



ADMINISTRATIVE SITE PLAN APPROVAL

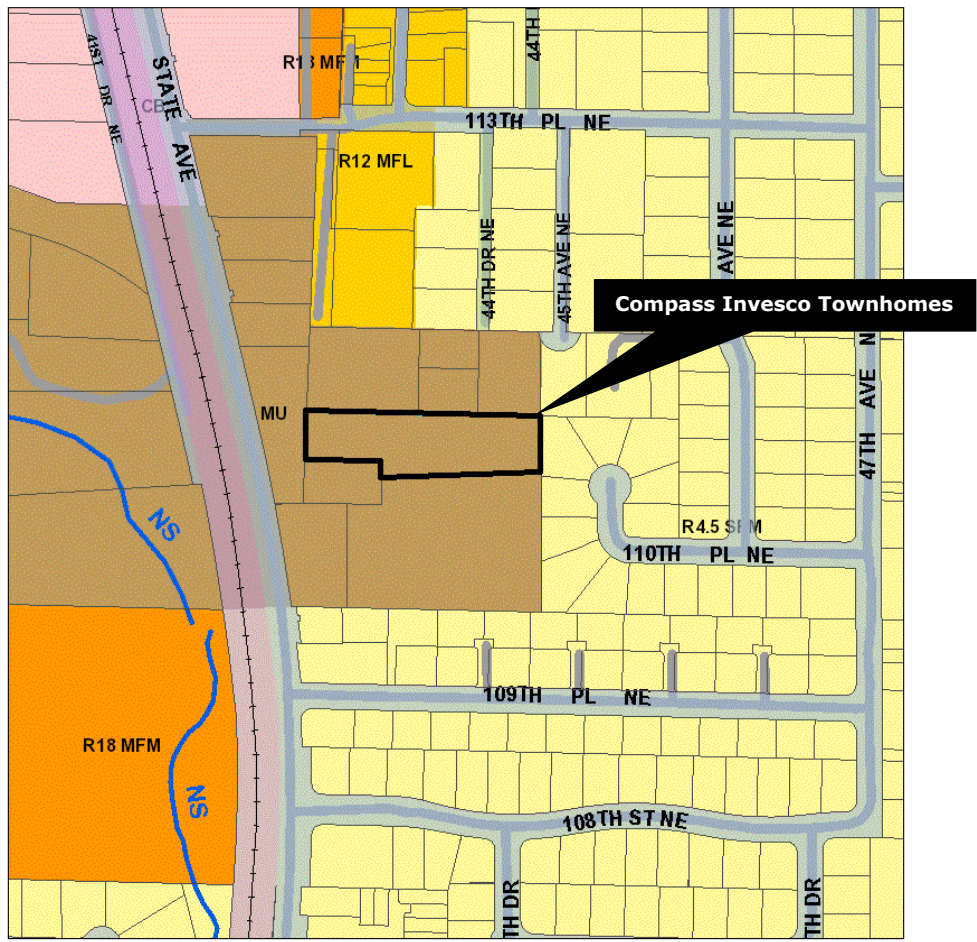
Community Development Department ♦ 80 Columbia Avenue ♦ Marysville, WA 98270
 (360) 363-8100 ♦ (360) 651-5099 FAX ♦ Office Hours: Mon - Fri 7:30 AM - 4:00

PROJECT INFORMATION									
Project Title	Compass Invesco Townhomes			Date of Report	May 24, 2021				
File Number	PA20-053			Attachments	Site plan (Exhibit 24)				
Administrative Recommendation	Approve the townhouse site plan subject to the conditions of approval in Section 2.0.								
BACKGROUND SUMMARY									
Owner/Applicant	Marysville Senior Community, LLC/ Compass Invesco								
Request	Administrative site plan approval in order to construct a 29-unit townhouse and associated site improvements.								
SEPA Status	Exempt pursuant to WAC 197-11-800								
Site Address	110XX State Avenue			APN(s)	30050900411200				
Legal Description (abbreviated)	See site plan.			Section	09	Township	30	Range	05
Comprehensive Plan	MU	Zoning	MU	Shoreline Environment			N/A		
Water Supply	Current		Proposed		Sewer Supply	Current		Proposed	
	None		City			None		City	
Present Use of Property	Vacant land.								
REVIEWING AGENCIES									
Marysville	Local Agencies & Districts		State & Federal		County		Other		
<input checked="" type="checkbox"/> Building <input checked="" type="checkbox"/> Fire District <input checked="" type="checkbox"/> Land Development <input checked="" type="checkbox"/> Parks <input checked="" type="checkbox"/> Planning <input checked="" type="checkbox"/> Police <input checked="" type="checkbox"/> Public Works	<input type="checkbox"/> Arlington (city) <input checked="" type="checkbox"/> Community Transit <input type="checkbox"/> Everett (city) <input type="checkbox"/> Lake Stevens (city) <input type="checkbox"/> Lakewood SD 306 <input checked="" type="checkbox"/> Marysville SD 25 <input checked="" type="checkbox"/> PUD No. 1 <input checked="" type="checkbox"/> Ziplly		<input type="checkbox"/> US Army Corps of Engineers <input type="checkbox"/> BNSF <input type="checkbox"/> DOE <input type="checkbox"/> WDFW <input type="checkbox"/> WSDOT <input type="checkbox"/> WUTC		<input type="checkbox"/> Health District <input type="checkbox"/> Planning <input checked="" type="checkbox"/> Public Works - Land Development <input type="checkbox"/> Public Works		<input checked="" type="checkbox"/> Tulalip Tribes <input checked="" type="checkbox"/> Stillaguamish Tribe		
ACTION									
<input checked="" type="checkbox"/> Administrative	<input type="checkbox"/> City Council	<input type="checkbox"/> Quasi-Judicial	<input type="checkbox"/> Planning Commission						
Date of Action	May 24, 2021	<input checked="" type="checkbox"/> Approved	<input type="checkbox"/> Denied	<input type="checkbox"/> Continued					
STAFF									
Name Angela Gemmer	Title Senior Planner	Phone 360.363.8240	E-mail agemmer@marysvillewa.gov						

