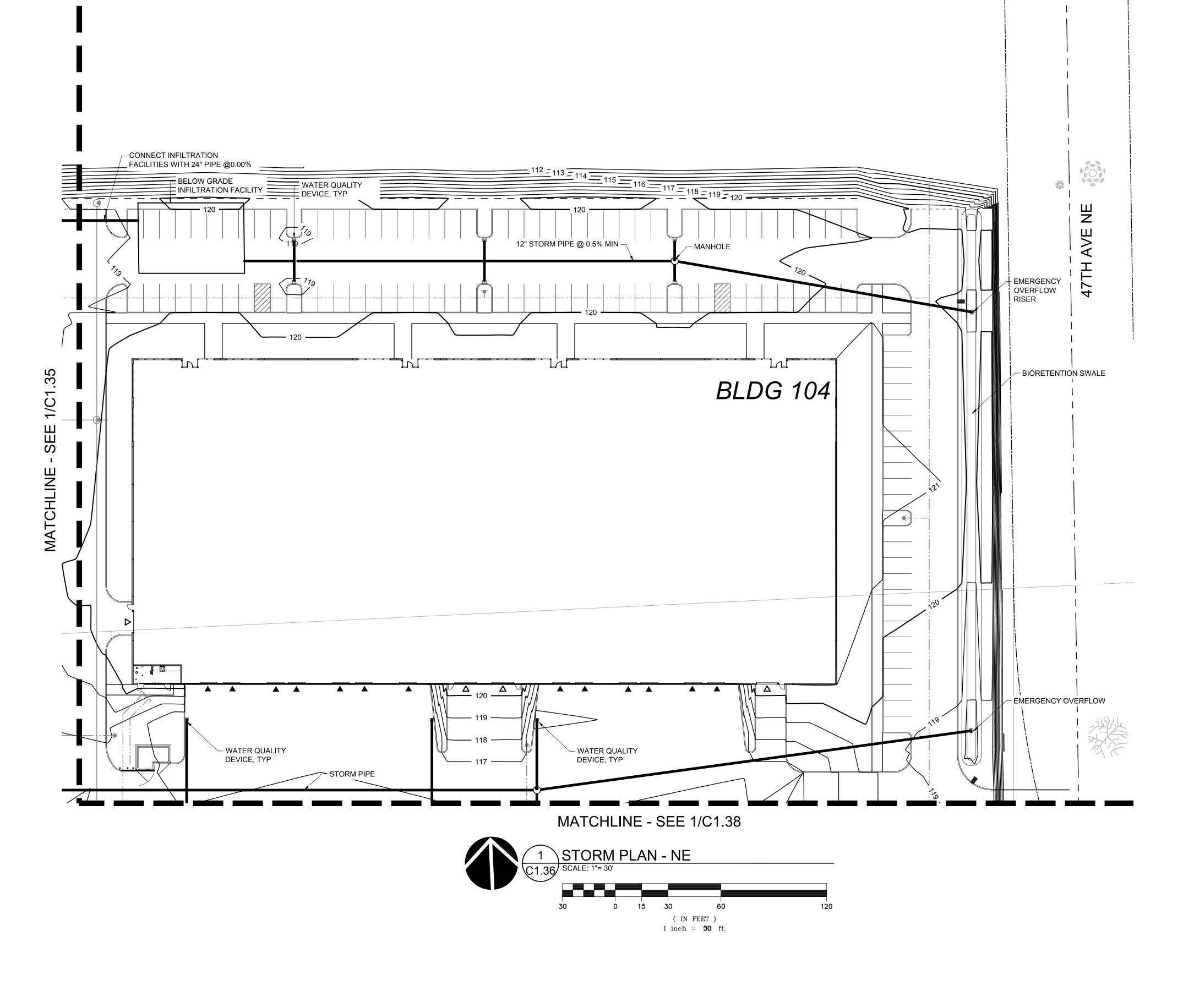
STORM PLAN -NE

DRAWN BY: RSO

CHECKED BY:MLJ



C1.36



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MATCHLINE - SEE 1/C1.35





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REVISION SCHEDULE

SHEET TITLE: STORM PLAN -

