

SE 1/4 SECTION 28, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.
 NE 1/4 SECTION 33, TOWNSHIP 31 NORTH, RANGE 5 EAST

MARYSVILLE CORPORATE CENTER

BINDING SITE PLAN



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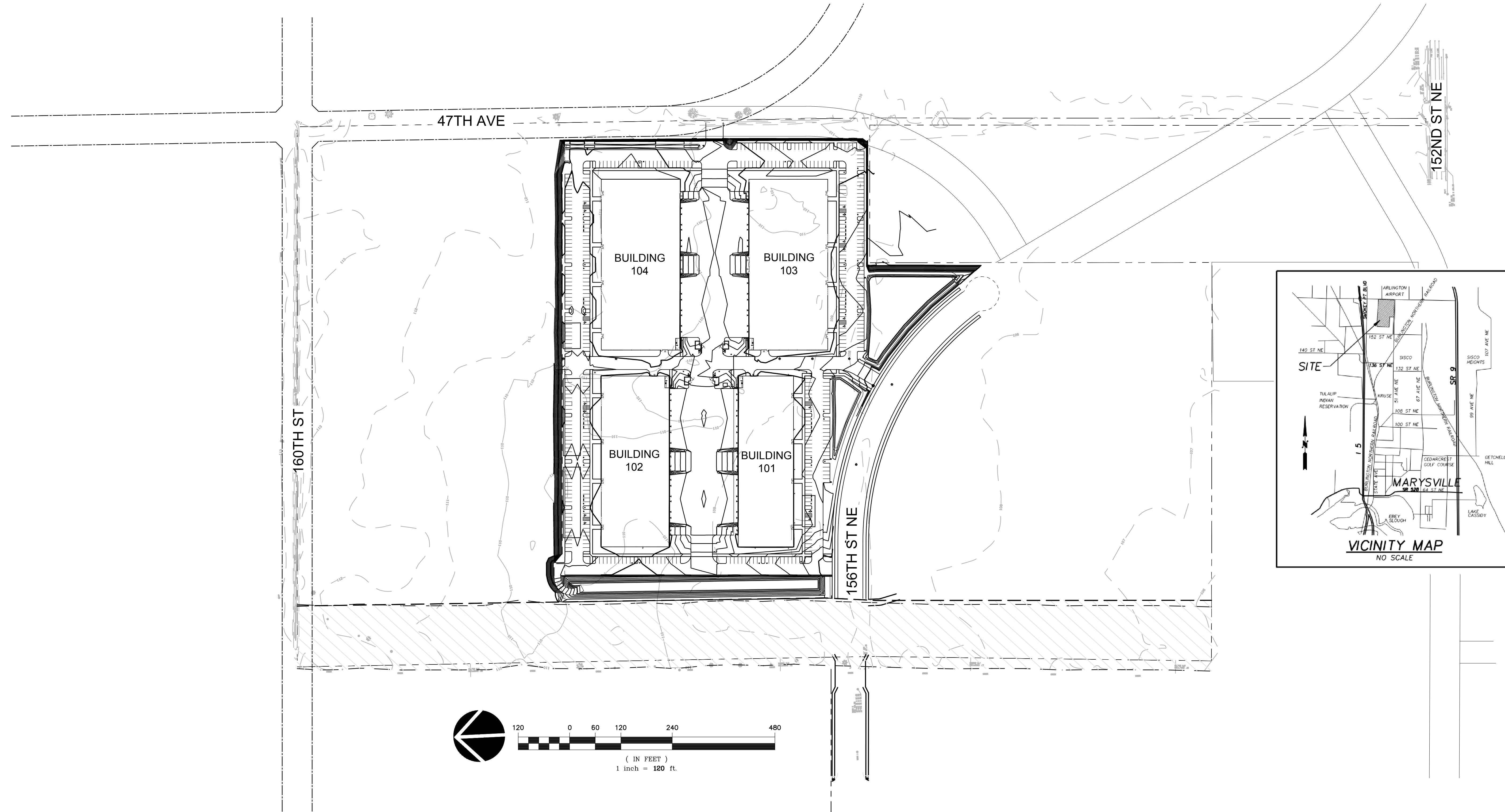
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REVISION SCHEDULE		
Delta	Issued As	Issue Date

SHEET TITLE:
COVER SHEET

DRAWN BY: RSO
 CHECKED BY: MLJ

C0.00

JOB NO. **2200444.00**

OWNER/DEVELOPER

PACTRUST
 15350 SW SEQUOIA PARKWAY, STE 300
 PORTLAND, OR 97224

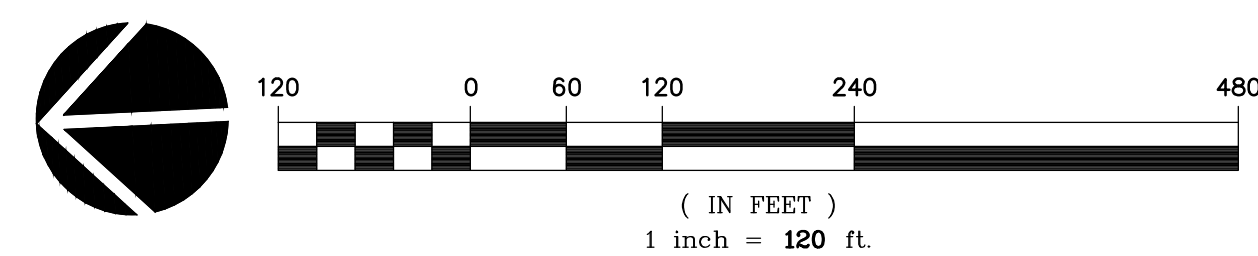
CONTACT: MATT OYEN
 PHONE: (503) 624-6300
 EMAIL: MATTO@PACTRUST.COM

APPLICANT REPRESENTATIVE:

MACKENZIE
 LOGAN BUILDING
 500 UNION STREET, SUITE 410
 SEATTLE, WA 98181
 PHONE: (206) 749-9993

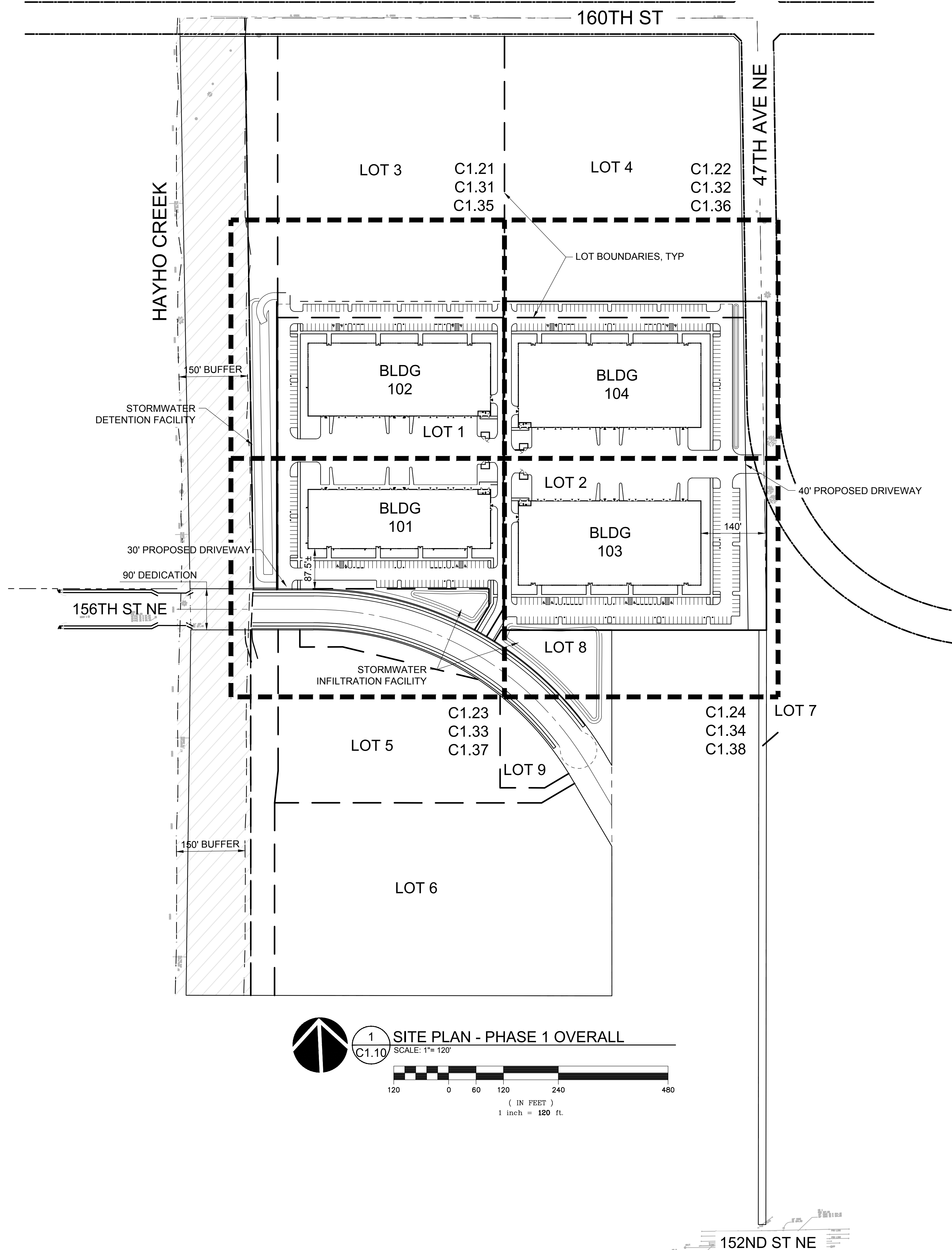
SHEET INDEX

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SITE DATA - LOT 1

LANDSCAPE AREA	83,299 SF (1.92 AC) (28.0%)
SIDEWALK/DRIVE AISLE AREA	94,196 SF (2.16 AC) (31.7%)
BUILDING AREA	120,000 SF (2.75 AC) (40.3%)
TOTAL AREA	297,495 SF (6.83 AC)

BUILDING SETBACKS:
 STREET SETBACK: MINIMUM 10' PROVIDED 90.5'
 INTERIOR SETBACK: MINIMUM 5' PROVIDED 30'
 LOT COVERAGE: MAXIMUM OF 80% IMPERVIOUS, PROVIDED 72.0%
 BUILDING LOT COVERAGE: N/A

SITE DATA - LOT 2

LANDSCAPE AREA	101,345 SF (2.33 AC) (28.0%)
SIDEWALK/DRIVE AISLE AREA	112,602 SF (2.58 AC) (31.1%)
BUILDING AREA	148,000 SF (3.40 AC) (40.9%)
TOTAL AREA	361,947 SF (8.31 AC)

BUILDING SETBACKS:
 STREET SETBACK: MINIMUM 10' PROVIDED 99.71'
 INTERIOR SETBACK: MINIMUM 5' PROVIDED 30'
 LOT COVERAGE: MAXIMUM OF 80% IMPERVIOUS, PROVIDED 72.0%
 BUILDING LOT COVERAGE: N/A

PARKING DATA - LOT 1

OFFICE: (12,000 SF X 1 STALL PER 400 SF) = 30 REQUIRED 30 PROVIDED
 WAREHOUSE/MANUFACTURING: (108,000 SF X 1 STALL PER 2,000 SF) = 54 REQUIRED 117 PROVIDED
 TOTAL: (PER ABOVE) 84 REQUIRED 147 PROVIDED

ACCESSIBLE SPACE: 7 REQUIRED, 6 STANDARD 2 VAN PROVIDED
 COMPACT SPACE: 0 (0.0%)
 LOADING SPACE: (2= 2 REQUIRED) 32 PROVIDED
 RIDE SHARE PARKING SPACES: (5%=9 REQUIRED) 9 PROVIDED
 BICYCLE PARKING: REQUIRED 9, PROVIDED 16
 (BICYCLE PARKING LOCATIONS TO BE DETERMINED)

PARKING DATA - LOT 2

OFFICE: (12,800 SF X 1 STALL PER 400 SF) = 32 REQUIRED 38 PROVIDED
 WAREHOUSE/MANUFACTURING: (115,200 SF X 1 STALL PER 2,000 SF) = 58 REQUIRED 168 PROVIDED
 TOTAL: (PER ABOVE) 90 REQUIRED 206 PROVIDED

ACCESSIBLE SPACE: 12 REQUIRED, 9 STANDARD 3 VAN PROVIDED
 COMPACT SPACE: 0 (0.0%)
 LOADING SPACE: (2 = 2 REQUIRED) 32 PROVIDED
 RIDE SHARE PARKING SPACES: (5%=16 REQUIRED) 16 PROVIDED
 BICYCLE PARKING: REQUIRED 12, PROVIDED 16
 (BICYCLE PARKING LOCATIONS TO BE DETERMINED)

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 (PHASE 1)**

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SHEET TITLE:
**SITE PLAN -
 PHASE 1
 OVERALL**