SURROUNDING USES

	Comprehensive Plan	Zoning	Land Use
Site	Mixed Use	MU	Vacant land
North	Mixed Use	MU	Triplex and single family residence
East	Single Family, Medium Density	R-4.5	Single family residences
South	Mixed Use	MU	Fieldstone Memory Care and single family residence
West	Mixed Use	MU	Furniture World

Vicinity Map



- | | | | |
|-----------------------|-------------------------|---------------------------------|---------------------------|
| General Commercial | 88 - Mixed Use | R12 Multi-Family Low | R4.5 Single Family Medium |
| Downtown Commercial | General Industrial | R6-18 Multi-Family Low | Public-Institutional |
| Community Business | Light Industrial | R8 Single Family High Small Lot | Recreation |
| Neighborhood Business | R28 Multi-Family High | R6.5 Single Family High | Open |
| Mixed Use | R18 Multi-Family Medium | R4-8 Single Family High | |

1.0 FINDINGS AND CONCLUSIONS

1. Description of Proposal

The applicant is requesting Administrative Site Plan Approval in order to construct a 29-unit townhouse project on a 1.63 acre site, and associated site improvements including, but not limited to, landscaping, parking, open space and recreational improvements, and stormwater facilities.

2. Project History

A formal land use application was filed on October 12, 2020, and deemed complete on October 23, 2020. Notice of this application was provided in accordance with MMC Section 22G.010.090, *Notice of development application*. As of the date of this decision, no written or verbal public comments have been received.

3. Site Location

The subject property is located within the City of Marysville, east of State Avenue located roughly midway between 109th Place NE and 113th Place NE. The property is identified by Assessor's Parcel Number 30050900411200 and addressed 110XX State Avenue NE.

4. Site Description

The site is vacant, generally flat, and primarily vegetated with lawn and some trees and shrubs. The USDA Soil Conservation Services has classified the on-site soils as Ragnar fine sandy loam.

5. Surrounding Uses

The subject property is zoned Mixed Use as are surrounding properties to the north, west, and south. Properties to the east are zoned R-4.5 Single Family, Medium Density. Surrounding uses include a triplex and single family residence to the north, Furniture World to the west, Fieldstone Memory Care and a single family residence to the south, and single family residences to the east.

6. Critical Areas

There are no critical areas located on, or within 200 feet of, the subject property.

7. Utilities

There is an 8-inch ductile iron (DI) water main stubbed to the site, and an 8-inch PVC sanitary sewer main on-site. The townhouses will be connected to water and sanitary sewer. Water, sewer, and surface water capital improvement fees are required for the new townhouse dwelling units.

8. Stormwater Drainage

The proposal will be developed in compliance with the Washington State Department of Ecology's 2012 *Stormwater Management Manual for Western Washington* (SMMWW) as amended in December 2014. The *Stormwater Site Plan* prepared by IECO, dated August 31, 020, indicates that the roof drains will be connected to the infiltration trench, and the runoff from the road and driveways will be directed to the infiltration trench through catch basins. The infiltration trenches will store and infiltrate runoff. Water quality will be provided by Bayfilters located upstream of the infiltration trenches. Pervious areas will infiltrate into underlying soils.

9. Access, Circulation, and Frontage Improvements

Access to the townhouses will be via a private drive aisle/access easement over the Fieldstone Memory Care site (see Marysville Townhomes BSP map recorded under AFN

202005185002). The site lacks frontage along a public street; therefore, no frontage improvements or right-of-way dedication are required.

The property to the immediate north of the subject property, 11115 Smokey Point Boulevard (APN 30050900400300), has a 20-foot access easement over the western portion of the subject property. The existing driveway for APN 30050900400300 is located east of the easement area, and there appears to be a potential prescriptive easement.

Prior to civil construction plan approval, the easement for 11115 Smokey Point Boulevard will need to be amended to encompass the complete area that has historically been used for the driveway (31-foot wide easement plus portion of driveway located at the northeast corner of the proposed amended easement unless permission from the adjacent property owner is obtained to relocate that portion of the driveway to be within the designated easement area), and an amended easement will need to be recorded with the Snohomish County Auditor's Office, or as otherwise approved.

