



# SITE PLAN APPROVAL - Grandview North

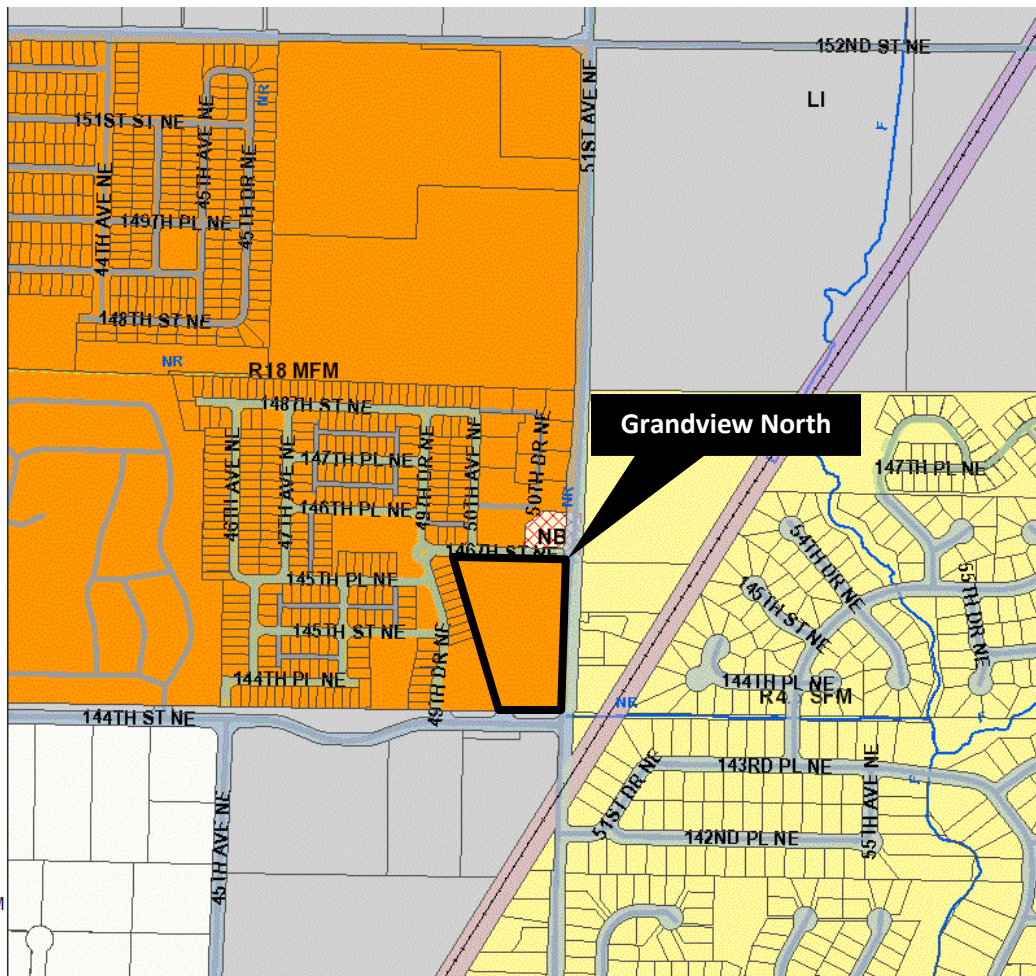
Community Development Department ♦ 80 Columbia Avenue ♦ Marysville, WA 98270  
 (360) 363-8100 ♦ (360) 651-5099 FAX ♦ Office Hours: Mon - Fri 7:30 AM - 4:00 PM