DRAWN BY: RSO
 CHECKED BY: MLJ

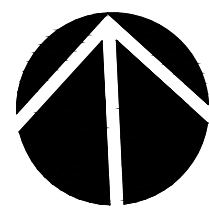
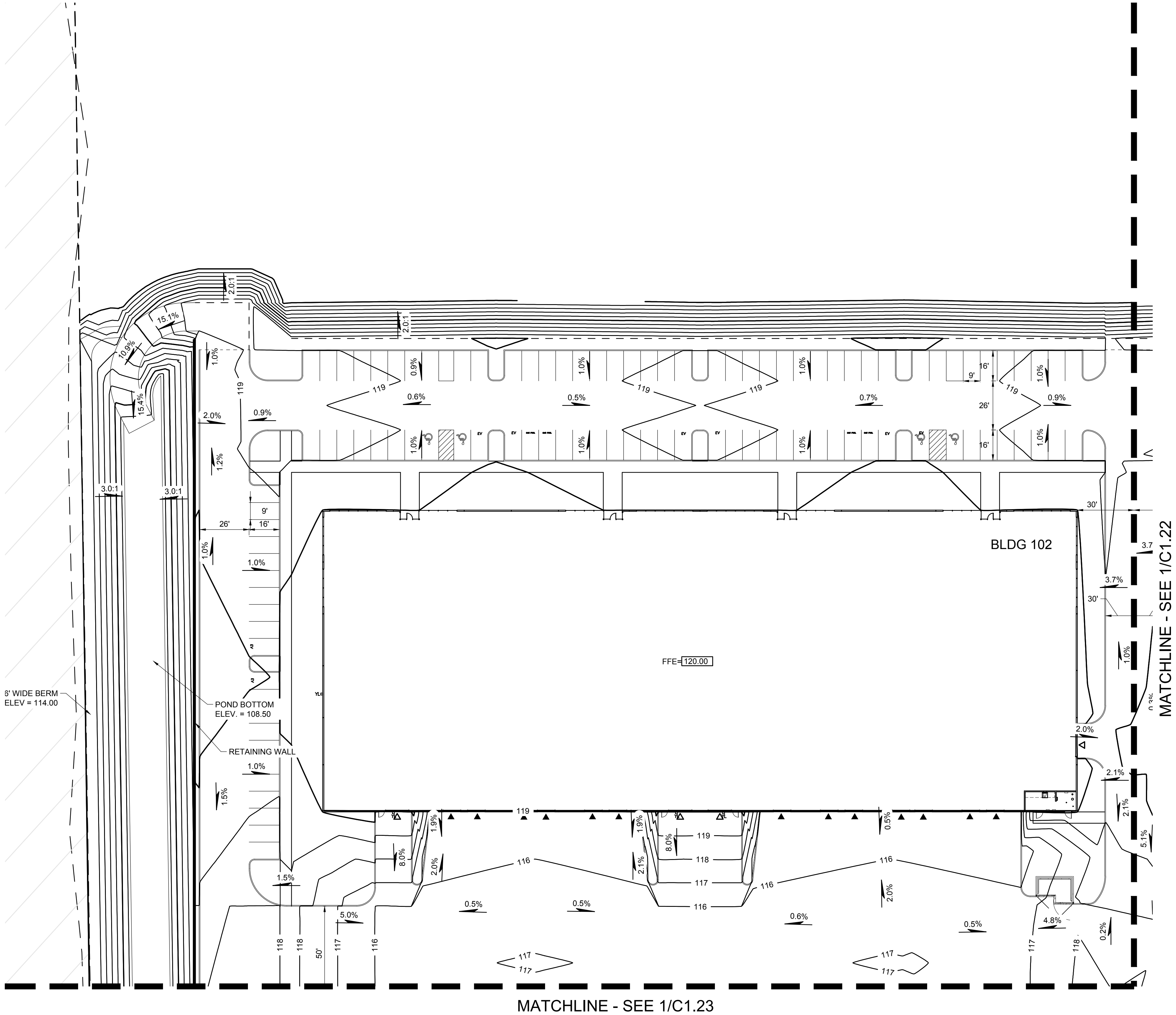
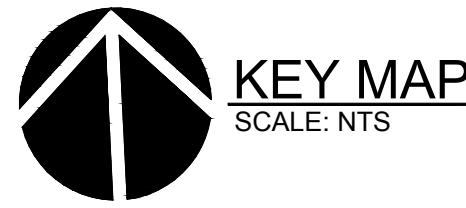
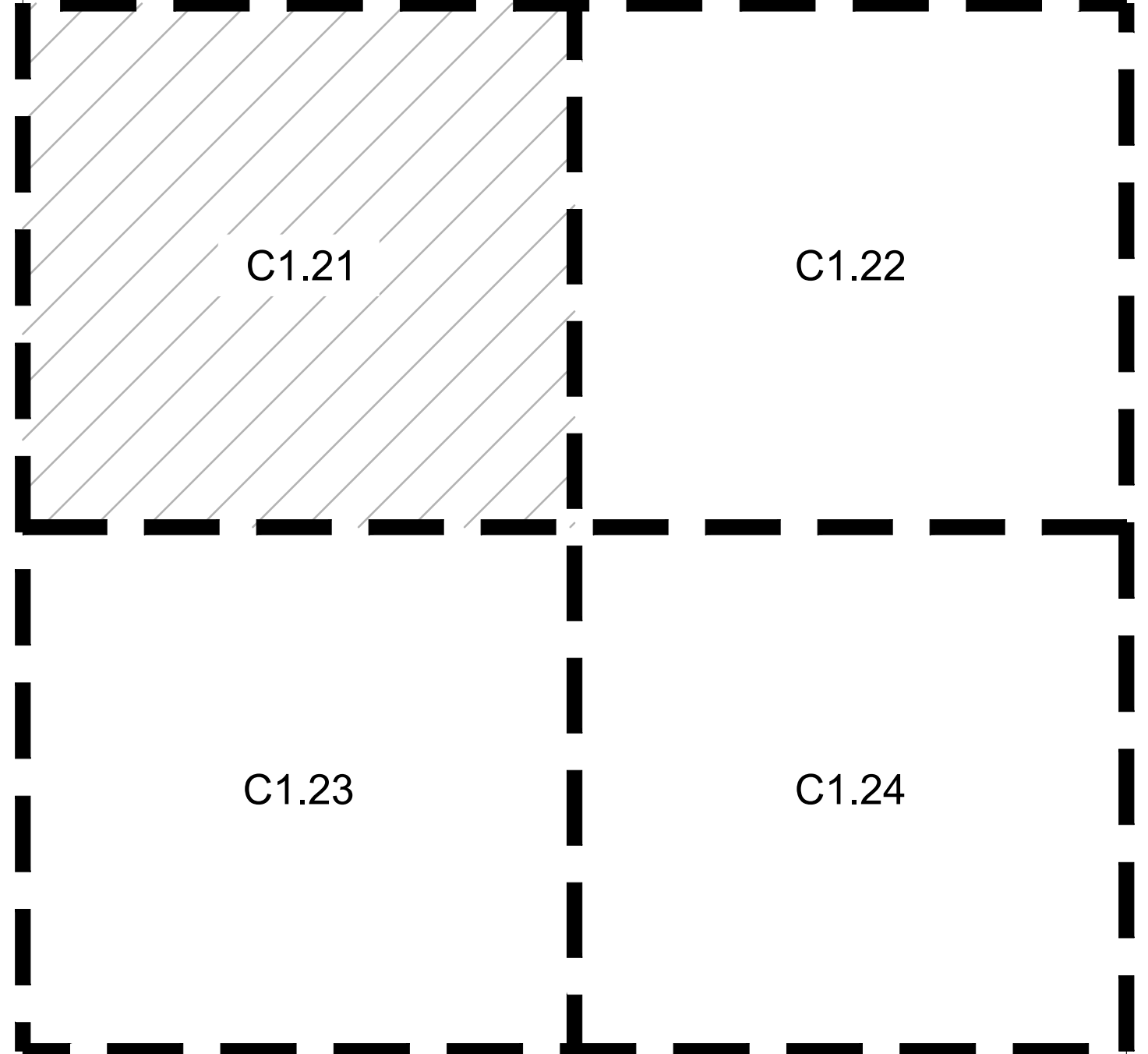
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JOB NO. **2200444.00**

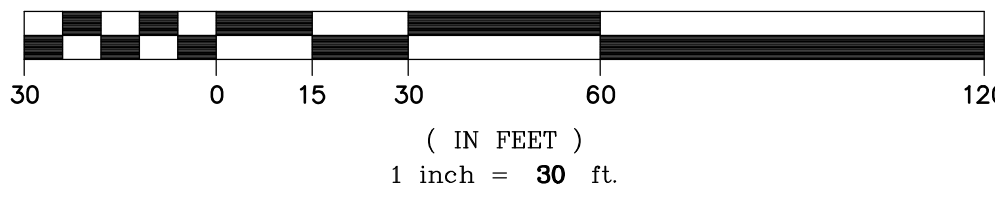


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1 GRADING PLAN - NW
 SCALE: 1" = 30'



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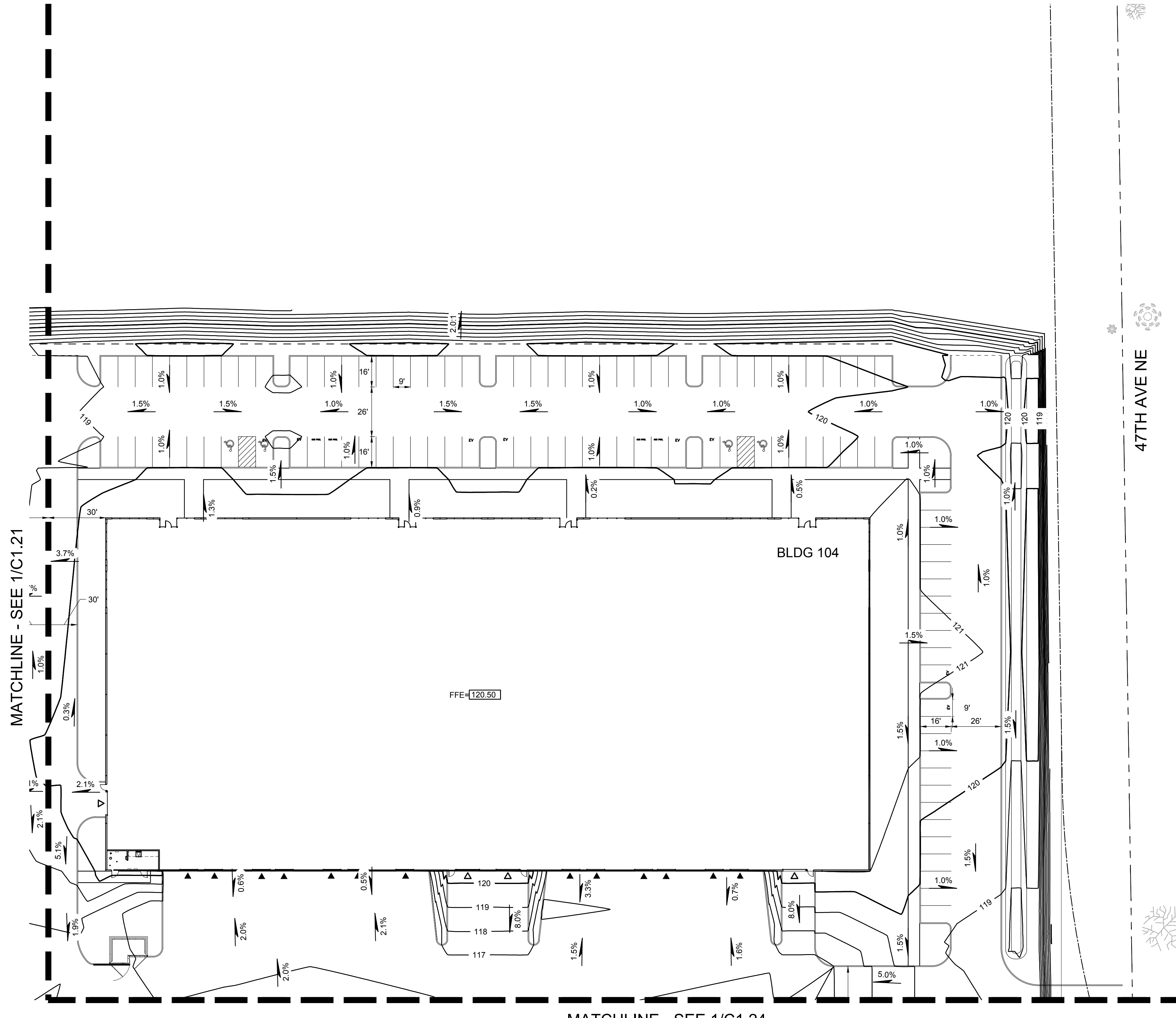
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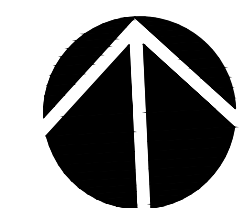
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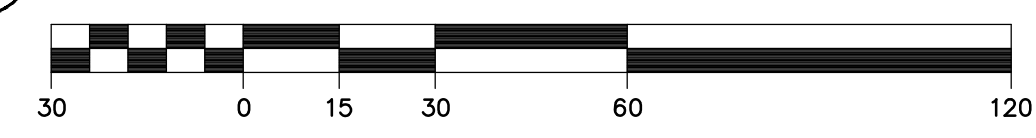
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MATCHLINE - SEE 1/C1.24

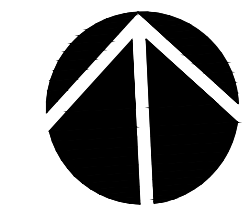
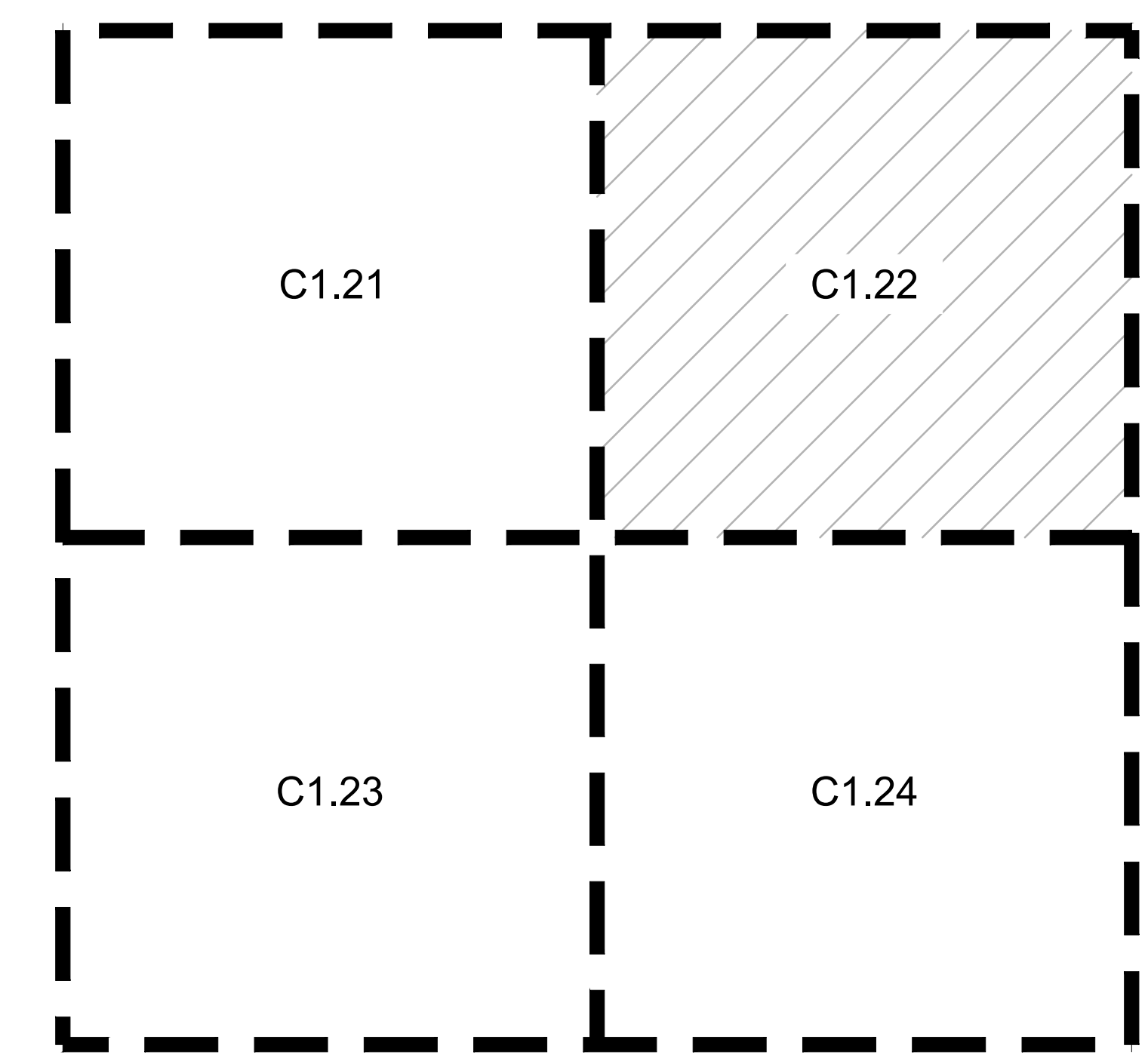


1 GRADING PLAN - NE

C1.22 SCALE: 1"= 30'



(IN FEET)
 1 inch = 30 ft.