10. Traffic Impacts and Mitigation

The City Engineer reviewed the information on file for the project and issued a written concurrency recommendation dated March 17, 2021 informing the developer of the project's impacts and mitigation obligation pursuant to Chapter 22D.030, *Traffic Impact Fees and Mitigation*. Pursuant to MMC Section 22D.030.070(1)(d), an applicant is required to make a written proposal for mitigation of the impacts to the Public Works Director, based on the concurrency recommendation. The applicant accepted the traffic concurrency recommendation on April 29, 2021. The conditions of the concurrency determination is as follows:

In order to mitigate impacts upon the future capacity of the road system, the applicant shall be required to submit payment to the City of Marysville, on a proportionate share cost of the future capacity improvements for the development as set forth in MMC 22D.030.070(3). Traffic impact fees shall be vested at a rate of \$6,300.00 per new PM peak hour trip (PMPHT). The estimated impact fee is \$142,506.00. Calculation: (29 units x 0.78 PMPHT per unit x \$6,300 per new PMPHT).

11. Park Impacts

Pursuant to MMC Chapter 22D.020, the applicant shall mitigate City of Marysville parks impacts through payment of the park impact fee in effect at the time of building permit issuance.

12. School Impacts

Pursuant to MMC Chapter 22D.040, the applicant shall mitigate school impacts through the payment of the school impact fee in effect at the time of building permit issuance.

13. Agency Review

A *Request for Review* of the proposed project was sent to the following Local, County, State, and Federal Agencies and Districts:

- a. *Snohomish County Public Utility District No. 1*: In a letter dated November 4, 2020, Mary Wicklund indicated that the District presently has enough electric system capacity to serve the proposed development.
- b. *Snohomish County Public Works*: In an email dated October 27, 2020, Elbert Esparza, Jr., Associate Land Development Analyst, commented that he had "reviewed the offer and distribution for this project. Snohomish County Public Works concurs with the distribution and the conclusion that this development will not impact any county capital improvement projects or county road with three or more directional

peak hour trips; therefore, no mitigation and no offer is required of this development to the county under the county/city interlocal agreement.”

- c. *Tulalip Tribes*: No comments received.
- d. *Stillaguamish Tribes*: No comments received.
- e. *Marysville Fire District*: In a memo dated November 10, 2020, the Marysville Fire District provided the following comments related to fire code compliance for this project:
 - The project shall comply with the current fire code requirements (2015 IFC) including Washington State and local City of Marysville amendments to the fire code. Proposed buildings will require approved fire sprinkler and alarm systems appropriate for the proposed occupancy and construction types. IRC townhomes require a NFPA 13-D type fire sprinkler system in each unit (multipurpose domestic and sprinkler combined systems with no building riser room and no FDC required). Fire protection system plans must be submitted to the City for Fire Marshall approval.
 - Fire marshal approval of fire access and fire hydrant/water supply systems is required and will be part of the civil construction plan review and approval process for this project. It is the developer’s responsibility to see that adequate water for fire protection is attainable. The minimum required fire flow is determined using IFC Appendix B, and depends on building sizes, construction types, and sprinkler systems. The minimum required fire flow for hydrants protecting multi-family buildings is 1,500 gpm (with 20 psi minimum residual pressure).
 - Fire hydrant and water main extensions are required within the site for this development. Fire hydrants shall be provided along the fire access roads in approved locations. Maximum hydrant spacing for the proposed use is 300’ apart. Fire hydrants shall comply with City Water Design Standard 2-060, Hydrants, including 5-inch Storz fittings with blue reflective to be provided in the roadways located four inches off the hydrant side of the road. Fire hydrants with approved water supply must be in service prior to building construction.
 - The utility plan proposed is not acceptable. The utility plan shows a proposed 8” water main extension circulating through the site with two connections to the south, but does not show any new fire hydrants onsite, showing only the existing hydrants at the adjacent Fieldstone property to the south. Two new hydrants will be required onsite, with one hydrant near the west end, and the second hydrant near the parking lot between buildings C and E.
 - The fire apparatus access should be marked and/or signed “NO PARKING - FIRE LANE” to maintain unobstructed emergency access.
 - Fire extinguishers are required in approved locations – minimum 2A-10B-C UL rated.
 - Recommend the buildings to be constructed here include fire-resistant exterior construction.
 - Access planned appears sufficient for aerial fire apparatus. Access of 26’ wide is shown on the plan. A minimum 26’ wide fire apparatus access is required all along one side of any building more than 30’ in height for ladder truck operations (with near edge of access within 15 – 30’ of the building). A minimum 26’ wide fire apparatus access is also required within 20’ on both sides of fire hydrants. An adequate access route for fire apparatus must be in service prior to any building construction.

- Access for firefighting operations along all sides of the building is required. Approved access walkways to all exterior doors and openings shall be provided. A 10 foot minimum setback is needed for multi-family dwellings. All parts of the building exterior should be accessible for firefighting by an approved route around the buildings, and be within 150 feet of fire apparatus access. Formal review of access for approval is normally part of the civil and building plan review processes.
- If vehicle impact protection is deemed required for protection of any equipment it shall comply with IFC Section 312. Guard posts (bollards) are typically required for protection of gas piping, electrical equipment, fire protection piping and hydrants located where they could be subject to vehicle damage.