PROJECT INFORMATION									
<b>Project Title</b>	Grandview North			<b>Date of Report</b>	May 13, 2020				
<b>File Number</b>	PA19037			<b>Attachments</b>	Preliminary Site Plan (Exhibit 50); MDNS (Exhibit 43)				
<b>Administrative Recommendation</b>	Approve the preliminary Multi-family Site Plan subject to the conditions of approval contained in Section 2.0 of this Administrative Site Plan Approval.								
BACKGROUND SUMMARY									
<b>Applicant</b>	Grandview North LLC								
<b>Request</b>	The applicant is requesting Administrative Multi-family Site Plan Approval in order to construct a 116 unit apartment complex within three separate buildings, including parking, open space, landscaping and critical area buffer enhancement on a 4.78-acre site.								
<b>SEPA Status</b>	A Mitigated SEPA Threshold Determination of Non-Significance was issued on March 5, 2020. No appeals were filed.								
<b>Site Location</b>	West side of 51 <sup>st</sup> Avenue NE between the 14400 - 14600 Block			<b>APN(s)</b>	31053300401100				
<b>Acreage (SF)</b>	4.78 acres (208,485 SF)			<b>Section</b>	33	<b>Township</b>	31	<b>Range</b>	05
<b>Comprehensive Plan</b>	MFM	<b>Zoning</b>	R-18	<b>Shoreline Environment</b>			N/A		
<b>Water Supply</b>	<b>Current</b>	<b>Proposed</b>		<b>Sewer Supply</b>	<b>Current</b>		<b>Proposed</b>		
	None	Marysville			None	Marysville			
<b>Present Use of Property</b>	Vacant undeveloped land								
REVIEWING AGENCIES									
<b>Marysville</b>	<b>Local Agencies &amp; Districts</b>		<b>State &amp; Federal</b>		<b>County</b>		<b>Other</b>		
<input checked="" type="checkbox"/> Building <input checked="" type="checkbox"/> Fire District <input checked="" type="checkbox"/> Land Development <input checked="" type="checkbox"/> Parks <input checked="" type="checkbox"/> Planning <input checked="" type="checkbox"/> Police <input checked="" type="checkbox"/> Public Works	<input checked="" type="checkbox"/> Arlington (city) <input checked="" type="checkbox"/> Arlington Airport <input checked="" type="checkbox"/> Community Transit <input type="checkbox"/> Lake Stevens SD 4 <input type="checkbox"/> Lakewood SD 306 <input checked="" type="checkbox"/> Marysville SD 25 <input checked="" type="checkbox"/> PUD No. 1		<input checked="" type="checkbox"/> US Army Corps of Engineers <input type="checkbox"/> BNSF <input checked="" type="checkbox"/> DAHP <input checked="" type="checkbox"/> DOE <input type="checkbox"/> WDFW <input type="checkbox"/> WSDOT <input type="checkbox"/> WUTC		<input type="checkbox"/> Health District <input type="checkbox"/> Planning <input checked="" type="checkbox"/> Public Works - Land Development <input type="checkbox"/> Public Works		<input checked="" type="checkbox"/> Tulalip Tribes <input checked="" type="checkbox"/> Stillaguamish Tribe <input checked="" type="checkbox"/> Parties of Record <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>		
ACTION									
<input checked="" type="checkbox"/> Administrative	<input type="checkbox"/> City Council		<input type="checkbox"/> Quasi-Judicial		<input type="checkbox"/> Planning Commission				
<b>Date of Action</b>	May 13, 2020		<input checked="" type="checkbox"/> Approved		<input type="checkbox"/> Denied		<input type="checkbox"/> Continued		
STAFF CONTACT									
<b>Name</b> Chris Holland	<b>Title</b> Planning Manager		<b>Phone</b> 360.363.8207		<b>E-mail</b> cholland@marysvillewa.gov				

**SURROUNDING USES**

	<b>Comprehensive Plan</b>	<b>Zoning</b>	<b>Land Use</b>
<b>Site</b>	Multi-family, Medium Density	R-18	Vacant
<b>North</b>	Multi-family, Medium Density; Neighborhood Business	R-18; NB	Multi-family housing; Espresso Stand
<b>East</b>	Single-family, Medium Density	R-4.5	Emmanuel Baptist Church; duplex and single-family residences
<b>South</b>	Light Industrial	LI	Vacant
<b>West</b>	Multi-family, Medium Density	R-18	Single family residences

**Vicinity Map**



- |                       |                         |                                 |                           |
|-----------------------|-------------------------|---------------------------------|---------------------------|
| General Commercial    | 88 - Mixed Use          | R12 Multi-Family Low            | R4.5 Single Family Medium |
| Downtown Commercial   | General Industrial      | R6-18 Multi-Family Low          | Public-Institutional      |
| Community Business    | Light Industrial        | R8 Single Family High Small Lot | Recreation                |
| Neighborhood Business | R28 Multi-Family High   | R6.5 Single Family High         | Open                      |
| Mixed Use             | R18 Multi-Family Medium | R4-8 Single Family High         |                           |

**1.0 FINDINGS AND CONCLUSIONS**

- 1. On July 26, 2019, Grandview North, LLC, applicant, requested Administrative Multi-family Site Plan Approval in order to construct a one-hundred sixteen (116) unit apartment complex within three separate buildings, including parking, open space, landscaping and critical area buffer enhancement on a 4.78-acre site.
- 2. The application was determined to be complete on July 31, 2019. Public notice of application was provided in accordance with Marysville Municipal Code (MMC) 22G.010.090. The Community Development Department received a high number of public comments in opposition of the development.
- 3. Based on the high number of public comments, the Community Development Department required the applicant to hold a neighborhood meeting in order to introduce the project to the neighbors and answer any questions they had. A neighborhood meeting was held on Thursday, September 12, 2019 between 6:00 – 7:00 PM at the Marysville School District – Transportation Facility, located at 4302 134<sup>th</sup> Street NE. The following is a summary of public comments received at the neighborhood meeting and staff comments:

- a. The proposed development will block views of the Cascade Mountain Range.