KEY MAP
 SCALE: NTS

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SHEET TITLE:
GRADING PLAN - NE

DRAWN BY: RSO

CHECKED BY: MLJ

C1.22

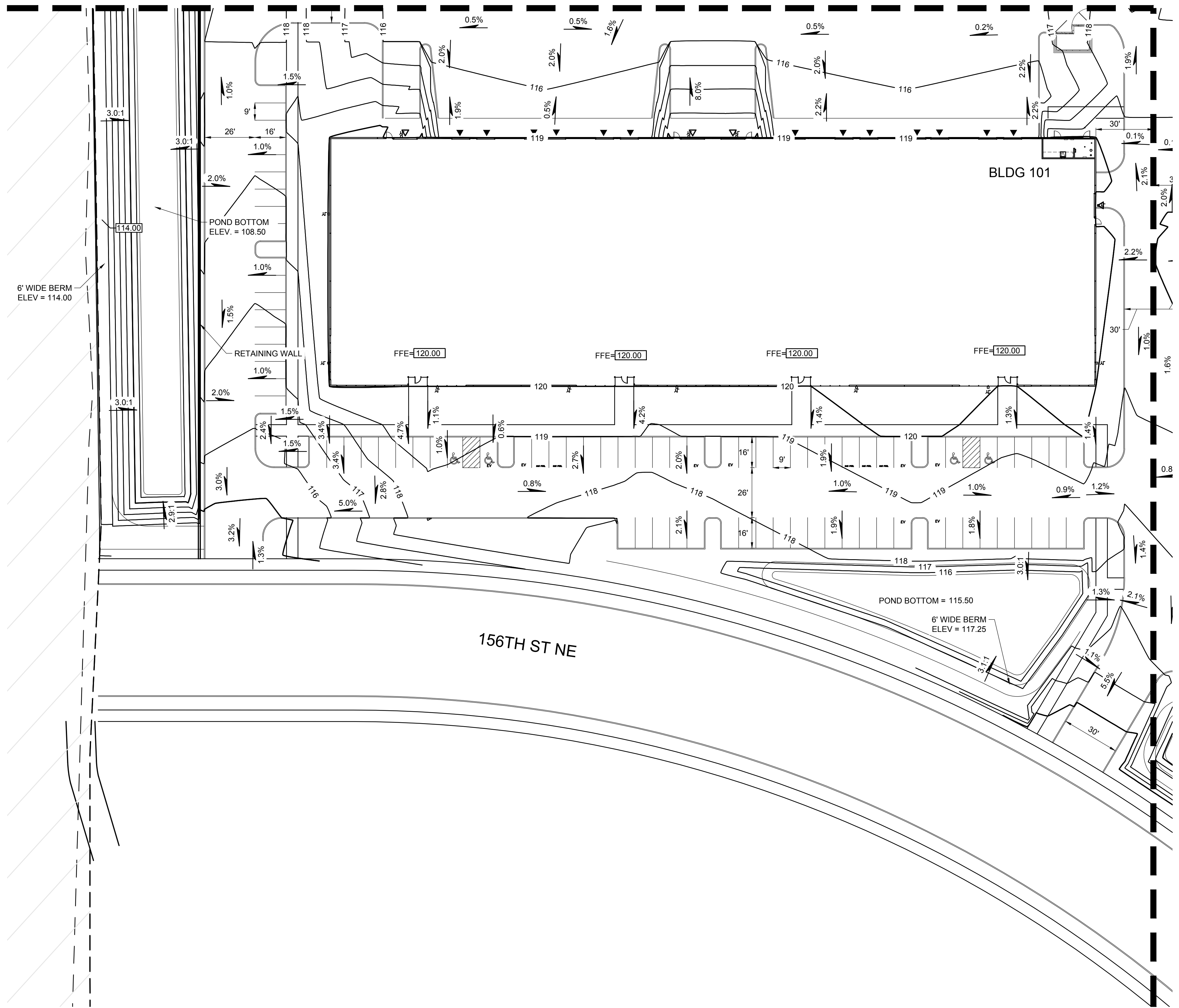


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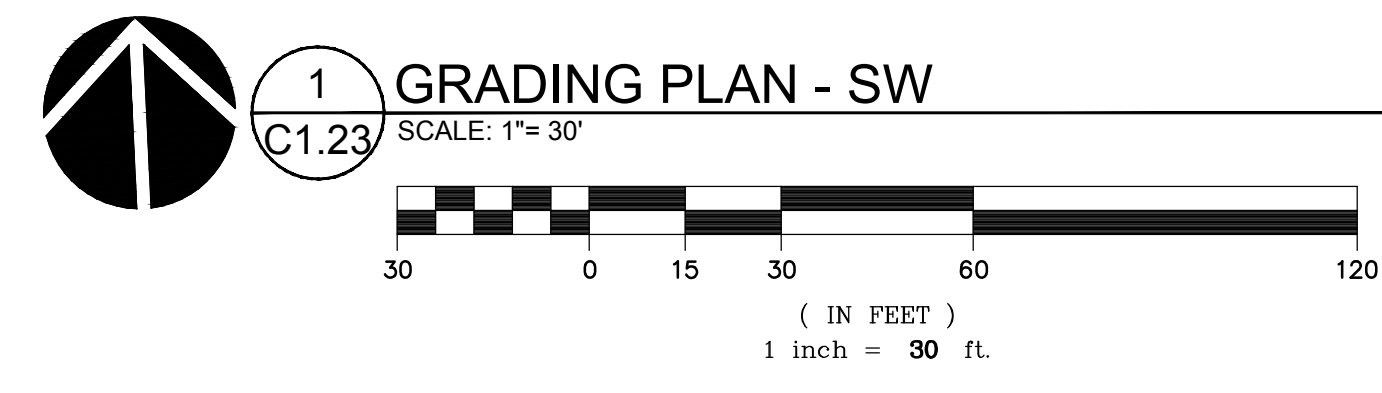
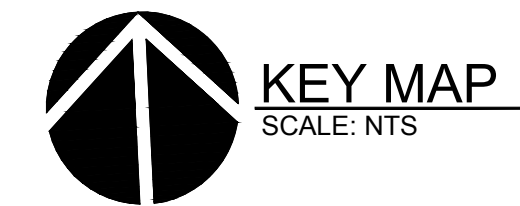
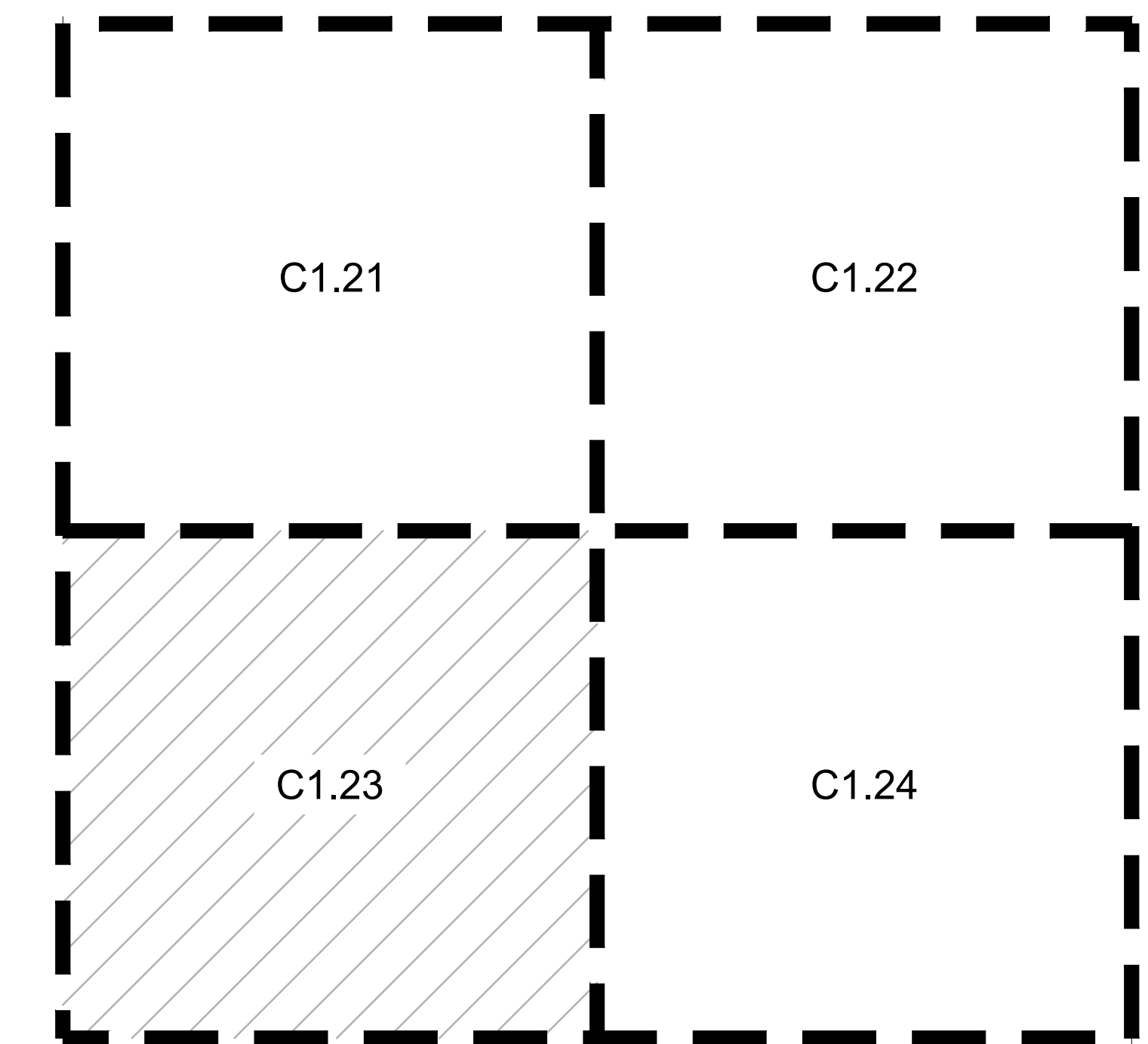
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SE 1/4 SECTION 28, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M.
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MATCHLINE - SEE 1/C1.21