In an email dated March 5, 2021 from David VanBeek, Assistant Fire Marshall, support was expressed for site plan approval with the “understanding that the utility issues be resolved during civil review”. The remaining Marysville Fire District comments are to be addressed during civil construction plan or building permit review as applicable.

14. Application Review

MMC 22G.010.140(3) requires the City to determine whether or not the project is consistent with the following items described in the applicable plans and regulations:

- a. Type of land use permitted at the site, including uses that may be allowed under certain circumstances, such as planned residential development and conditional uses, if the criteria for their approval have been satisfied.

Staff Comment: Pursuant to MMC 22C.010.060, townhouses are permitted outright in the Mixed Use zone. The proposed project meets the allowable density and dimensional standards of the MU zone.

- b. Density of residential development in urban growth areas.

Staff Comment: The base density allowed in the Mixed Use zone is 28 dwelling units per acre.

The proposed development is proposing a density of 17.8 dwelling units per acre (29 dwelling units per acre/1.63 acres) which complies with the density allowance outlined in MMC 22C.020.080(2).

- c. Availability and adequacy of public facilities identified in the Comprehensive Plan.

Staff Comment: The Comprehensive Plan designation for the subject property is Mixed Use. There are adequate water, sewer, and other public facilities to serve the proposed development. The proposed development and subsequent use of the property will be consistent with the pertinent development policies outlined in the Marysville Comprehensive Plan, as conditioned herein.

The following development policies outlined in the Comprehensive Plan that are specifically pertinent to this request and were used to establish appropriate conditions are as follows:

LAND USE ELEMENT

General Development Land Use Policies

Policies: LU-9, LU-11

Multi-family Land Use Policies

Policies: LU-46, LU-50

ENVIRONMENTAL ELEMENT

Earth Goals and Policies

Policies: EN-19, EN-21

Water: Quality, Wetland and Watershed Protection, Storm Water Runoff, Drainage, Shoreline Goals and Policies

Policies: EN-38

TRANSPORTATION ELEMENT

Mobility Options

Policies: T-25, T-26

Sustainable Transportation Systems and the Environment

Policies: T-34

Level of Service Standards and Concurrency

Policies: T-41

UTILITIES ELEMENT

Policies: UT-3, UT-5, UT-8, UT-10

PUBLIC FACILITIES & SERVICES ELEMENT

Police, Fire, Library

Policies: PS-1, PS-3, PS-9, PS-10, PS-11

Water, Sewer, Storm Drainage, Solid Waste

Policies: PF-1, PF-2, PF-7, PF-9, PF-23

d. **Development Standards.**

Staff Comment: The project site is currently zoned Mixed Use (MU). The purpose of the MU zone is to provide for pedestrian- and transit-oriented high-density employment uses together with limited complementary retail and higher density residential development in locations within activity centers where the full range of commercial activities is not desirable. Townhouses are permitted outright in the MU zone pursuant to MMC Section 22C.020.060. The maximum density allowed in the MU zone is 28 units per acre pursuant to MMC Section 22C.020.080.

After review of the application materials, site plan and information on file with the City, it has been determined that the proposed townhouse site plan, as conditioned herein, complies with all of the applicable design and development standards outlined in Title 22 – *Unified Development Code*.

15. **In House Days**

Pursuant to MMC Section 22G.120.370, a decision on the application shall be made within 120 days from the date of the letter of completeness. A decision on this application was made 37 in-house days from the date of completeness.

16. **Conclusion**

The proposed development, as conditioned herein, will make appropriate provisions for the public use and interest, health, safety, and general welfare.

2.0 DECISION

Based on the foregoing findings and conclusions, and review of the City’s regulatory authority to implement the policies, standards, and regulations of the Comprehensive Plan and MMC, the Community Development Director hereby grants preliminary **Administrative Site Plan Approval** for the Compass Invesco Townhomes subject to the following conditions:

1. The site plan date stamped April 30, 2021 (Exhibit 24) is the approved site layout.
2. Prior to civil construction plan approval, the easement for 11115 Smokey Point Boulevard will need to be amended to encompass the complete area that has historically been used for the driveway (31-foot wide easement plus portion of driveway located at

the northeast corner of the proposed amended easement unless that portion of the driveway is relocated to be within the designated easement area), and an amended easement will need to be recorded with the Snohomish County Auditor's Office, or as otherwise approved.