Staff Comment: The City of Marysville does not have any adopted codes related to view protection. The proposed development complies with the base height allowance in the R-18 zone in accordance with MMC 22C.010.080(2).

- b. The proposed development would invite crime and vandalism to the existing neighborhood.

Staff Comment: There has been no evidence presented, or on file with the City of Marysville, that would indicate that market rate multi-family housing would invite increased crime and vandalism to the existing neighborhood. The City of Marysville Police Department takes great pride in ensuring a safe community and intends to provide service to the neighborhood through regular patrol and immediate response upon any reports of crime or vandalism.

- c. The proposed development would increase parking demand.

Staff Comment: The proposed development is required to provide parking in accordance with MMC 22C.130.030 Table 1, which requires a minimum of 1.5 parking stalls per one (1) bedroom unit and 1.75 parking stalls for two plus (2+) bedroom units. A total of 187 parking stalls are required. The applicant is proposing to provide 190 parking stalls.

- d. The proposed development would impact the private playgrounds in the adjacent neighborhood.

Staff Comment: The future residents of the proposed development do not have any right to utilize the private parks within adjacent neighborhoods. The applicant is required to provide on-site open space and recreation facilities equivalent to at least 20% of the buildings’ gross floor area in accordance with MMC 22C.010.320. A total of 22,520 SF of open space and recreation facilities is required. The applicant is proposing to provide 27,124 SF of open space and recreation facilities.

- e. The proposed development will increase traffic on 51<sup>st</sup> Avenue NE.

Staff Comment: The applicant submitted a Traffic Impact, Channelization and Crash History analysis with the development application. According to the Traffic Impact Analysis, the intersection of 51<sup>st</sup> Avenue NE and 152<sup>nd</sup> Street NE will operate at Level of Service (LOS) E under 2020 baseline conditions and LOS F with the development. In order to mitigate the impacts to this intersection, the applicant is required to make payment to the City of Marysville, on a proportionate share cost of the future capacity

improvements to the overall street network system, including the intersection of 51<sup>st</sup> Avenue NE and 152<sup>nd</sup> Street NE at a rate of \$6,300.00 per PM peak hour trip.

The Channelization analysis shows that a left-turn lane is not warranted at the site access since left-turns only account for 1.3% of the total design hourly volume.

The Crash History analysis shows that within the last six (6) years, one (1) crash involving a left-turning vehicle could have been remedied with a left-turn lane.

The left-turn lane warrant the crash history show that a left-turn lane would not be required at the site access to the proposed development.

- f. Lack of sidewalks in the area will be a safety issue.

Staff Comment: Pursuant to MMC 12.02A.090, the applicant shall be required to construct frontage improvements along 51<sup>st</sup> Avenue NE per Engineering Design and Development Standards (EDDS) Standard Plan (SP) 3-201-002 prior to issuing occupancy permits.

The applicant is required to construct two (2) ADA curb ramps on the southwest corner of 146<sup>th</sup> Street NE and 51<sup>st</sup> Avenue NE, install marked thermoplastic crosswalk with signage across the south leg of the intersection and relocate the existing Community Transit bus stop to the widened culvert over the Emmanuel Baptist Church entrance, located at 14511 51<sup>st</sup> Avenue NE.

Additionally, the applicant shall be required to install a Rectangular Rapid Flashing Beacon (RRFB) system along the south leg of the 51<sup>st</sup> Avenue NE and 146<sup>th</sup> Street NE intersection.

The improvements required to be installed will improve the pedestrian network system in the area, provide increased safety for pedestrians crossing 51<sup>st</sup> Avenue NE and provide a refuge area for bus travelers.

- g. The proposed development will have a negative impact on property values.

Staff Comment: There has been no evidence presented, or on file with the City of Marysville, that would indicate that market rate multi-family housing would have a negative impact on property values. Generally, urban improvements tend to increase a neighborhood's property values.

- h. The proposed development will reduce solar access.

Staff Comment: Building A is located approximately 125 feet from the closest off-site structure to the east. The southwest corner of Building B is located approximately 35 feet from the closest off-site structure to the west and increases to over 100' from the northwest corner of the building. Building C is located approximately 65 feet from the closest off-site structure to the north and 140 feet from the closest off-site structure to the west. The proposed development will not have an impact on solar access of any structures located north, east, or west of the proposed development. There are no structures located south of the proposed development.