MATCHLINE - SEE 1/C1.24



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Delta	Issued As	Issue Date

SHEET TITLE:
GRADING PLAN - SW

DRAWN BY: RSO
 CHECKED BY: MLJ

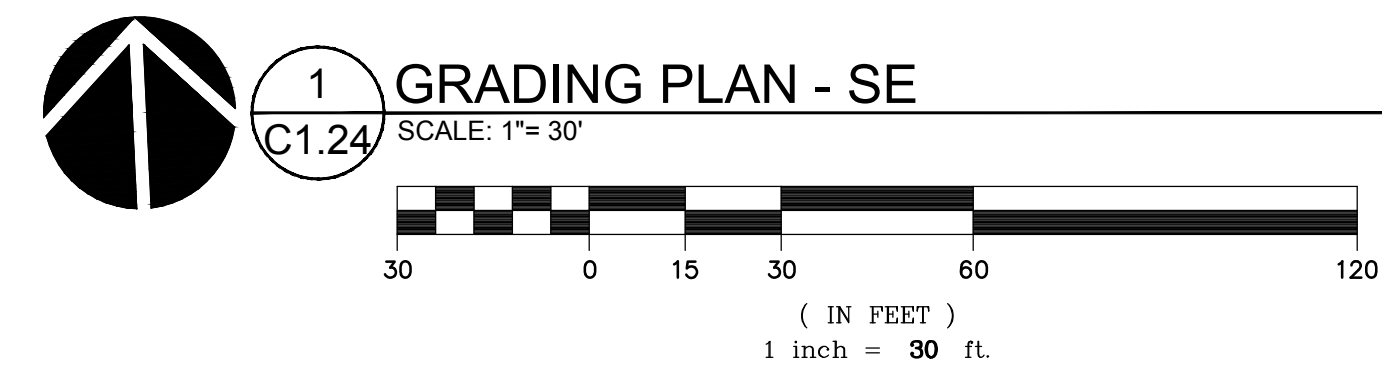
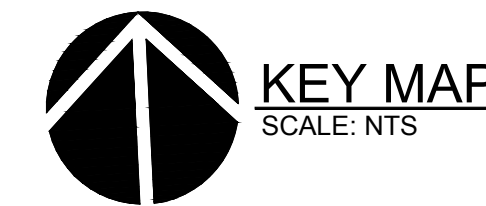
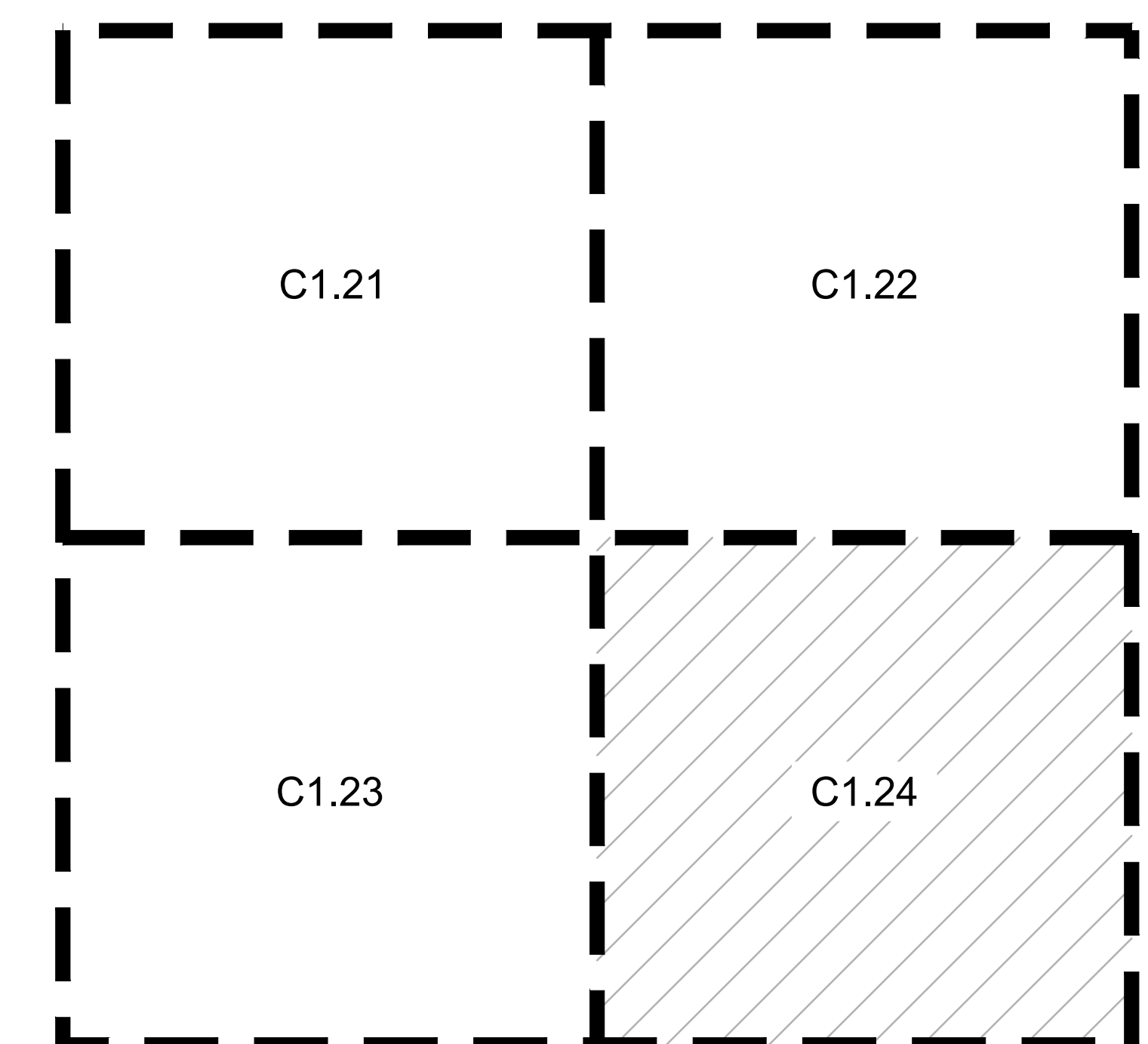
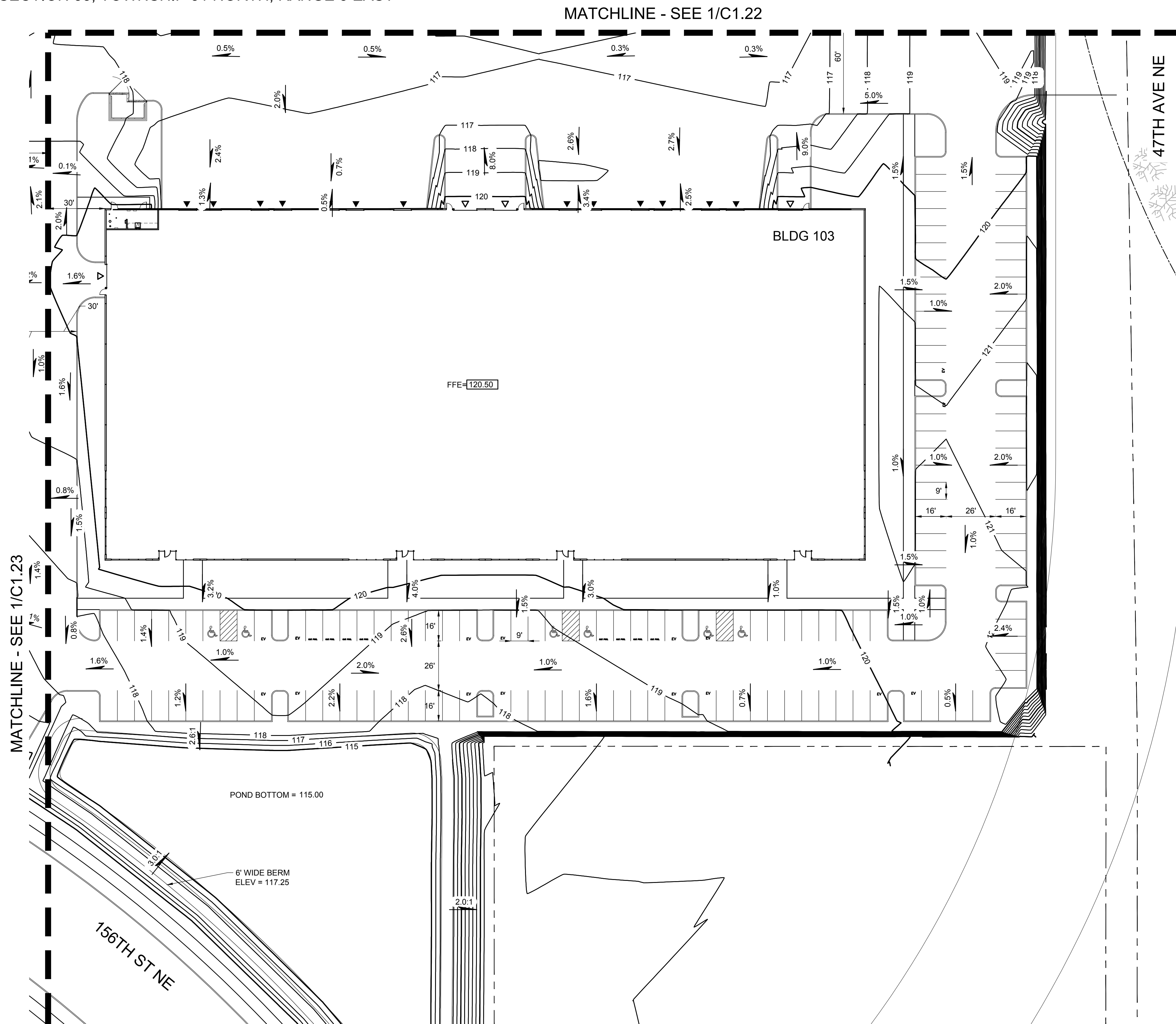
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SHEET TITLE:

UTILITY PLAN - NW

DRAWN BY: RSO

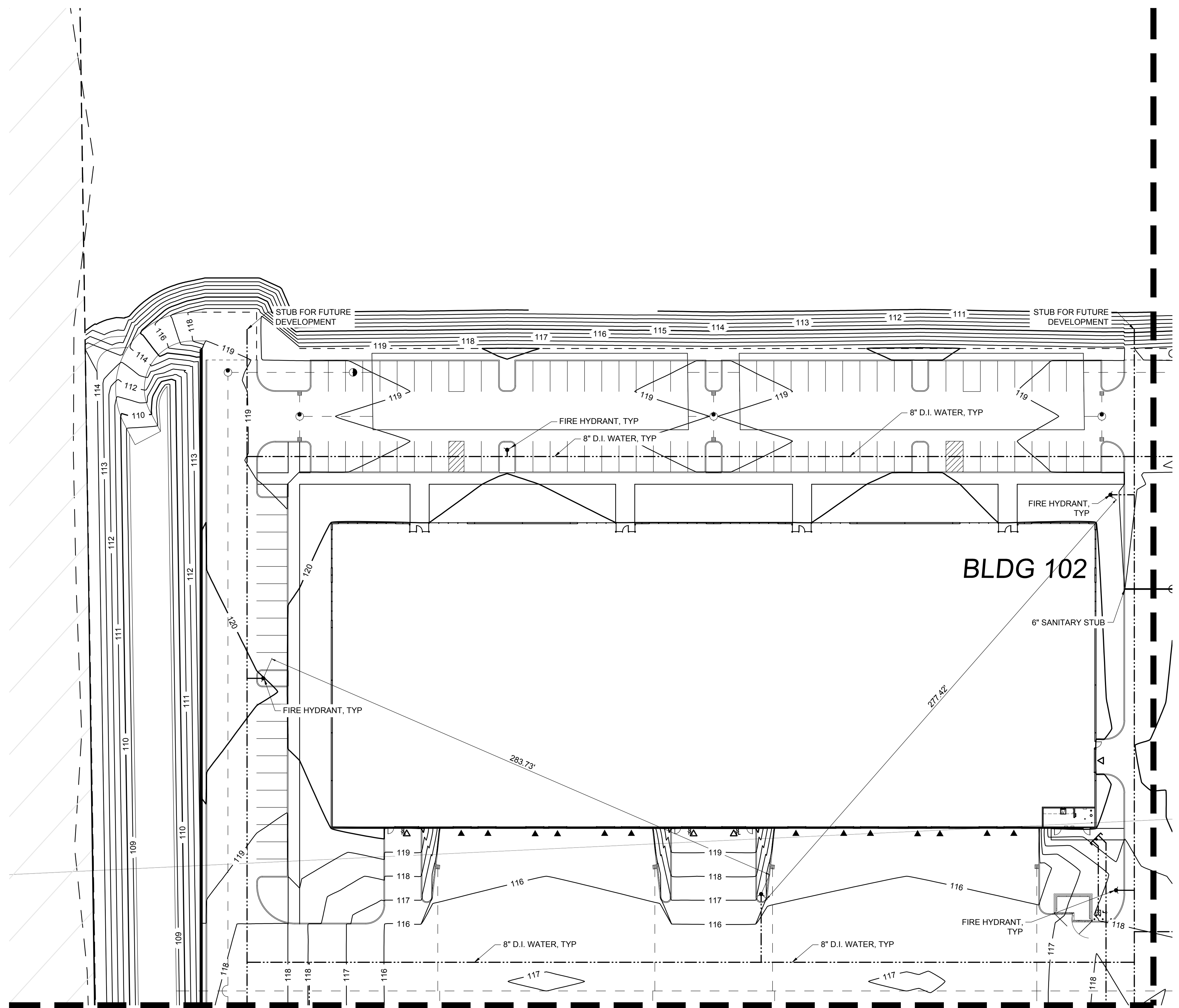
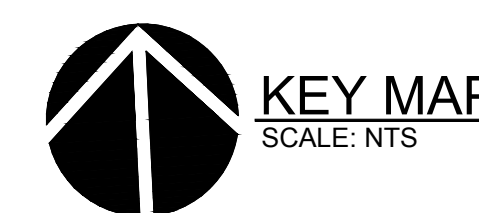
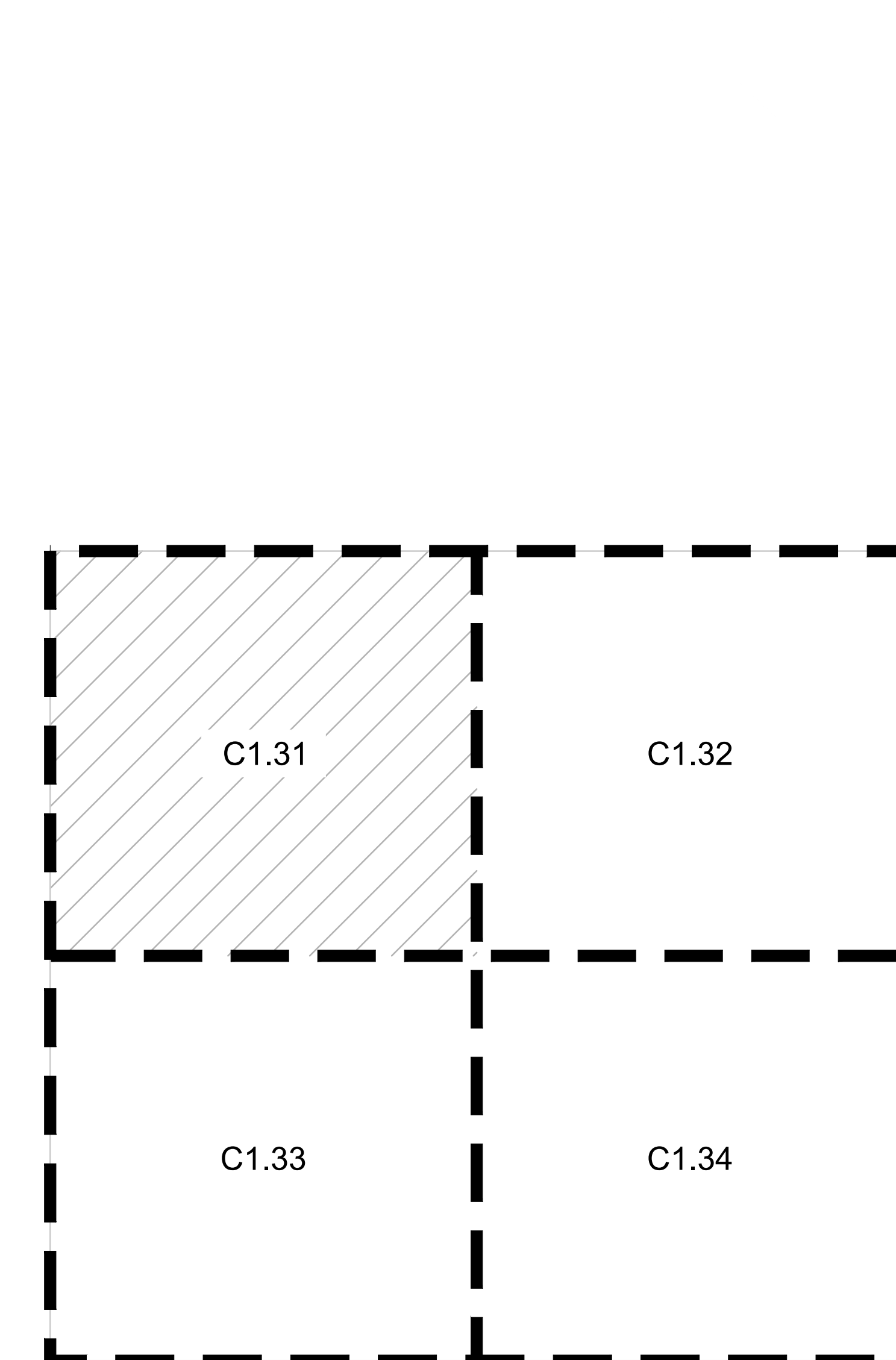
CHECKED BY: MLJ

C1.31

JOB NO. **220044.00**

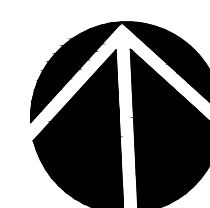


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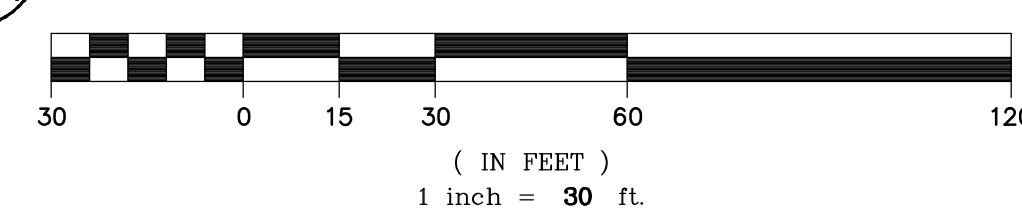