SW

DRAWN BY: RSO

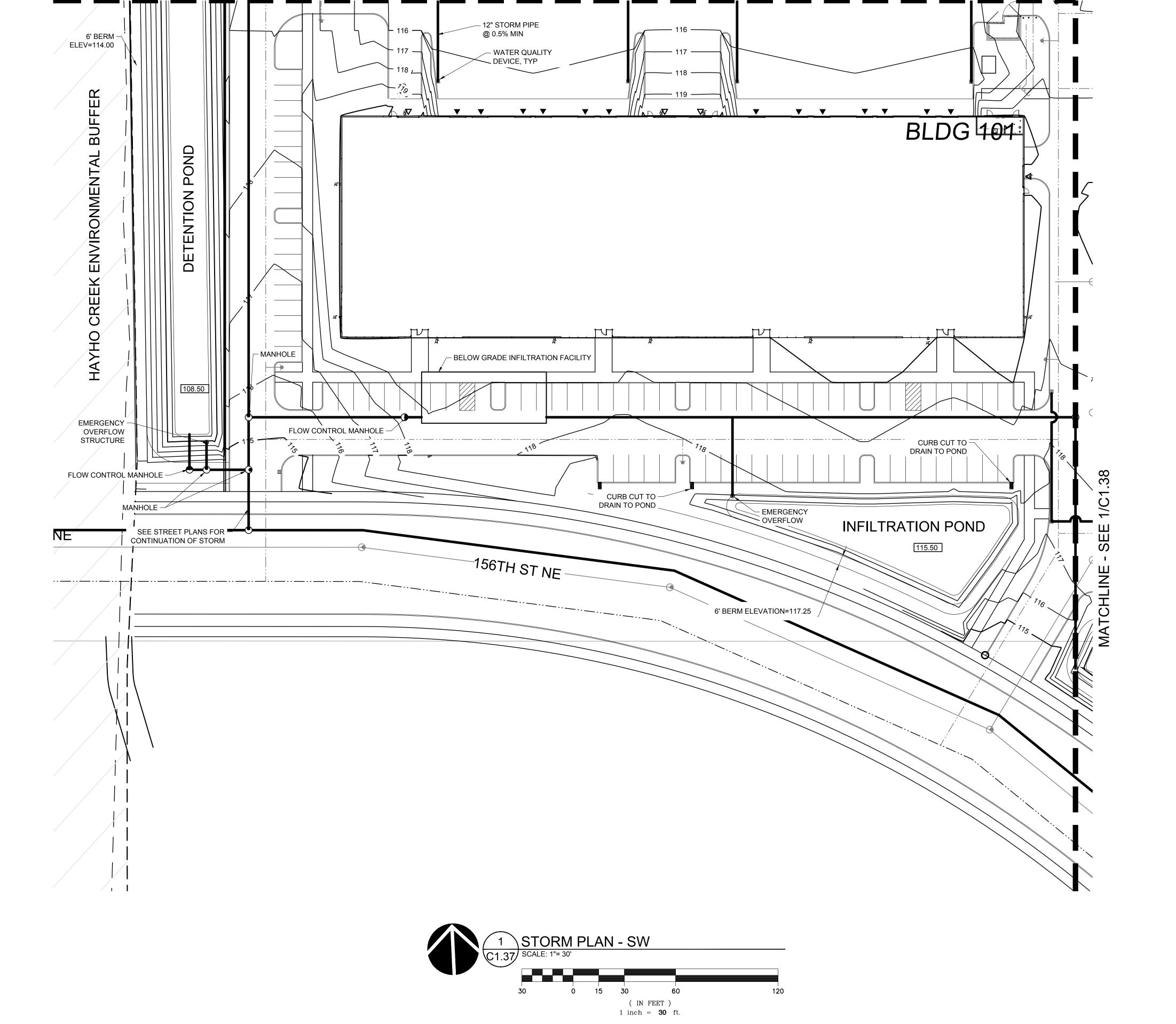
CHECKED BY:MLJ

C1.37 Know what's below. Call before you dig. JOB NO. **2200444.00**

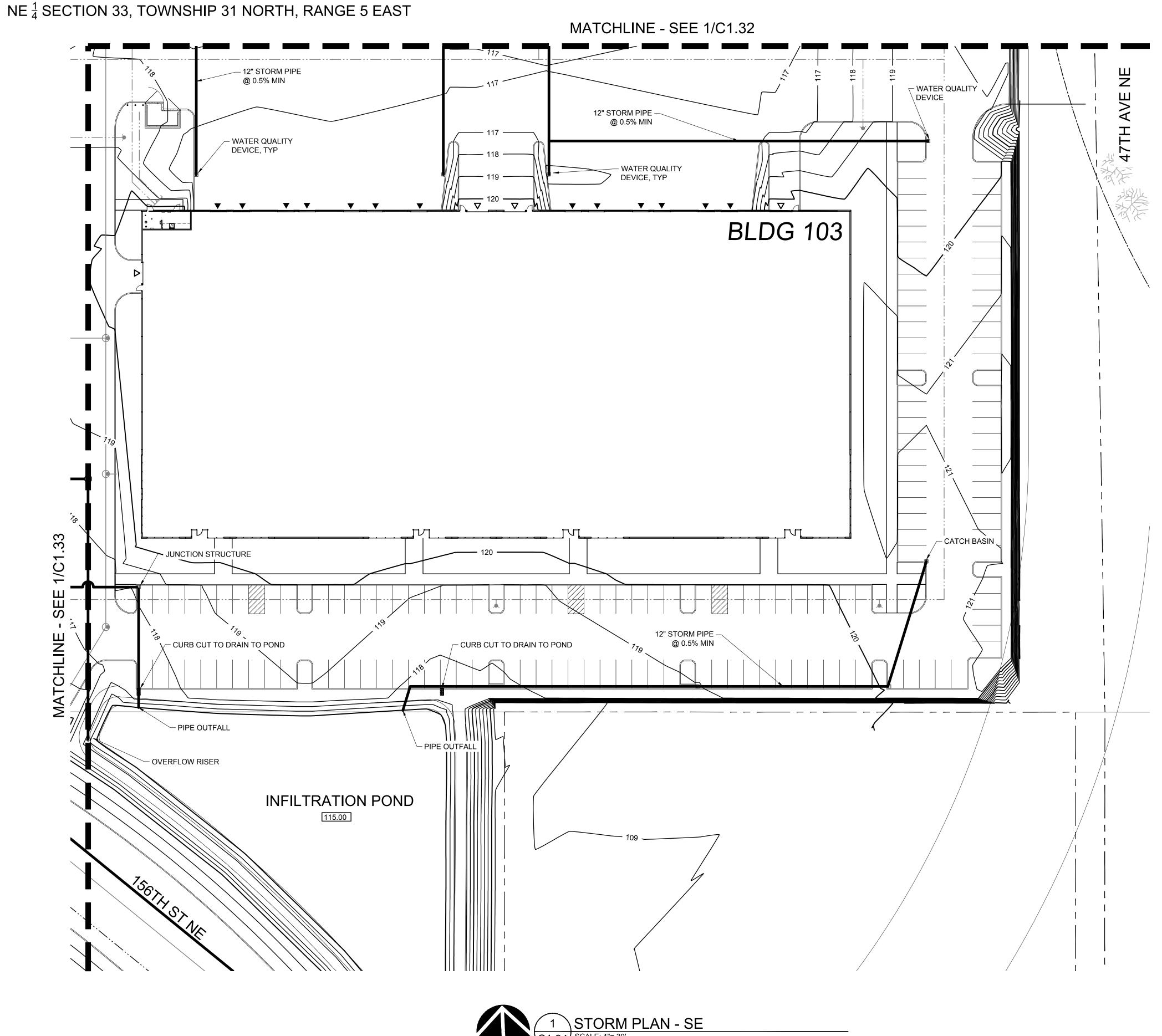
C1.36

C1.35

C1.37



SE ¹/₄ SECTION 28, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.



(IN FEET) 1 inch = **30** ft.



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C1.36

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SHEET TITLE:

SHEET TITLE:

STORM PLAN -

SE

DRAWN BY: RSO

CHECKED BY:MLJ

C1.38

C1.35