- i. The proposed development will increase noise and smell from the proposed solid waste collection areas.

Staff Comment: The City of Marysville has strict regulations related to both noise (MMC Chapter 6.76, *Noise Regulations*) and smell (MMC Chapter 6.24, *Public Nuisances*). Any noise or smell impacts will be enforced by the City of Marysville Police Department – Code Enforcement Division.

- j. The proposed development will have a negative impact on Marysville Schools.

Staff Comment: According to the Marysville School District Capital Facilities Plan, which has been adopted by the City of Marysville as a subelement of the Comprehensive Plan, the number of students within Marysville School District are

declining and there are no capacity restraints at this time. Therefore, the proposed development will not have a negative impact on Marysville Schools.

- k. The proposed development will have a negative impact on adjacent critical areas.

Staff Comment: Prior to any land disturbing permits are issued for the development, a FINAL Critical Areas Enhancement Plan, designed in accordance with MMC 22E.010.140, will be required to be submitted and approved by the Community Development Department. The applicant is required to enhance the critical area, which includes removal of invasive species, installation of trees and shrubs, and monitor and maintain the improvements for a minimum of 5-years.

- l. The proposed development will have stormwater impacts from increased impervious surfaces.

Staff Comment: MMC Chapter 14.15, *Controlling Storm Water Runoff from New Development, Redevelopment, and Construction Sites*, requires an applicant to have a stormwater management plan designed and approved in accordance with the Washington State Department of Ecology 2012 Stormwater Management Manual for Western Washington, as amended in December 2014. The stormwater management plan will mitigate any stormwater impacts from increased impervious surfaces.

- 4. A *Request for Review* of the proposed development was sent to the following Local, County, State and Federal Agencies and Districts:

- a. *City of Arlington:* No comments received.
- b. *Arlington Airport:* No comments received.
- c. *Community Transit:* No comments received.
- d. *Marysville School District:* No comments received.
- e. *PUD No. 1:* On August 5, 2019, the City of Marysville received an e-mail from Mary Wicklund, Planning, Engineering & Technical Services, stating that PUD has adequate capacity to serve the development.
- f. *US Army Corps of Engineers:* No comments received.
- g. *Washington State Department of Archeology and Historic Preservation:* No comments received.
- h. *Washington State Department of Ecology:* On August 19, 2019, the City of Marysville received an e-mail from Doug Gresham, Wetland Specialist, stating that the Department of Ecology has no wetland permitting concerns with the project.
- i. *Snohomish County Public Works – Land Development:* On July 31, 2019, the City of Marysville received an e-mail from Elbert H. Esparza Jr., Associate Land Development Analyst, stating that Snohomish County Public Works concurs with the distribution and conclusion that the development will not impact any county capital improvement projects or county road with three or more directional peak hour trips. Therefore, no mitigation is required of this development per the interlocal agreement.
- j. *Stillaguamish Tribe:* No comments received.
- k. *Tulalip Tribes:* No comments received.

- 5. The project site is approximately 4.78 acres in size, and is located on the west side of 51<sup>st</sup> Avenue NE between the 14400 – 14600 Block. The site is vacant undeveloped land, and is generally flat with very little change in topography.

The site is bordered by multi-family units and townhome to the north, 51<sup>st</sup> Avenue NE, Emmanuel Baptist Church, duplex and single-family units to the east, 144<sup>th</sup> Street NE and vacant undeveloped land to the south and townhomes to the west.

6. A preliminary Critical Areas Study (CAS) and Buffer Mitigation Plan was prepared by Wetland Resources, Inc., dated May 28, 2019. According to the CAS, one (1) Category III wetland is located within the southern portion of the site and extends off-site to the east and south into roadside ditches.

Category III wetlands require a minimum 75 foot natural vegetative buffer in order to protect the critical area. Pursuant to MMC 22E.010.100(5)(b), a 25% buffer reduction may be allowed for wetlands; provided, that the applicant demonstrates the proposal meets criteria in subsection (5)(b)(i) through (iii) and either (iv) or (v). In review of the CAS, the applicant has met the buffer reduction criteria; therefore, the buffer can be reduced to 56.25 feet.

Pursuant to MMC 22E.010.100(3), where existing buffer area plantings provide minimal vegetative cover and cannot provide the minimum water quality or habitat functions, buffer enhancement shall be required. The applicant shall be required to submit a final critical areas enhancement plan that includes plant densities not less than 5' on center for shrubs and 10' on center for trees. Monitoring and maintenance of plants shall be required in accordance with MMC 22E.010.160. The enhancement plan shall also include NGPA fencing and signage details in accordance with MMC 22E.010.370.