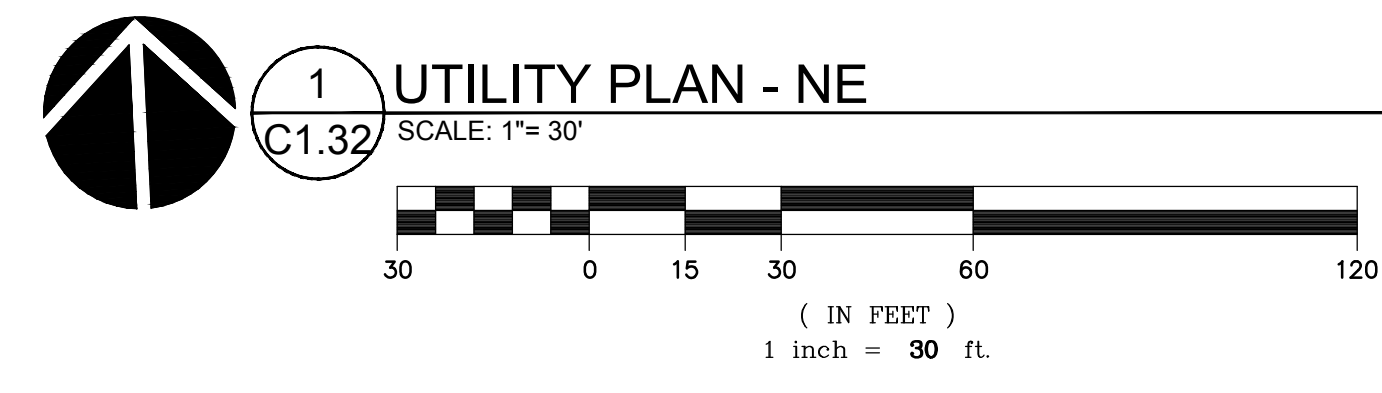
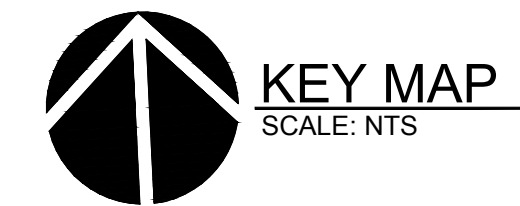
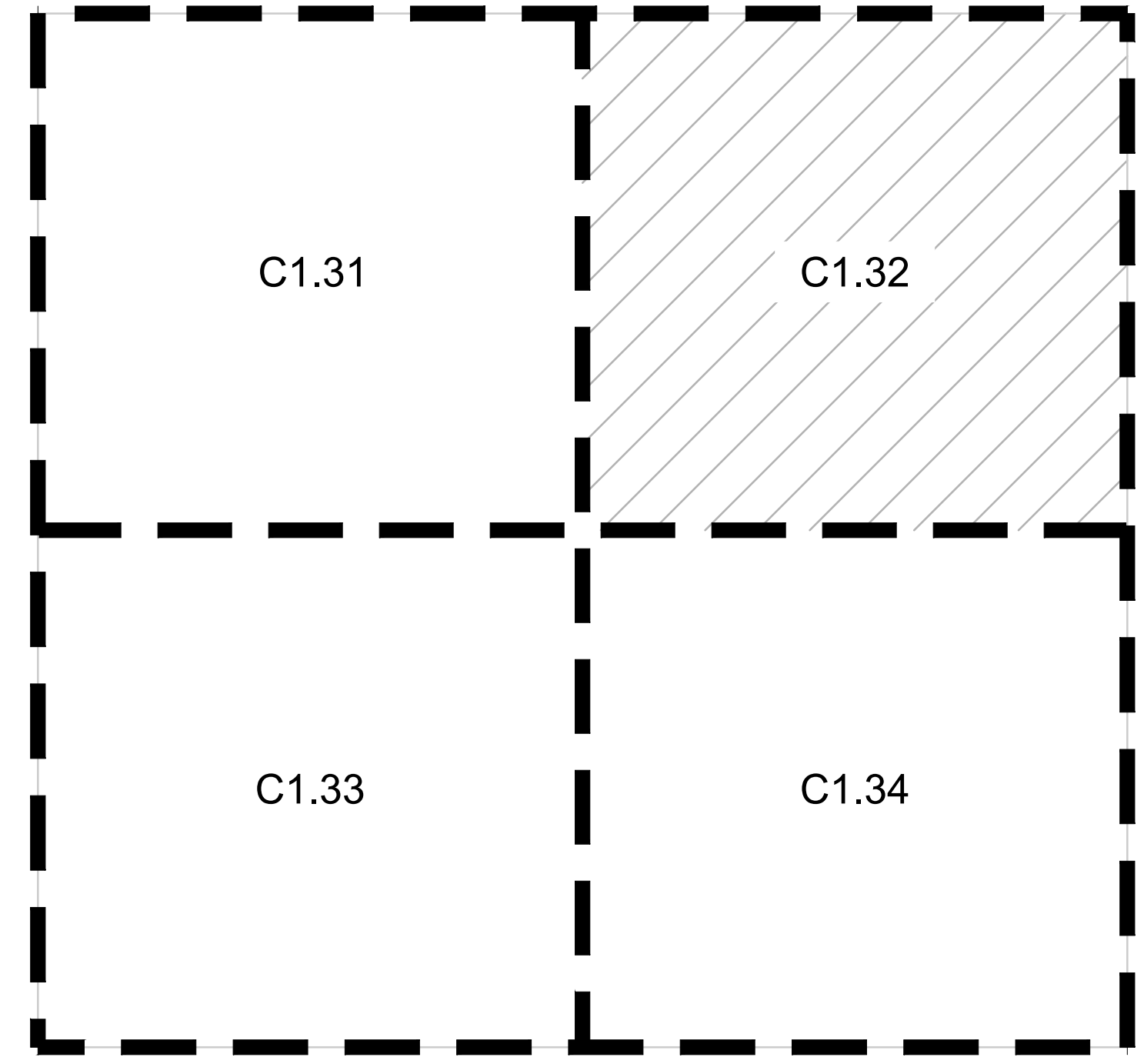
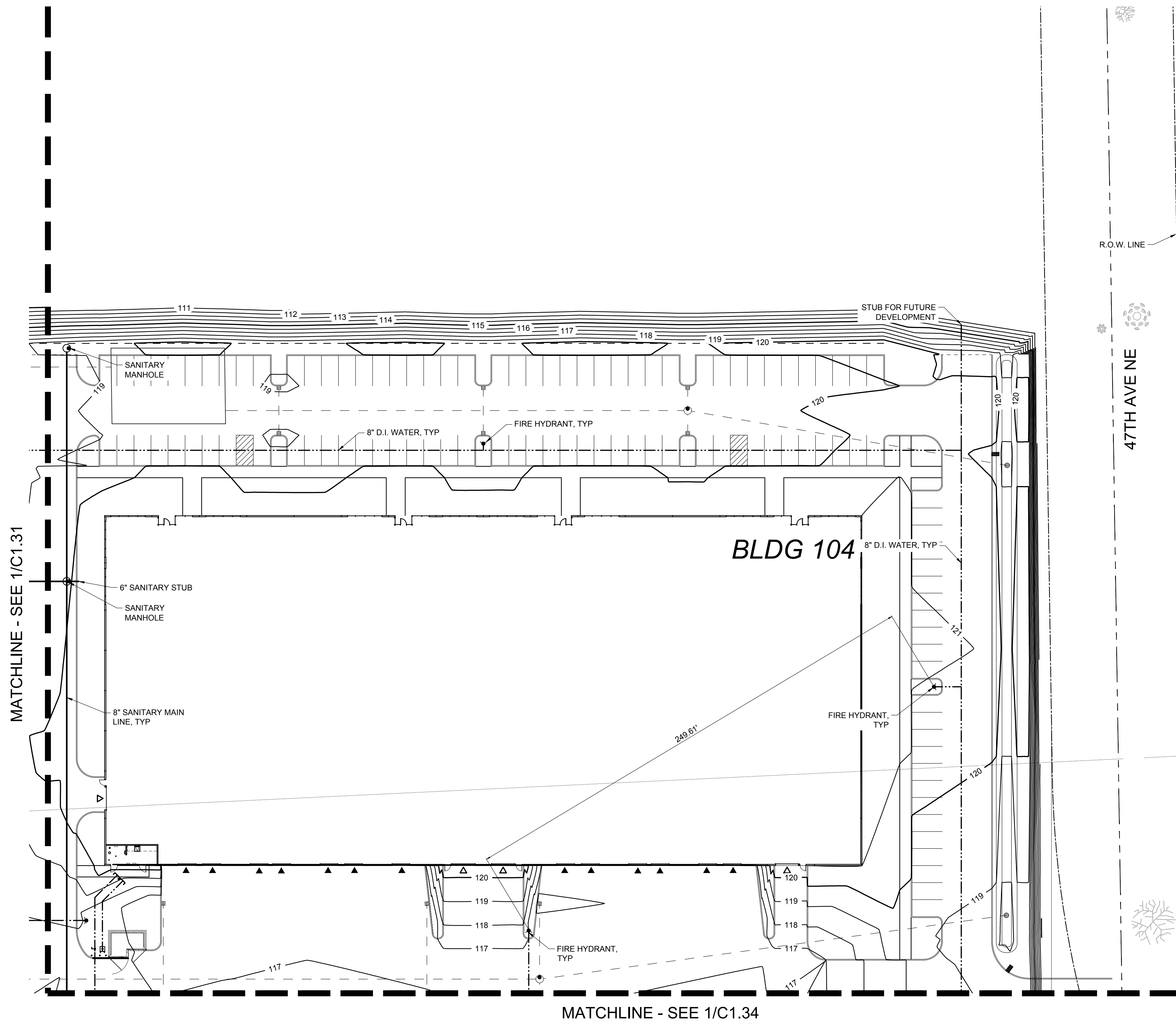
MATCHLINE - SEE 1/C1.32

MATCHLINE - SEE 1/C1.33



1 UTILITY PLAN - NW
SCALE: 1"= 30'





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Delta	Issued As	Issue Date

SHEET TITLE:
UTILITY PLAN - NE

DRAWN BY: RSO
 CHECKED BY: MLJ

C1.32

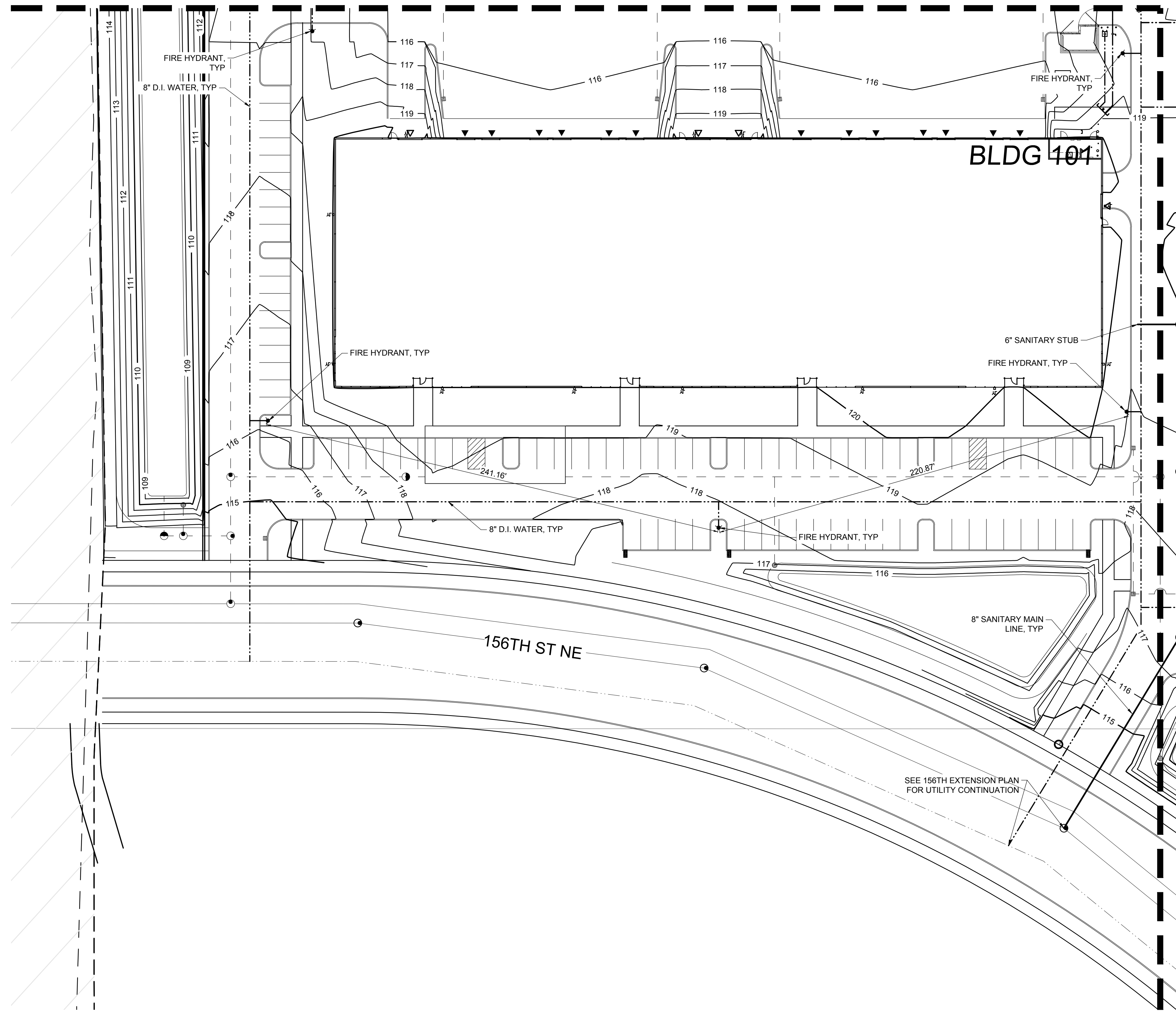
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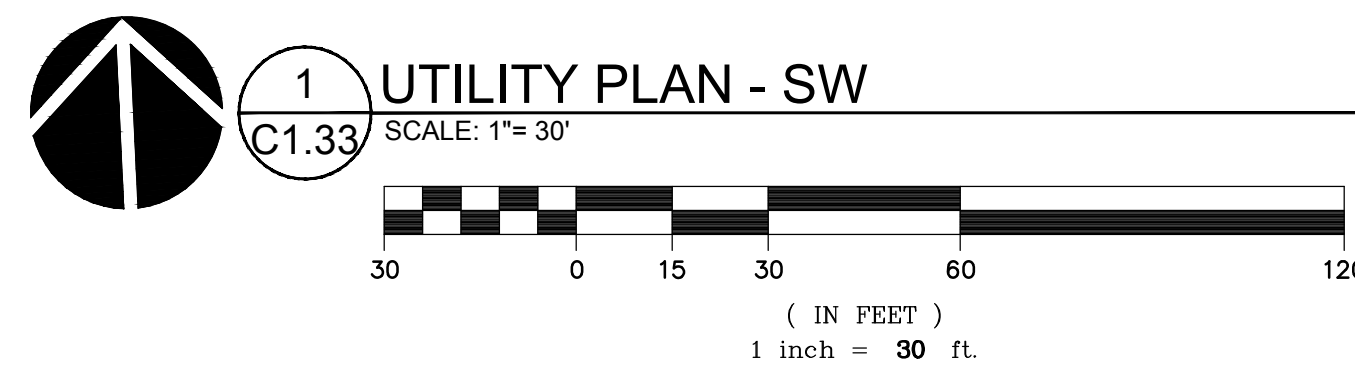
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 NE 1/4 SECTION 33, TOWNSHIP 31 NORTH, RANGE 5 EAST