3. In order to mitigate impacts upon the future capacity of the road system, the applicant shall be required to submit payment to the City of Marysville, on a proportionate share cost of the future capacity improvements for the development as set forth in MMC 22D.030.070(3). Traffic impact fees shall be vested at a rate of \$6,300.00 per new PM peak hour trip (PMPHT). The estimated impact fee is \$142,506.00. Calculation: (29 units x 0.78 PMPHT per unit x \$6,300 per new PMPHT).
4. The applicant shall submit payment to Marysville School District No. 25 for school impacts caused by the development in accordance with MMC Chapter 22D.040, *School Impact Fees and Mitigation*. School mitigation fees will be based on the fee schedules in effect at the time an individual building permit application is accepted by the City, and will be required to be paid prior to building permit issuance unless deferred until a time preceding final building inspections being granted.
5. The applicant shall submit payment to the City of Marysville for park impacts caused by the development in accordance with MMC Chapter 22D.020, *Parks, Recreation, Open Space and Trail Impact Fees and Mitigation*. Park mitigation fees will be based on the fee schedules in effect at the time an individual building permit application is accepted by the City, and will be required to be paid prior to building permit issuance unless deferred until a time preceding final building inspections being granted.
6. Prior to civil construction plan approval, a final landscaping plan, that includes provisions for irrigation, and complies with the standards set forth in MMC Chapter 22C.120, *Landscaping and Screening*, shall be submitted for review and approval.
7. Prior to building permit issuance, building elevations demonstrating compliance with MMC Section 22C.010.290, *Site and building design standards*, shall be submitted for review and approval.
8. All mechanical equipment shall be organized, proportioned, detailed, screened, landscaped, and/or colored to be an integral element of the building and minimize visual impacts from the ground level of adjacent streets and properties. For example, screening features should utilize similar building materials and forms to blend with the architectural character of the building.
9. All power lines, telephone wires, television cables, fire alarm systems and other communication wires, cables or lines shall be placed underground either by direct burial or by means of conduit or ducts providing service to the building.
10. Appropriate lighting levels shall be provided in all areas used by pedestrians or automobiles, including building entries, walkways, parking areas, circulation areas, and other open space areas, in order to ensure safety and security; enhance and encourage evening activities; and provide a distinctive character to the area. Prior to civil construction plan approval, a lighting plan meeting the standards set forth in MMC Section 22C.020.250(4)(d) and 22C.130.050(3)(d) shall be submitted for review and approval. The lighting plan shall be implemented prior to final building inspections being granted.
11. The Department of Archaeology and Historic Preservation's (DAHP) Inadvertent Discovery Plan shall be followed during site construction. If at any time during construction archaeological resources are observed on the project site, work shall be temporarily suspended at the location of discovery and a professional archaeologist shall document and assess the discovery. The DAHP and all concerned tribes shall be

contacted for any issues involving Native American sites. If project activities expose human remains, either in the form of burials or isolated bones or teeth, or other mortuary items, work in that area shall be stopped immediately. Local law enforcement, DAHP, and affected tribes shall be immediately contacted. No additional excavation may be undertaken until a process has been agreed upon by these parties, and no exposed human remains should be left unattended.

12. In order to prevent parking conflicts, surface resident parking spaces not directly abutting the townhouse unit it serves, shall be signed or painted to indicate which unit the parking space is designated for.
13. Declaration or covenants shall be required to be recorded, prior to final building inspections being granted for the development, including provisions which address the following:
 - a. Maintenance of the common areas, drive aisles, drainage system, open space, landscaping and other private improvements within the development.
 - b. Provisions for storage parking of boats, RVs, non-operable vehicles and similar vehicle storage so as not to reduce the proposed parking within the development and enforcement of these provisions.
 - c. Parking enforcement provisions.
 - d. Since the garage units are used for the required parking calculations, a covenant shall be required that the garage facilities are used for parking of vehicles only and not used for storage.

These covenants or restrictions shall be reviewed and approved by the Community Development Department and Marysville Fire District prior to recording.