7. Motor vehicle access to the development is proposed from 51<sup>st</sup> Avenue NE via a right-in/right-out access approximately 106 feet south of 146<sup>th</sup> Street NE and a full access approximately 240 feet south of the right-in/right-out access and approximately 235 feet north of 144<sup>th</sup> Street NE.

Marysville Engineering Design and Development Standards (EDDS) Section 3-301 requires a minimum of 120 feet of spacing for a right-in/right-out access from the face of curb of 146<sup>th</sup> Street NE to the edge of the right-in/right-out access on an arterial road (51<sup>st</sup> Avenue NE) with a speed limit of 35 MPH. The applicant submitted a deviation request for a reduced right-in/right-out access separation from 146<sup>th</sup> Street NE, which was approved without conditions by the City Engineer on February 28, 2020.

8. According to the Traffic Impact Analysis (TIA), prepared by Gibson Traffic Consultants, Inc., dated October 2018, the proposed development would generate 688 Average Daily Trips (ADT), 45 AM peak hour trips (AMPHT) and 55 PM peak hour trips (PMPHT):
9. Based on a review of existing conditions and anticipated trip generation, as well as other applicable supplemental information submitted with the application and on file with the City, the Public Works Director made a traffic concurrency recommendation to the applicant dated March 2, 2020. The traffic concurrency recommendation included the following conditions to mitigate traffic impacts:
  - a. In order to mitigate impacts upon the future capacity of the road system, the applicant shall be required to submit payment to the City of Marysville, on a proportionate share cost of the future capacity improvements as set forth in MMC 22D.030.070(3), for the development. Traffic impact fees shall be vested at a rate of \$6,300 per PMPHT.
  - b. Pursuant to MMC 12.02A.090, the applicant shall be required to construct frontage improvements along 51<sup>st</sup> Avenue NE per Engineering Design and Development Standards (EDDS) SP3-201-002, prior to issuing occupancy permits. Roadway improvements, channelization, street lighting and site access plans shall be required to be reviewed and approved by the City Engineer prior to construction plan approval.
  - c. Pursuant to MMC 12.02A.110(1), public right-of-way (ROW) may be required to be dedicated along 51<sup>st</sup> Avenue NE in order to accommodate construction of the required frontage improvements along 51<sup>st</sup> Avenue NE per EDDS SP3-201-002. ROW dedication shall be determined by the City Engineer prior to civil construction plan approval.

- d. The applicant shall be required to remove the existing crosswalk on the north leg of the 146<sup>th</sup> Street NE & 51<sup>st</sup> Avenue NE intersection, including removal of signs and markings.
- e. The applicant shall be required to construct two (2) ADA curb ramps on the southwest corner of 146<sup>th</sup> Street NE and 51<sup>st</sup> Avenue NE, install marked thermoplastic crosswalk with signage across the south leg of the intersection and relocate the existing Community Transit bus stop to the widened culvert over the Emmanuel Baptist Church entrance, located at 14511 51<sup>st</sup> Avenue NE. The improvements shall be required to be reviewed and approved by the City Engineer prior to civil construction plan approval.
- f. The applicant shall be required to install a Rectangular Rapid Flashing Beacon (RRFB) system along the south leg of the 146<sup>th</sup> Street NE and 51<sup>st</sup> Avenue NE intersection. The improvements shall be required to be reviewed and approved by the City Engineer prior to civil construction plan approval.

Installation of the RRFB shall be credited towards the required traffic impact fees in accordance with MMC 22D.010.070. The amount of credit for installation of the RRFB shall be approved by the City Engineer.

- 10. The applicant submitted a written proposal, dated March 4, 2020, agreeing to the development's traffic impacts and mitigation measures.
- 11. After evaluation of the applicant's environmental checklist submitted with the application, and other supporting documentation and application materials, a State Environmental Policy Act (SEPA) Mitigated Determination of Non-Significance (MDNS) and Traffic Concurrency Determination, which included eight (8) mitigation measures, was issued on March 5, 2020. The appeal period for the MDNS expired on March 19, 2020. No appeals were filed.
- 12. Pursuant to MMC 22D.030.070(6)(a)(ii), the traffic concurrency determination and the project's impacts and mitigation obligations shall expire on March 19, 2026.
- 13. On March 18, 2020, the City of Marysville received a letter from Marc Hayes, City of Arlington Community and Economic Development Director, dated March 18, 2020, requesting the City of Marysville withdraw, analyze and reissue the MDNS once the applicant provides an analysis of the proposed development's traffic impacts to the 172<sup>nd</sup> Street NE and 51<sup>st</sup> Avenue NE, 172<sup>nd</sup> Street NE and 43<sup>rd</sup> Avenue NE, 172<sup>nd</sup> Street NE and Smokey Point Boulevard, and 172<sup>nd</sup> Street NE and I-5 overpass intersections.