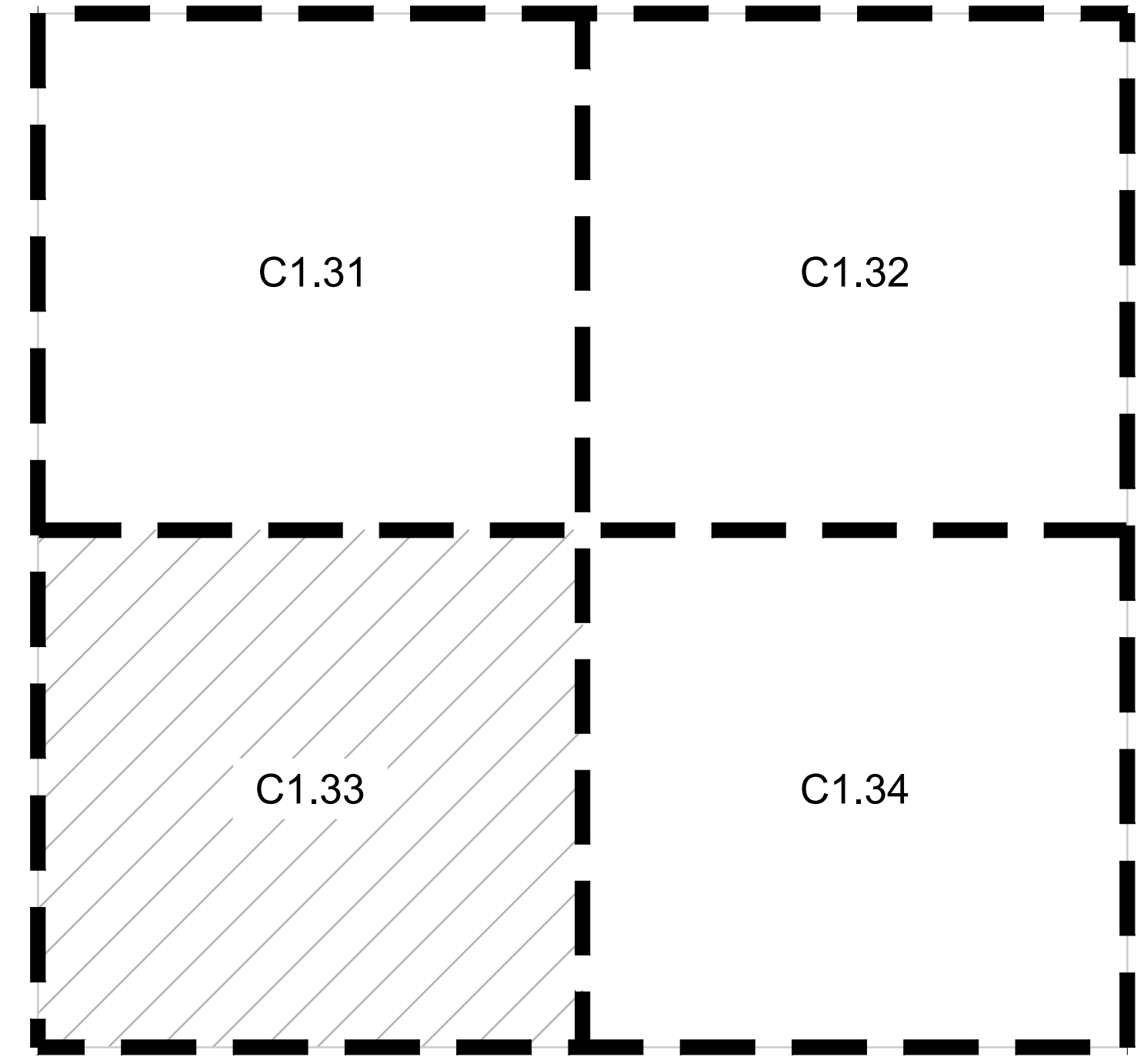
MATCHLINE - SEE 1/C1.31



MATCHLINE - SEE 1/C1.34



1 UTILITY PLAN - SW
 C1.33 SCALE: 1"= 30'



KEY MAP
 SCALE: N.T.S.



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SHEET TITLE:
UTILITY PLAN - SW

DRAWN BY: RSO
 CHECKED BY: MLJ

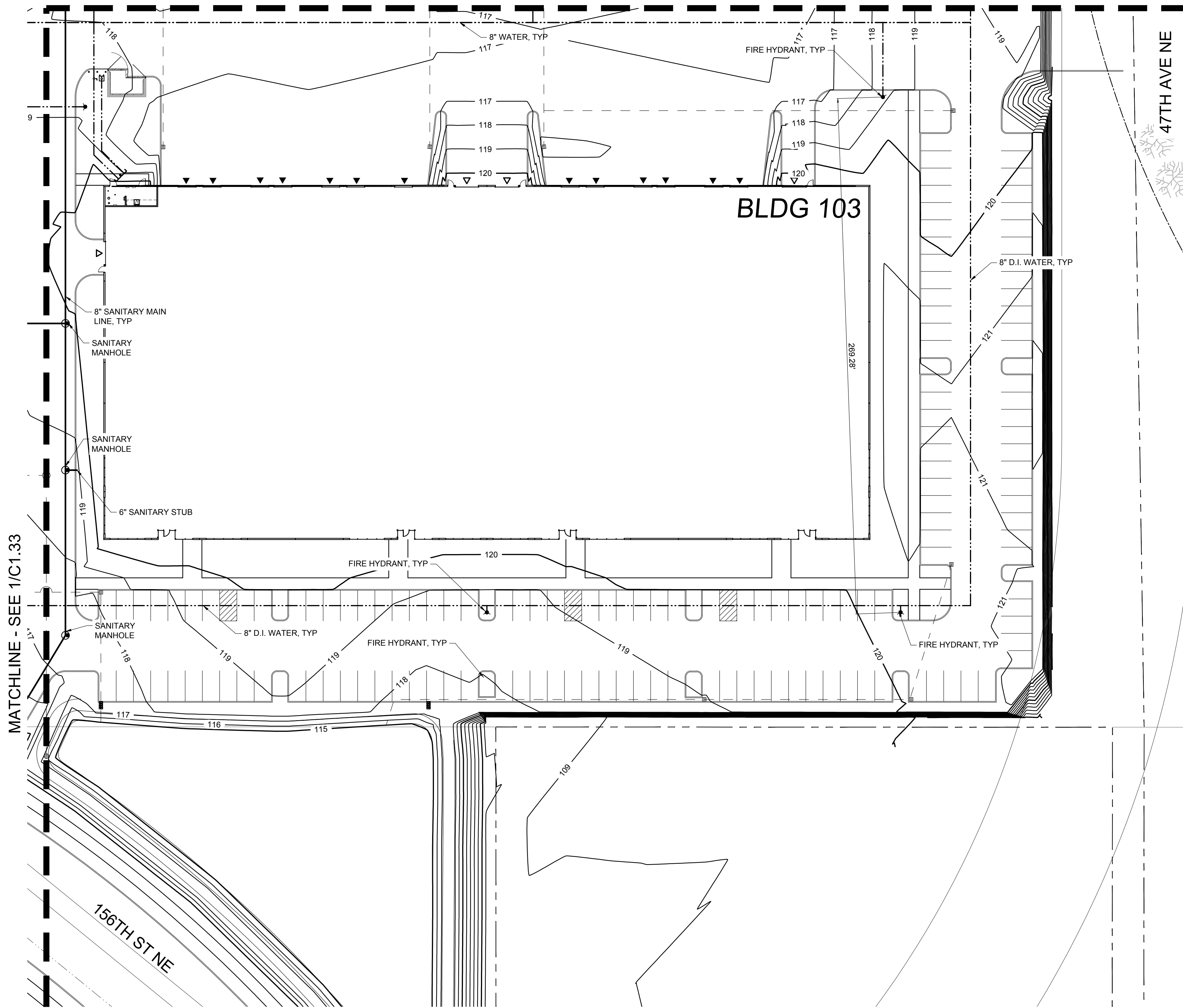
C1.33



JOB NO. **220044.00**

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 NE 1/4 SECTION 33, TOWNSHIP 31 NORTH, RANGE 5 EAST

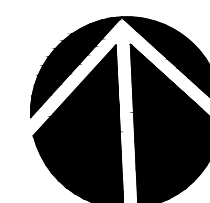
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MATCHLINE - SEE 1/C1.33

47TH AVE NE

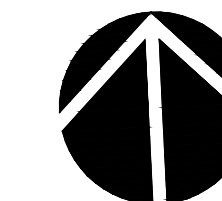
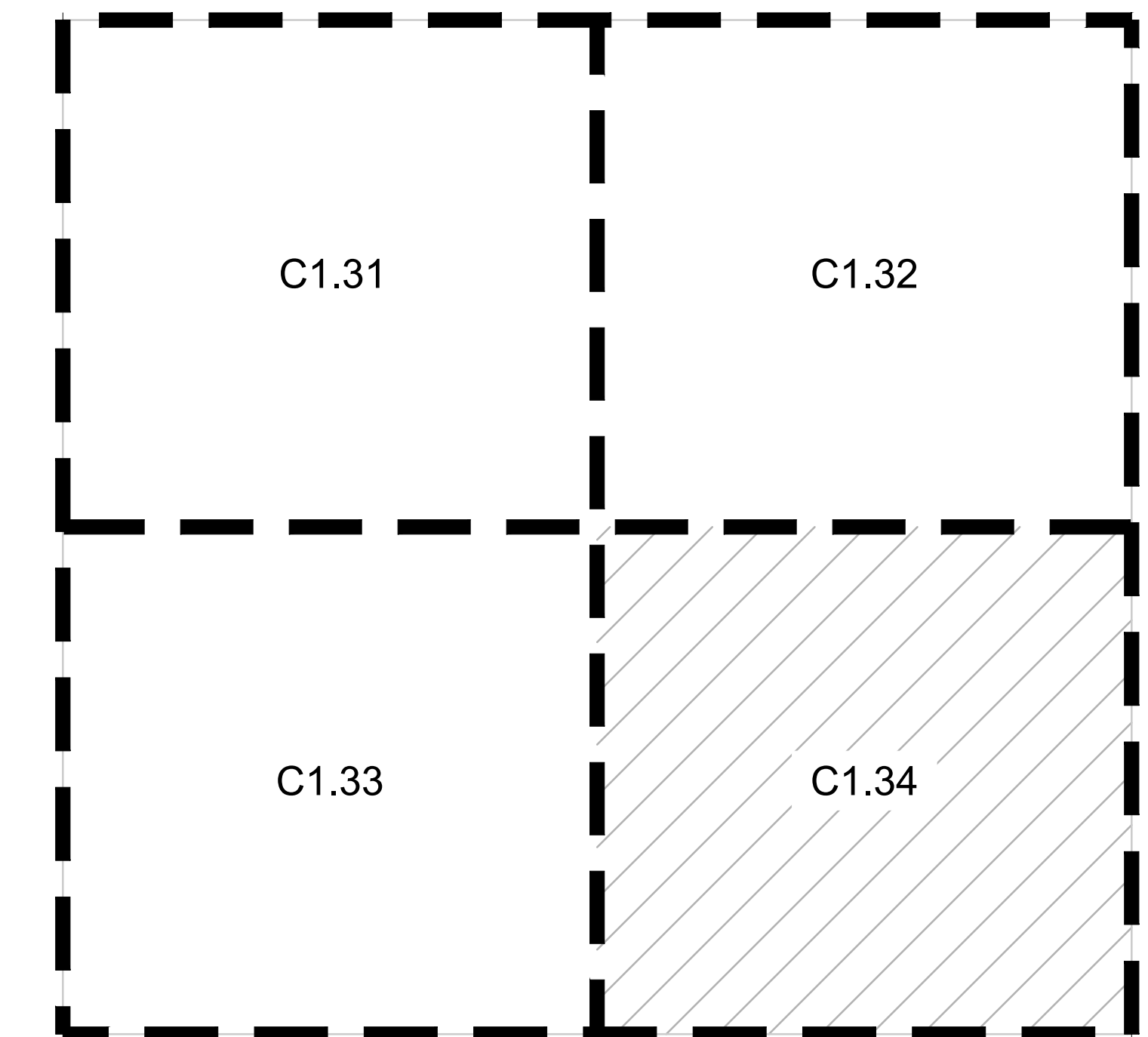
156TH ST NE



1 UTILITY PLAN - SE
 C1.34 SCALE: 1"= 30'



(IN FEET)
 1 inch = 30 ft.