Prepared by: *Angela*

Reviewed by: *Chris*

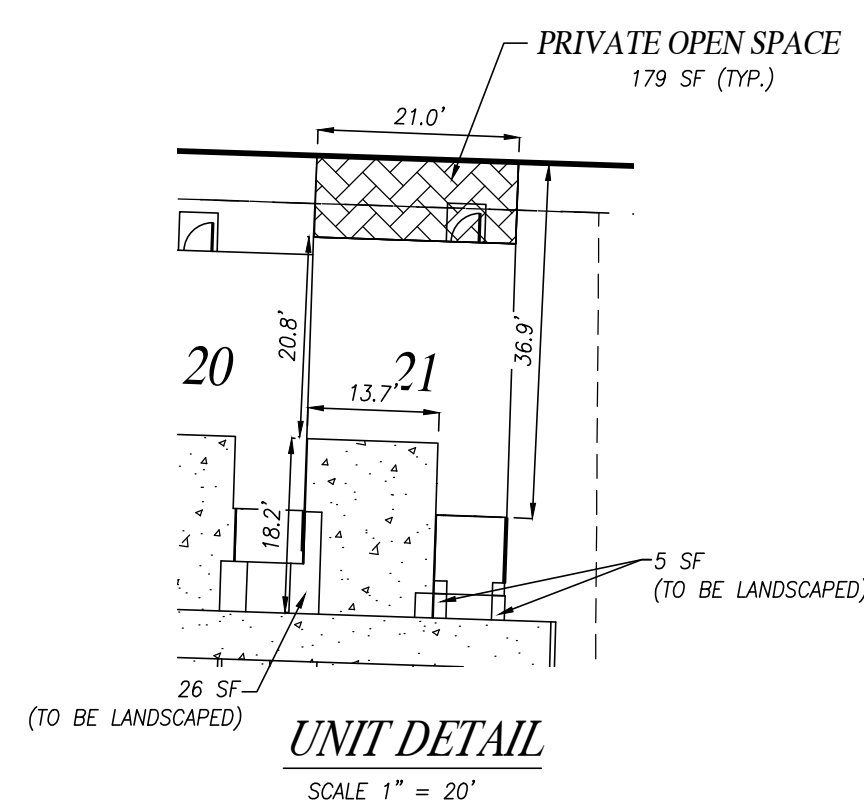
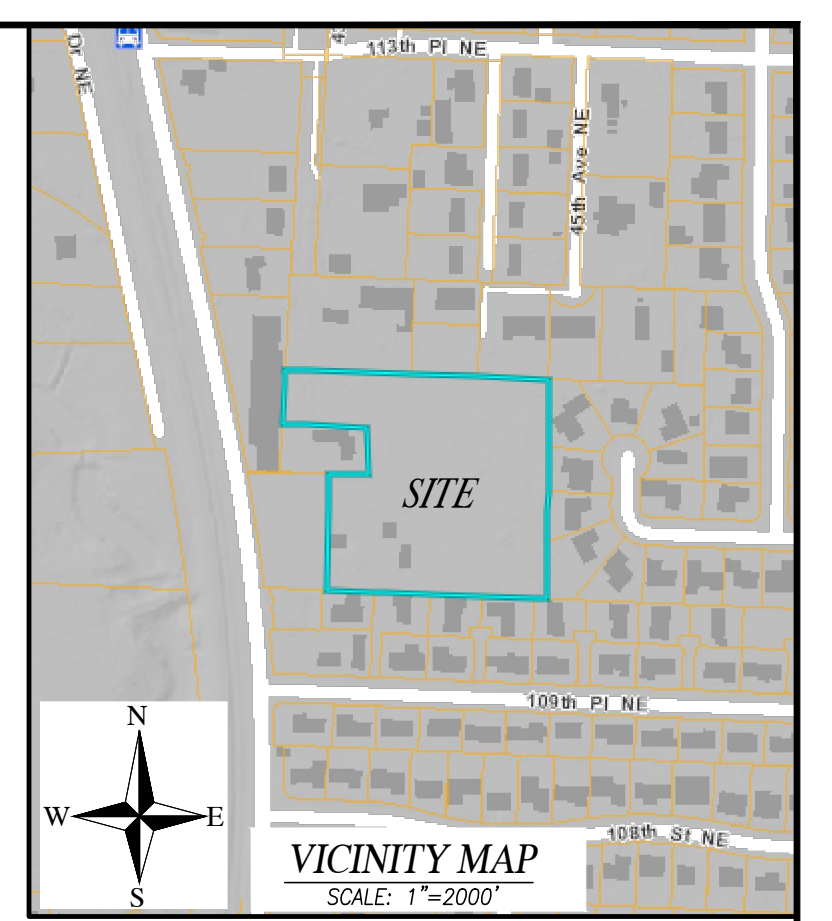
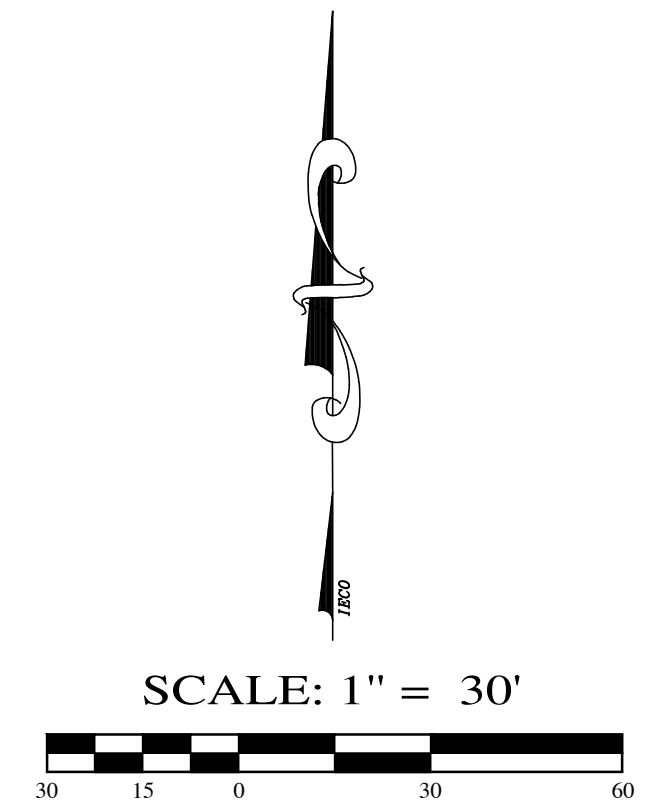
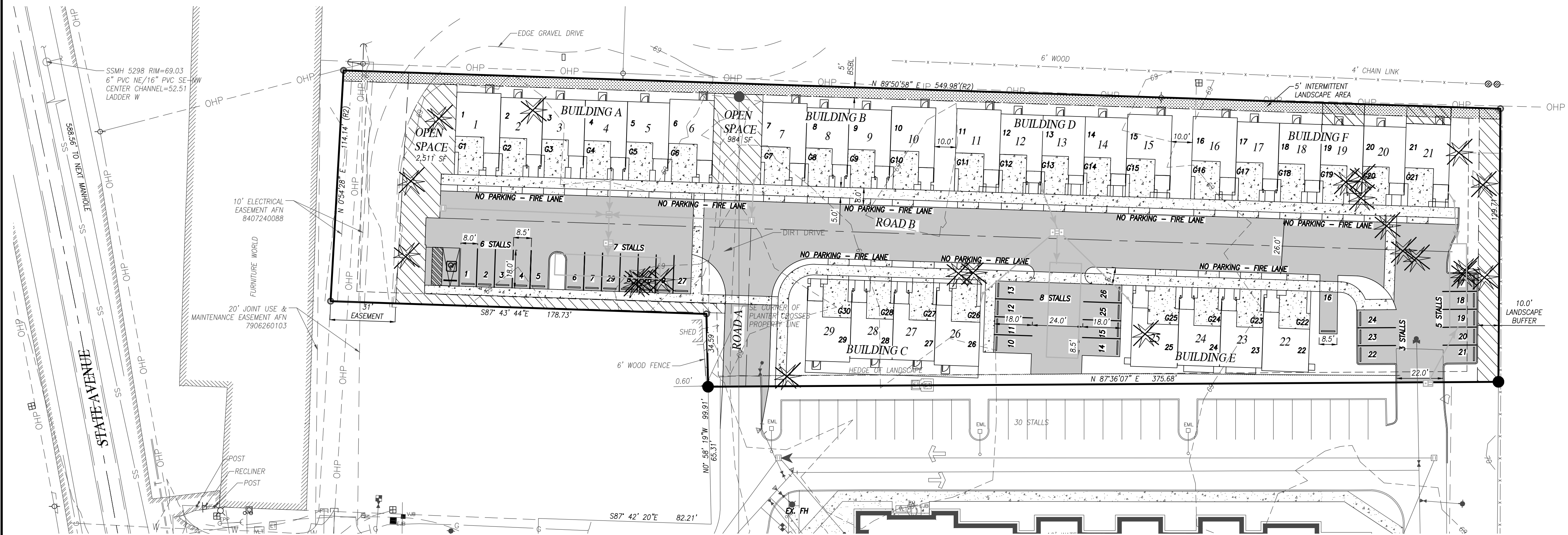
This **Administrative Site Plan Approval** is issued under MMC Section 22G.010.150(h). Administrative decisions may be appealed to the Hearing Examiner in accordance with MMC 22G.010, Article VIII, Appeals. Appeals must be filed within fourteen (14) calendar days of the date of administrative site plan approval.