The MDNS comments from the City of Arlington were forwarded to the applicant to address and respond.

- 14. The applicant submitted a memorandum, prepared by Gibson Traffic Consultants, dated April 1, 2020, addressing the comments from the City of Arlington. The memorandum states that the PM peak hour trip impacts for 172<sup>nd</sup> Street NE were identified in Figure 5 from the October 2018 traffic impact analysis for the Grandview North development. That figure shows that only the intersection of 172<sup>nd</sup> Street NE at 51<sup>st</sup> Avenue NE will be impacted with ten (10) or more PM peak-hour trips, which is the typical threshold for analysis for the City of Arlington.

The Grandview North development will, therefore, ultimately only impact one intersection in the City of Arlington with 10 or more PM peak hour trips. The intersection of 172<sup>nd</sup> Street NE at 51<sup>st</sup> Avenue NE is part of the improvements identified in the Connecting Washington legislation. The Grandview North development should, therefore, not be required to analyze or mitigate impacts to intersections along 172<sup>nd</sup> Street NE.

The memorandum was e-mailed to the City of Arlington on March 13, 2020. The e-mail stated that the City of Marysville concurs with the information contained in the

memorandum, and the City does not intend to withdraw the MDNS for Grandview North or analyze the intersections request. To-date there has not been a response from the City of Arlington.

15. Pursuant to Chapter 14.15 Marysville Municipal Code (MMC), a stormwater pollution prevention plan (SWPPP) and subsequent installation of an approved stormwater management system on the site are required. Potential significant adverse environmental impacts associated with increased stormwater runoff from the proposed development will be adequately mitigated through compliance with the MMC.
16. Utilities are proposed to be provided to the site as follows:
  - a. Storm Drainage – Runoff treatment for the proposed pollution generating surfaces will be provided through a number of catch basin stormfilters designed by Contech Engineered Solutions. These stormfilters will remove any pollutants from the surface runoff while in the catch basin before conveying it to the detention system. The detention system is proposed to be constructed from ST-30 StormTank modules.
  - b. Water – A 12-inch cast iron water main is located in 51<sup>st</sup> Avenue NE, and a 12-inch ductile water main is located within 144<sup>th</sup> Street NE. The applicant is proposing to connect to the 12-inch cast iron main located in 51<sup>st</sup> Avenue NE in order to provide adequate water pressure and fire flow.
  - c. Sewer – A 24-inch sewer main is located in 51<sup>st</sup> Avenue NE, and a 12-inch sewer main is located in 144<sup>th</sup> Street NE. The applicant is proposing to connect to the 12-inch sewer main located within 144<sup>th</sup> Street NE in order to provide sewer service to the proposed development.

All utility and street improvements will be addressed during civil construction plan review in order to ensure compliance with all of the applicable MMCs.

17. MMC 22G.010.140(3) requires the City to determine whether or not the project is consistent with the following items described in the applicable plans and regulations:
  - a. Type of land use permitted at the site, including uses that may be allowed under certain circumstances, such as planned residential development and conditional uses, if the criteria for their approval have been satisfied.

Staff Comment: Multi-family apartments are permitted outright in the R-18 zone in accordance with MMC 22C.010.060.

- b. Density of residential development in urban growth areas.

Staff Comment: The base density allowed in the R-18 zone is 18 dwelling units per acre, and the maximum density is 27 dwelling units per acre through application of the residential density incentive (RDI) provisions outlined in MMC Chapter 22C.090. The applicant has proposed utilizing RDI benefit 3 *Community Image and Identity*, 7e *Private park and open space facilities integrated into project design*, and 9a *Integration of LID measures into project design*. The following is the RDI calculation for the proposed development:

**BASE DENSITY** (18 d.u. per acre) = 86 (4.78 acres x 18)

**RDI CALCULATION**

Benefit 3: 1 Bonus Unit per \$15,000 = 25 (25 x \$15,000)  
Benefit 7e: 5 Bonus Unit per acre of park = 0.52 (5 x 0.107 acres)  
Benefit 9a: 5% base increase for LID design = 4.3 (86 base x 1.05)

**TOTAL ALLOWED UNITS = 116**

The proposed development is proposing a density of 24 dwelling units per acre (116 d.u./4.78 acres) which complies with the density allowances outlined in MMC 22C.010.080(2).



- c. Availability and adequacy of public facilities identified in the Comprehensive Plan.