KEY MAP
 SCALE: NTS



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SHEET TITLE:
 UTILITY PLAN -
 SE

DRAWN BY: RSO

CHECKED BY: MLJ

C1.34



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JOB NO. 2200444.00

PRELIMINARY BINDING SITE PLAN - 03/18/2022

220044400.DRAWINGSCIVILPHASE 1144-C1.31-C1.34.DWG.C1.34 RSO 03/18/22 18:07 1:30

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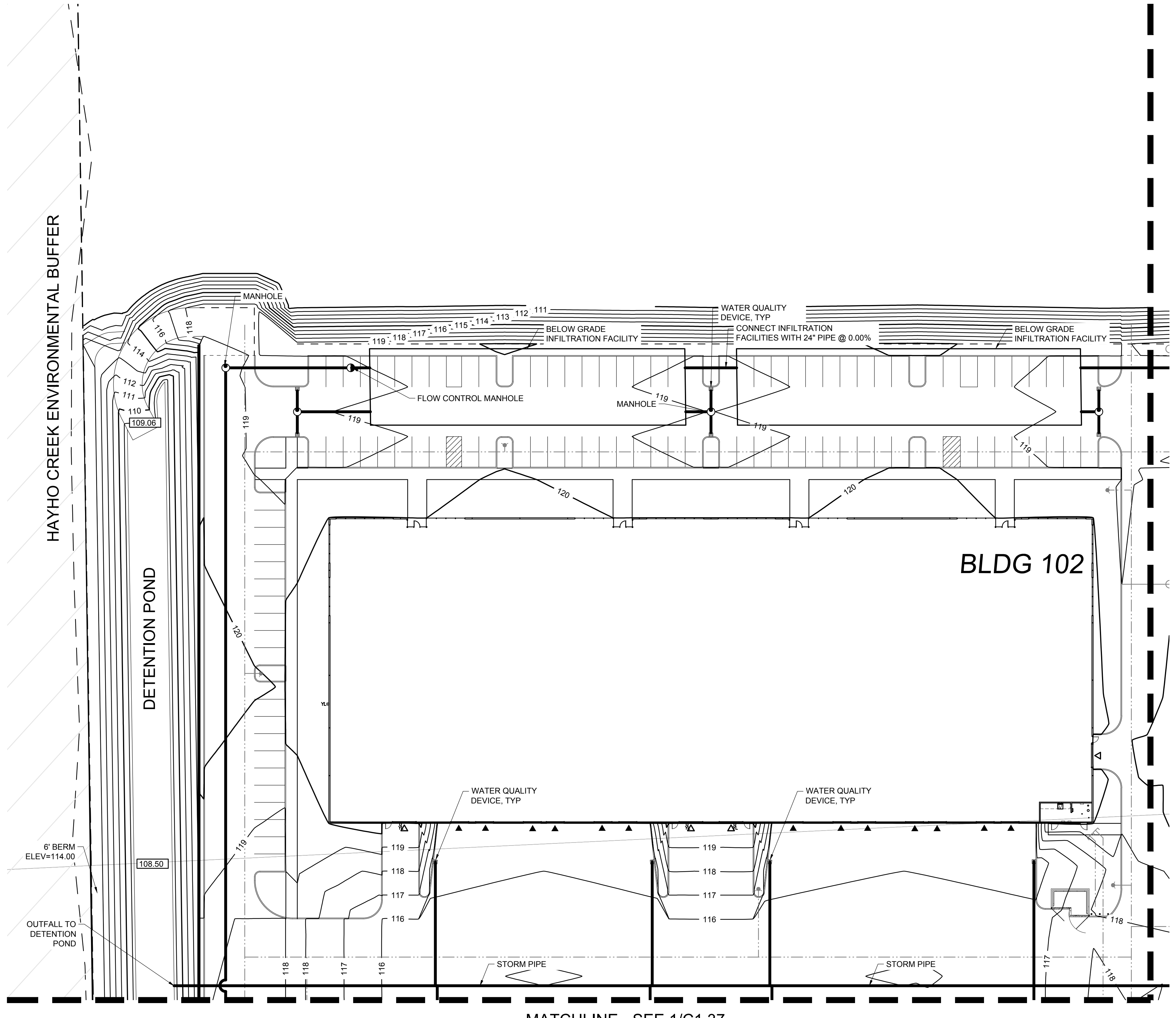
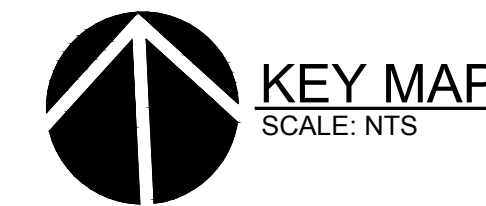
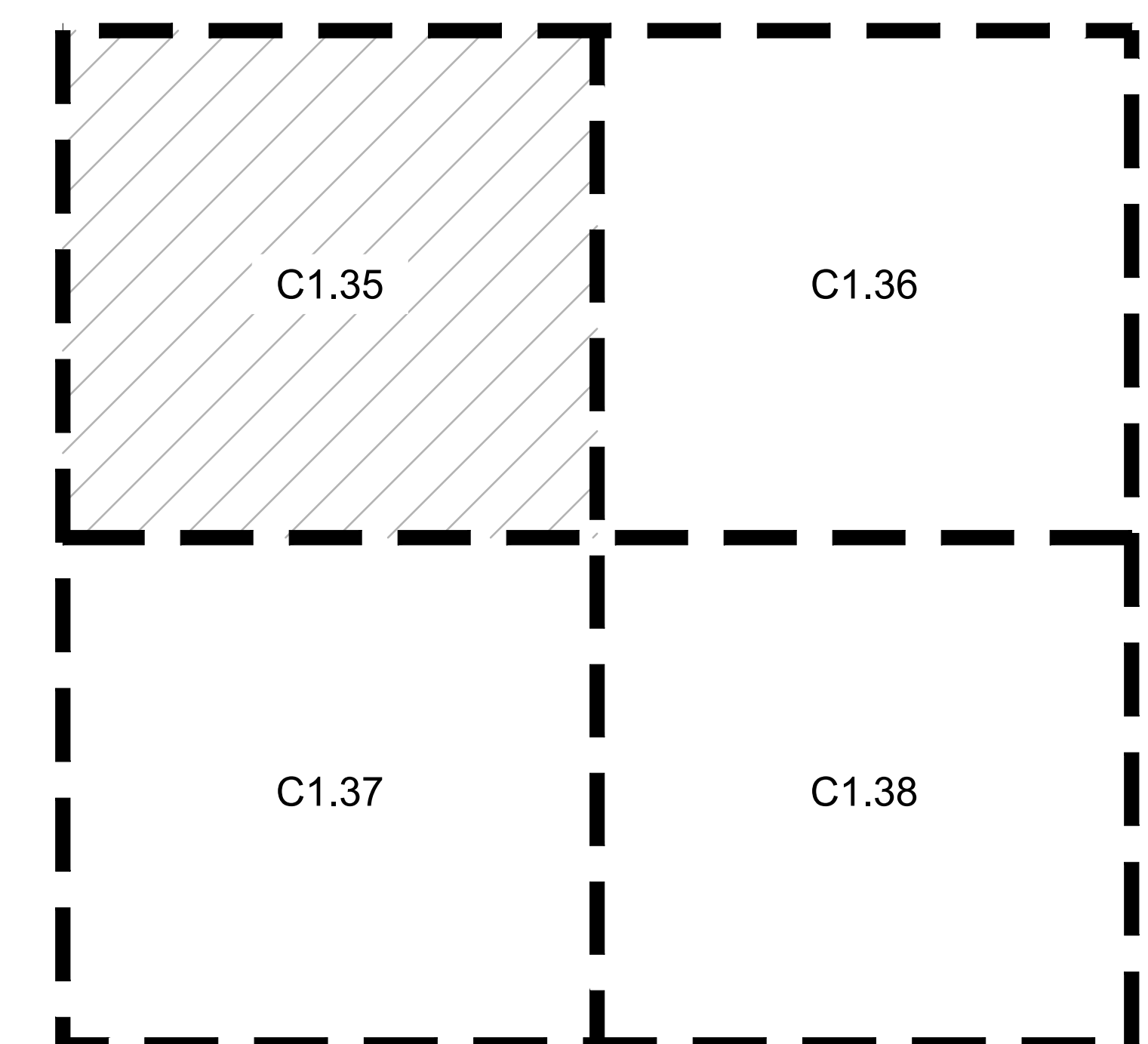
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SHEET TITLE:
STORM PLAN - NW

DRAWN BY: RSO
 CHECKED BY: MLJ

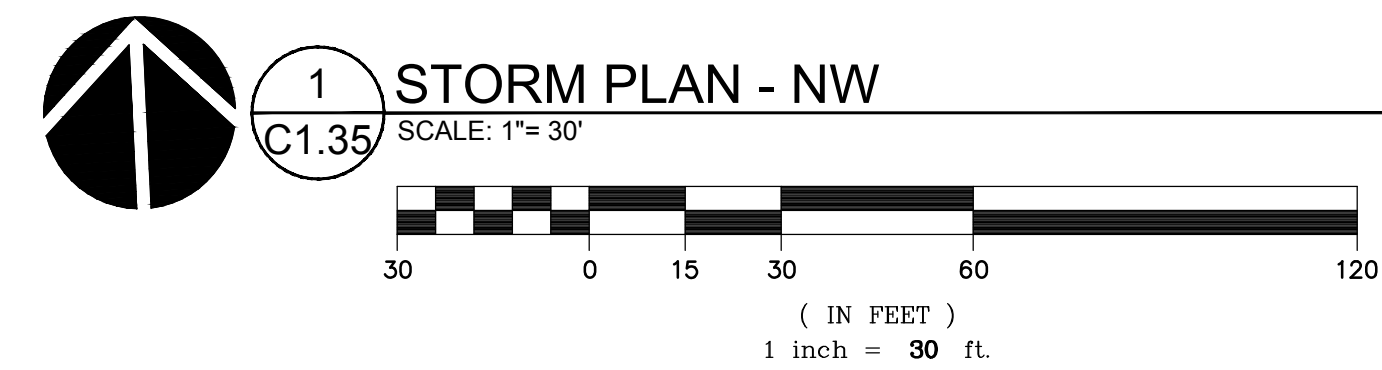
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JOB NO. **220044.00**



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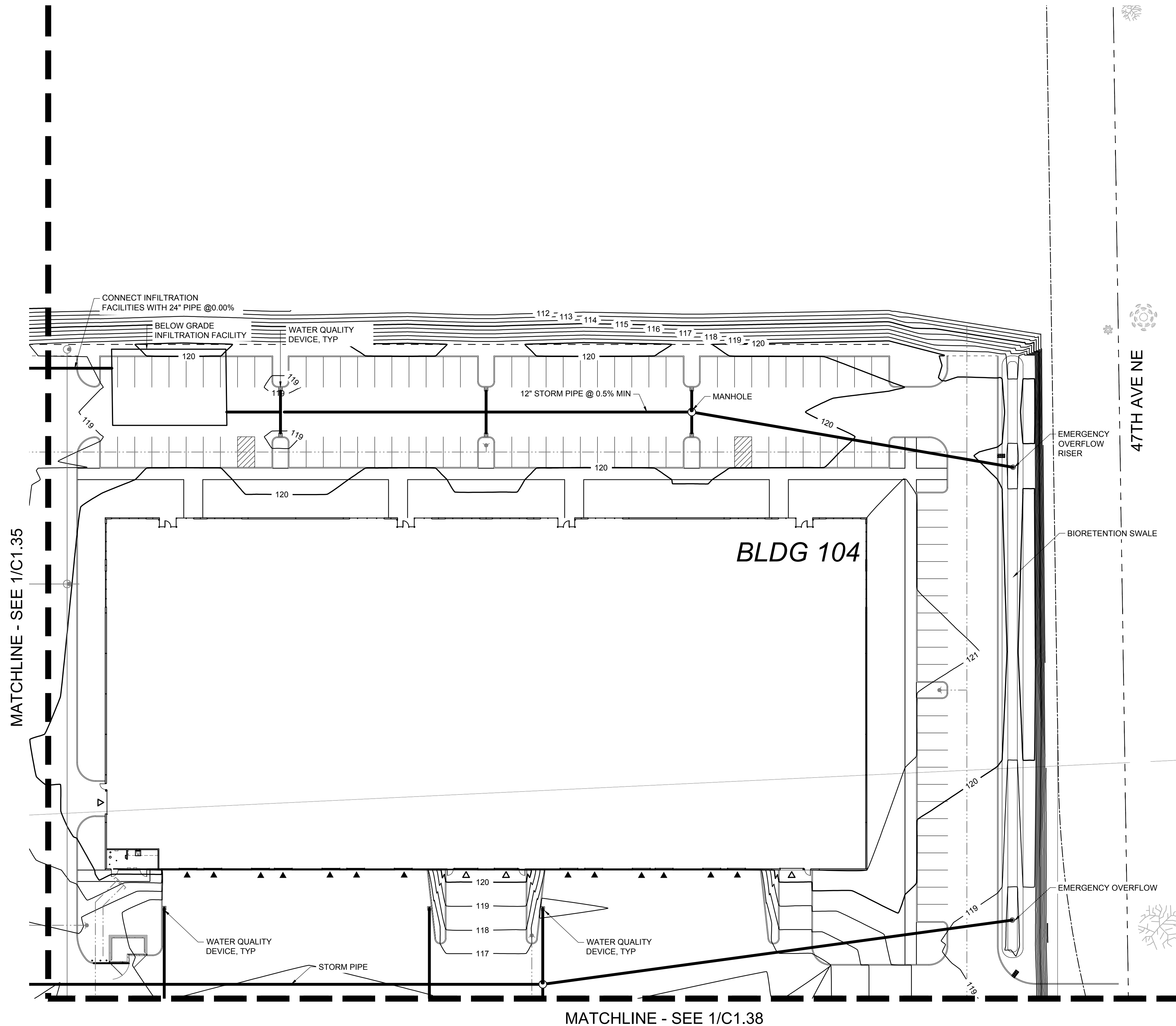
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1 STORM PLAN - NW
 C1.35 SCALE: 1"= 30'