Signature:  **Date:** May 24, 2021
Haylie Miller, CD Director

The above recommendation, including conditions of preliminary approval, are subject to change if the proposed phasing parameters, land uses or any other information provided by the applicant or their authorized representative proves inaccurate.

SE 1/4, SEC. 09, T. 30 N., R. 05 E., W.M.
SNOHOMISH COUNTY, WASHINGTON

EXHIBIT 24



DEVELOPMENT STANDARDS:

SETBACKS:
STREET: 20'
INTERIOR: 15' ADJACENT TO SF ZONE

MAXIMUM BUILDING HEIGHT: 45 FEET
MAXIMUM IMPERVIOUS AREA: 75%
OPEN SPACE STANDARD: 200 SF PER UNIT
MINIMUM AT UNIT: 100 SF
UNITS WITH LESS THAN 200 SF PRIVATE O.S.: 13 (UNITS 1,6,7,10,11,15,16, 21-26)
TOTAL OPEN SPACE DEFICIT: 35.3 SF
COMMON OPEN SPACE PROVIDED: 3,495 SF

LANDSCAPING

10' TYPE 1 BUFFER NEXT TO SF ZONE
PARKING LOT LANDSCAPING: 21,236 SF PARKING LOT AREA
10% OR 2,124 SF REQUIRED
3,655 SF PROVIDED

SITE DATA:

SITE ADDRESS - 110XX STATE AVE.
MARYSVILLE, WA 98271

PARCEL NUMBER: 30050900411200

SITE AREA: 70,954 S.F. = 1.63 AC.

ZONING: MU (MIXED USE)
EXISTING USE: VACANT
PROPOSED USE: 29 TOWNHOMES

DENSITY CALCULATIONS:

GROSS PROJECT AREA	70,954 SF (1.63 AC)
MAX DENSITY:	28 DU/AC
MAX UNIT YIELD:	46
UNITS PROPOSED:	29



FIRE MARSHAL'S NOTES:

1. PROVIDE BLUE STRIP REFLECTOR(S) ON THE HYDRANT SIDE OF CENTERLINE TO INDICATE HYDRANT LOCATIONS.
2. THE TOPS OF THE HYDRANT(S) SHALL BE COLORED GREEN.

THE CERTIFIED EROSION SEDIMENTATION CONTROL LEAD (CESL) FOR THIS PROJECT SITE IS **BRIAN KALAB** PHONE NO. **425-303-9363**

PROJECT NOTE:

ALL INTERIOR FENCES ARE TO BE REMOVED OR RELOCATED.
SEPTIC SYSTEMS & DRAINFIELD LOCATIONS SHOWN ARE APPROXIMATE.
ALL EXISTING SEPTIC SYSTEMS & DRAINFIELDS TO BE ABANDONED (PER SNO. CO. STANDARDS).