Staff Comment: The Comprehensive Plan designation for the subject property is Multi-family, Medium Density. The proposed development and subsequent use of the property will be consistent with the pertinent development policies outlined in the Marysville Comprehensive Plan, as conditioned herein.

The development policies outlined in the Comprehensive Plan that are specifically pertinent to this request, and were used to establish appropriate mitigation measures, are as follows:

**LAND USE ELEMENT**

General Development Land Use Goals & Policies

*Policies:* LU-3, LU-5, LU-6

Residential Land Use Goals & Policies

*Policies:* LU-23, LU-25, LU-26, LU-28, LU-30, LU-31, LU-33, LU-34,

Multi-family

*Policies:* LU-46, LU-47, LU-48, LU-50, LU-51

**HOUSING ELEMENT**

Housing Policies

*Policies:* HO-4, HO-8, HO-20, HO-21, HO-22, HO-24, HO-27, HO-28, HO-29,  
HO-30

**ENVIRONMENTAL ELEMENT**

Earth Goals and Policies

*Policies:* EN-19, EN-21

Water: Quality, Wetland and Watershed Protection, Storm Water Runoff,  
Drainage, Shoreline Goals and Policies

*Policies:* EN-32, EN-38

Climate Change Goals and Policies

*Policies:* EN-54

**TRANSPORTATION ELEMENT**

Transportation System Efficiency and Safety

*Policies:* T-7, T-8

Mobility Options

*Policies:* T-25, T-26, T-27, T-29

Level of Service Standards and Concurrency

*Policies:* T-42

Financing and Implementation

*Policies:* T-48

**PARKS AND RECREATION ELEMENT**

*Policies:* PK-13, PK-17

**UTILITIES ELEMENT**

*Policies:* UT-1, UT-3, UT-8, UT-18

**PUBLIC FACILITIES & SERVICES ELEMENT**

Police, Fire, Library

*Policies:* PS-1, PS-3, PS-5, PS-9, PS-10, PS-11

Schools

*Policies:* SC-6

Water, Sewer, Storm Drainage, Solid Waste

*Policies:* PF-1, PF-2, PF-7, PF-13, PF-18, PF-19, PF-20, PF-23, PF-24, PF-26, PF-28

d. Development Standards.

Staff Comment: The project site is currently zoned R-18 (Multi-family, Medium Density). The R-18 zone is a medium density multiple-family residential zone. The major types of new housing will be attached and detached single family residences, duplexes, apartments and condominiums. The density is 18 units per acre; the maximum density is 27 units per acre.

The proposed development and subsequent use of the property will comply with the intent of the R-18 zone, and as conditioned herein, will meet all of the applicable development standards outlined in Title 22 MMC, *Unified Development Code*.

18. Pursuant to Chapter 22D.020 MMC, the applicant shall mitigate City of Marysville parks impacts through payment of the park impact fee in effect at the time of building permit issuance.
19. Pursuant to Chapter 22D.040 MMC, the applicant shall mitigate school impacts through the payment of the school impact fee in effect at the time of building permit issuance.
20. The proposed development, as conditioned herein, will make appropriate provisions for the public use and interest, health, safety, and general welfare.
21. Pursuant to MMC 22G.010.200, a decision on this application shall be made within 120 days from the date of the letter of completeness. A decision on this application was made seventy-six (76) in-house calendar days from the date of completeness.

## 2.0 RECOMMENDATION

Based on the foregoing findings and conclusions, review of the environmental documents submitted by the applicant, and the City's regulatory authority to implement the policies, standards, and regulations of the Comprehensive Plan and MMC, the Community Development Department hereby grants Preliminary Administrative Multi-family Site Plan Approval for Grandview North, subject to the following conditions:

1. The preliminary site plan received by the Community Development Department on April 21, 2020 (Exhibit 50) shall be the approved preliminary site plan layout.
2. All power lines, telephone wires, television cables, fire alarm systems and other communication wires, cables or lines shall be placed underground either by direct burial or by means of conduit or ducts providing service to each building.
3. As noted on the face of the preliminary site plan, the applicant shall demonstrate compliance with the following design elements outlined in the MMC:
  - a. Prior to preliminary site plan approval, the applicant shall be required to demonstrate compliance with MMC 22C.010.290(2), *Relationship of Buildings to Site and Street Front*.
  - b. Prior to civil construction plan approval, the applicant shall have a *FINAL* landscaping plan approved that includes all of the plan submittal requirements outlined in MMC 22C.120.030, and includes all of the applicable design elements outlined in MMC 22C.010.290(4), *Landscaping and Site Treatment* and MMC Chapter 22C.120.
  - c. Prior to civil construction plan approval, an exterior lighting plan shall be provided in accordance with MMC 22C.010.290(4)(c) and MMC 22C.130.050(3)(d).