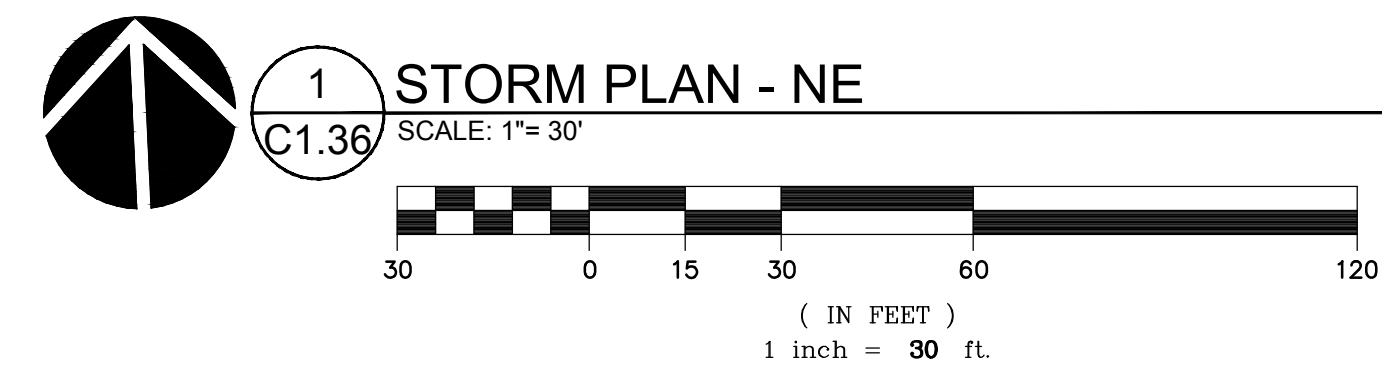
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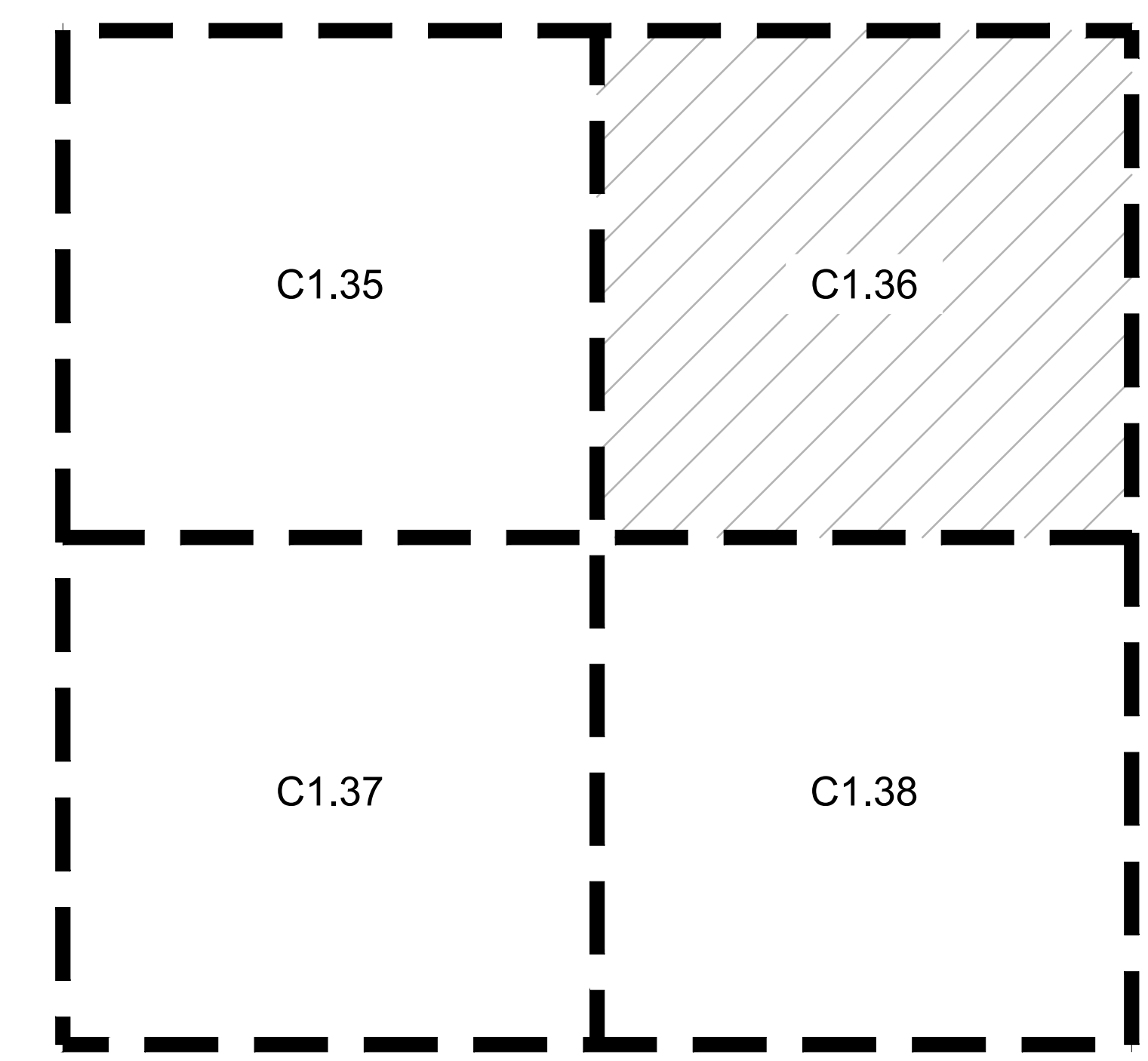


MATCHLINE - SEE 1/C1.35

MATCHLINE - SEE 1/C1.38



1 STORM PLAN - NE
 C1.36 SCALE: 1"= 30'



KEY MAP
 SCALE: NTS

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SHEET TITLE:
STORM PLAN - NE

DRAWN BY: RSO
 CHECKED BY: MLJ

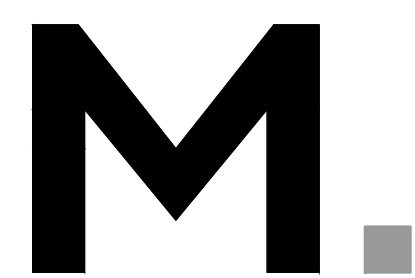
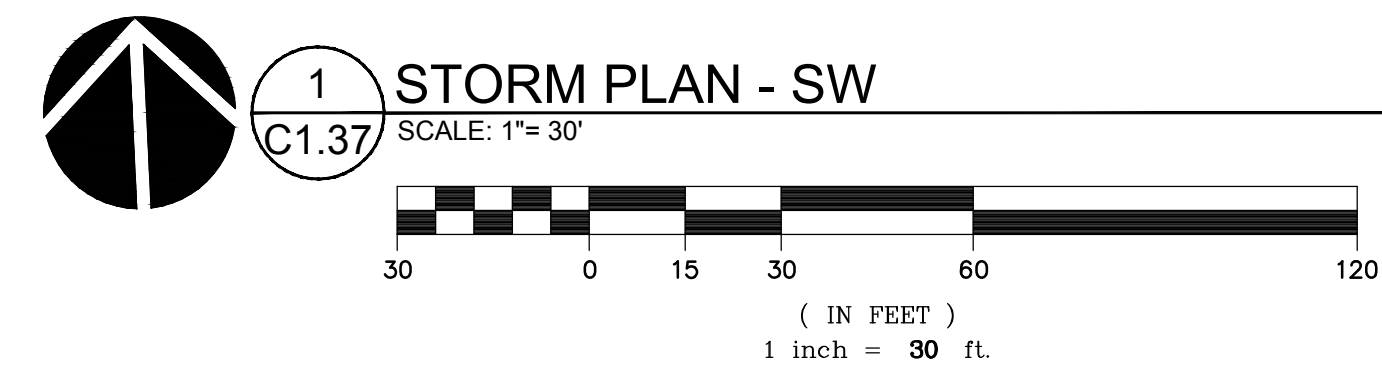
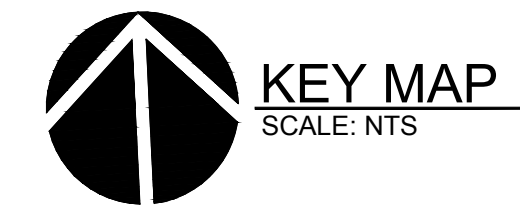
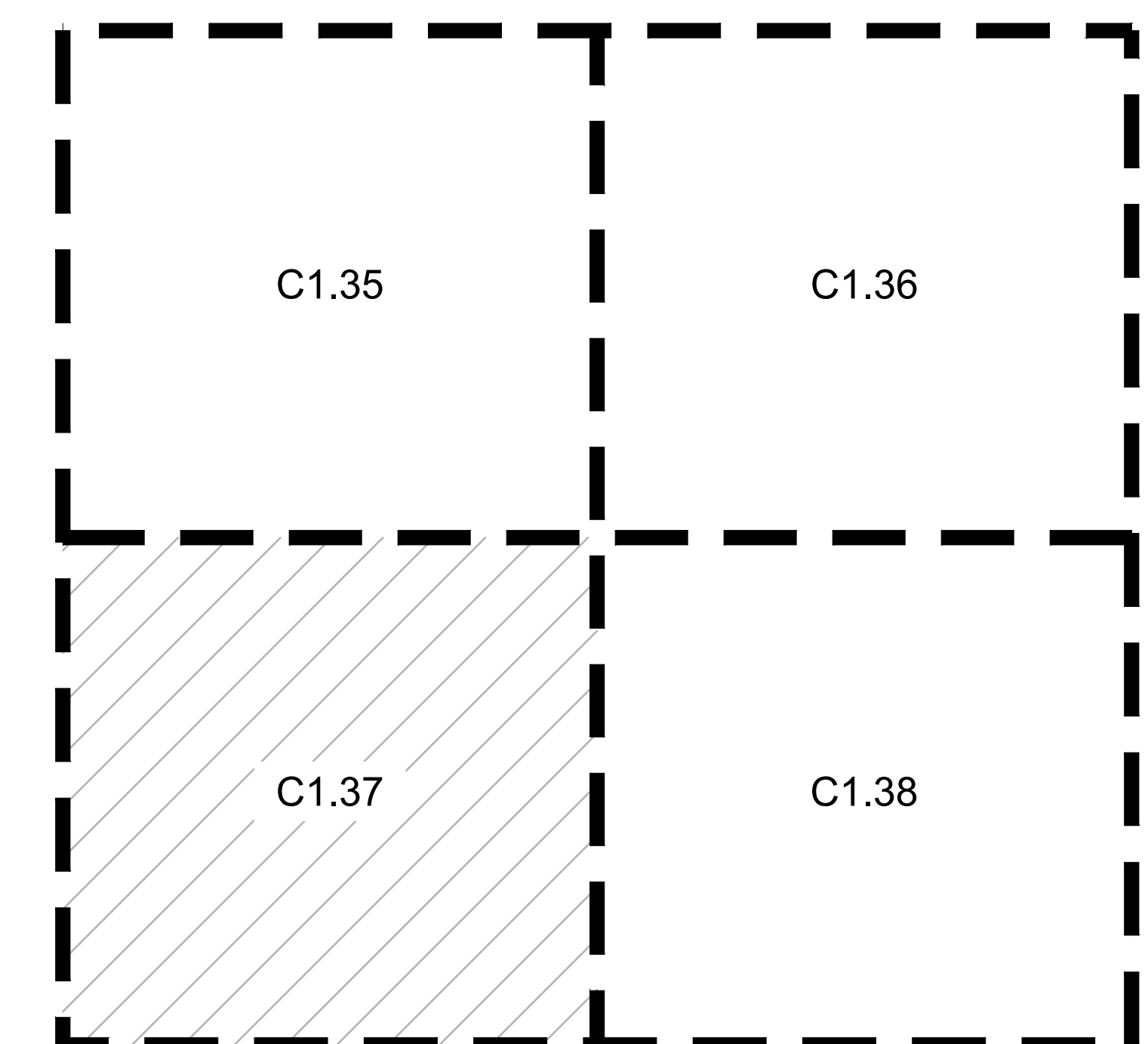
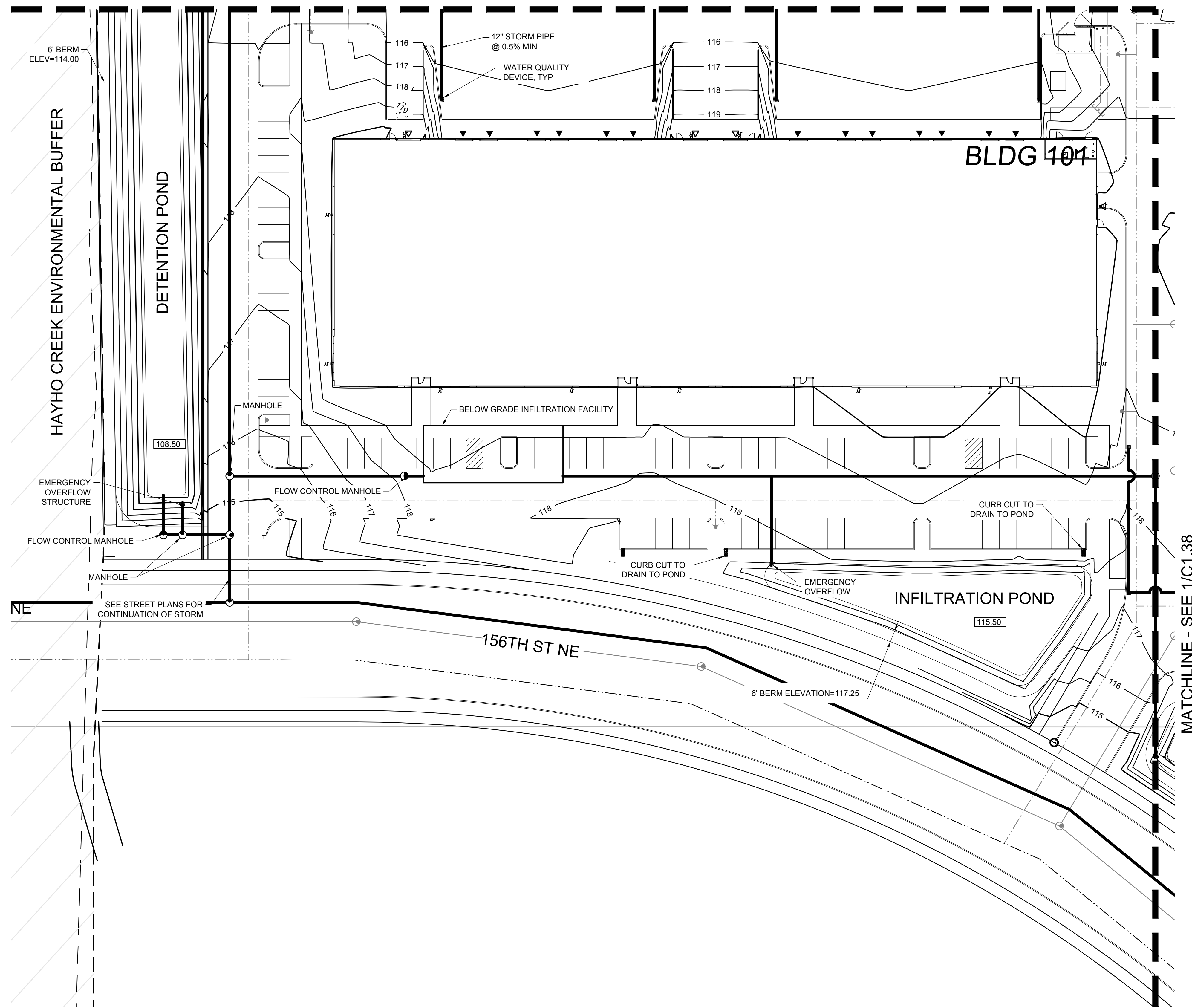
C1.36

JOB NO. **2200444.00**



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 NE 1/4 SECTION 33, TOWNSHIP 31 NORTH, RANGE 5 EAST

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REVISION SCHEDULE		
Delta	Issued As	Issue Date

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STORM PLAN - SW

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REVISION SCHEDULE		
Delta	Issued As	Issue Date

SHEET TITLE:
**STORM PLAN -
 SE**

DRAWN BY: RSO

CHECKED BY: MLJ

C1.38

JOB NO. **2200444.00**