PARKING INDEX

REQUIRED PER UNIT	TOTAL REQUIRED	TOTAL PROVIDED
2	58	58

GUEST PARKING

REQUIRED PER UNIT	TOTAL REQUIRED	TOTAL PROVIDED
1	29	29

NOTES:

1. THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF PARTIES WHOSE NAMES APPEAR HEREON ONLY, AND DOES NOT EXTEND TO ANY UNNAMED THIRD PARTIES WITHOUT EXPRESS RECERTIFICATION BY THE LAND SURVEYOR.
2. BOUNDARY LINES SHOWN AND CORNERS SET REPRESENT DEED LOCATIONS; OWNERSHIP LINES MAY VARY. NO GUARANTEE OF OWNERSHIP IS EXPRESSED OR IMPLIED. THIS SURVEY PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT AND DOES NOT PURPORT TO SHOW ALL EASEMENTS, RESTRICTIONS, RESERVATIONS, AND OCCUPATION WHICH MAY ENCUMBER TITLE TO OR USE OF THIS PROPERTY.
3. PROPOSED FIRE HYDRANTS SHALL BE IN SERVICE PRIOR TO ANY COMBUSTIBLE CONSTRUCTION.
4. SIGNAGE OR PAVEMENT STRIPING SHALL BE PROVIDED ALONG THE DRIVE ASLE FOR "NO PARKING-FIRE LANE," AT TIME OF COMPLETION.
5. LANDSCAPE BUFFER DETAILS:
a. 70% EVERGREEN TREES
b. EVERGREEN TREES SPACED EVERY 15 FT.
c. DECIDUOUS TREES SPACED EVERY 20 FT.
d. SHRUBS SPACED EVERY 4 FT.
6. ALL UTILITIES SHALL BE PLACED UNDERGROUND.

UTILITIES

SEWER CITY OF MARYSVILLE
WATER CITY OF MARYSVILLE
POWER SNOHOMISH COUNTY PUD
TELEPHONE VERIZON
SCHOOLS MARYSVILLE SCHOOL DIST. 25
FIRE DISTRICT CITY OF MARYSVILLE

IMPERVIOUS SURFACE CALC.

IMPERVIOUS SURFACE 46,569 SF

EQUIPMENT AND PROCEDURE

EQUIPMENT USED:
3" TOTAL STATION UTILIZING STANDARD FIELD TRAVERSE METHODS FOR CONTROL AND STAKING.

BASIS OF BEARING:
NAD 1983
WASHINGTON STATE PLANE NORTH PROJECTION, BASED ON GPS OBSERVATIONS USING WSRN AND GEOD 2012A.
UNITS OF MEASUREMENT ARE US SURVEY FEET.

TBM

SSMH 5078 RM=66.74
8" PVC NE/16" PVC SE-NW
CENTER CHANNEL=51.76
LADDER W

BM

NAVD 1988 VERTICAL DATUM ON ORTHOMETRICALLY CORRECTED GPS OBSERVATIONS USING WSRN AND GEOD 2012A.

DATUM:

NAVD 88
NAVD - 3.62=1929 NAVD (MSL)

ENGINEER/CONTACT SURVEYOR

INSIGHT ENGINEERING COMPANY
P.O. BOX 1478
EVERETT, WA 98206
CONTACT: BRIAN R. KALAB, P.E.
PH: (425) 303-9363
EMAIL: INFO@INSIGHTENGINEERING.NET

AHBL
DAVID C. FOLLANSBEE, PLS
2215 NORTH 30TH ST, STE #300
TACOMA, WA 98403
PH: (253) 383-2422
FAX: (253) 383-2572

OWNER

MARYSVILLE SENIOR COMMUNITY, LLC
1610 33RD AVE.
SEATTLE, WA 98122

APPLICANT

COMPASS INVESDO
1050 CROWN POINT PARKWAY,
STE. 1750
ATLANTA, GA 30380
(614) 266-7176

LEGAL DESCRIPTION

LOT 1 OF CITY OF MARYSVILLE BINDING SITE PLAN, BSP 19-049, RECORDED UNDER RECORDING NO. 202005165002, RECORDS OF SNOHOMISH COUNTY, WASHINGTON, BEING A PORTION OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 9, TOWNSHIP 30 NORTH, RANGE 5 EAST, W.M.

SITUATE IN THE COUNTY OF SNOHOMISH, STATE OF WASHINGTON.



INSIGHT ENGINEERING CO.
P.O. BOX - 1478
EVERETT, WA 98206
(425) 303-9363 (425) 303-9362 FAX
INFO@INSIGHTENGINEERING.NET

SITE ADDRESS: 110XX STATE AVE
MARYSVILLE, WA 98271

TAX ACCOUNT NO.'S: 30050900411200

FILE NO. PA20-053

SE 1/4, SEC. 09, T. 30 N., R. 05 E., W.M.
MARYSVILLE TOWNHOMES

DWG FILENAME 191017-FINAL.DWG DESIGNED BY: SPC DATE: 07-01-2020 SCALE: 1"=30' JOB NO.: 19-1017

SHEET 51

SITE PLAN



MARYSVILLE TOWNHOMES



Know what's below.
Call before you dig.

UTILITY CONFLICT NOTE:

CAUTION:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 1-800-424-5555 POT-HOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT WITH INSIGHT ENGINEERING COMPANY TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.