- d. Prior to civil construction plan approval, the applicant shall be required to demonstrate compliance with MMC 22C.010.290(5), *Site Design Utilizing Crime Prevention through Environmental Design (CPTED) Principles*.
  - e. Prior to building permit issuance, the applicant shall be required to demonstrate compliance with MMC 22C.010.290(6), *Building Design – Human-Scale Standards*.
  - f. Prior to building permit issuance, the applicant shall be required to demonstrate compliance with MMC 22C.010.290(7), *Building Design – Architectural Scale*.
  - g. Prior to building permit issuance, the applicant shall be required to demonstrate compliance with MMC 22C.010.290(8), *Building Design – Entrances*.
  - h. Prior to building permit issuance, the applicant shall be required to demonstrate compliance with MMC 22C.010.290(9), *Building Design – Details*.
  - i. Prior to building permit issuance, the applicant shall be required to demonstrate compliance with MMC 22C.010.290(10), *Window Design for Residential Uses*.
  - j. Prior to building permit issuance, the applicant shall be required to demonstrate compliance with MMC 22C.010.290(11), *Building Materials*.
  - k. Prior to building permit issuance, the applicant shall be required to demonstrate compliance with MMC 22C.010.290(12), *Blank Walls*.
  - l. All mechanical equipment shall be organized, proportioned, detailed, screened, landscaped (with decks or terraces) and/or colored to be an integral element of the building and minimize visual impacts from the ground level of adjacent streets and properties. For example, screening features should utilize similar building materials and forms to blend with the architectural character of the building.
  - m. Prior to granting occupancy permits, declaration or covenants shall be required to be recorded, including provisions which address the following:
    - Maintenance of the common areas, drainage system, open space, landscaping and other private improvements within the development.
    - Provisions for storage, parking of boats, RVs, non-operable vehicles and similar vehicle storage so as not to reduce the proposed parking within the development and enforcement of these provisions.

These covenants or restrictions shall be reviewed and approved by the Community Development Department and Marysville Fire District prior to recording.
4. Prior to civil construction plan approval, a FINAL Critical Areas Enhancement Plan, designed in accordance with MMC Chapter 22E.010 *Critical Areas Management*.
  5. The applicant shall submit payment to the City of Marysville for park impacts caused by the development pursuant to Chapter 22D.020 MMC. Park impact fees will be based on the fee schedules in effect at the time an individual building permit application is accepted by the City.
  6. The applicant shall submit payment to Marysville School District No. 25 for school impacts caused by the multi-family development pursuant to Chapter 22D.040 MMC. School impact fees will be based on the fee schedules in effect at the time an individual building permit application is accepted by the City.
  7. The applicant shall be required to submit an "Arlington Airport Protection District" Disclosure Statement with a legal description and map to the Arlington Airport for review before recording with the Snohomish County Auditor. Prior to granting occupancy permits, a recorded conformed copy of the "Arlington Airport Protection District" Disclosure Statement shall be provided to the Arlington Airport and City of Marysville.
  8. The applicant shall be required to comply with the eight (8) mitigation measures outlined in the State Environmental Policy Act (SEPA) Mitigated Threshold Determination of Non-

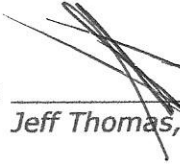
significance (MDNS) and Traffic Concurrency Determination issued on March 5, 2020 (Exhibit 43 attached hereto).

**Prepared by:** *Chris*

**Reviewed by:** *Angela*

This **Administrative Multi-family Site Plan APPROVAL** is issued under MMC 22G.010.150(h). Administrative decisions may be appealed to the Hearing Examiner in accordance with MMC Chapter 22G.010, Article VIII, *Appeals*. Appeals must be filed within fourteen (14) calendar days of the date of the Administrative Site Plan Approval.

**Signature:** \_\_\_\_\_



*Jeff Thomas, CD Director*

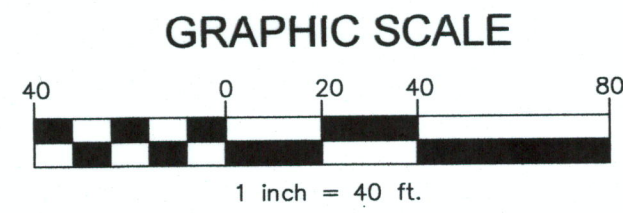
**Date:** \_\_\_\_\_

*5-13-2020*

The above recommendation, including conditions of preliminary approval, are subject to change if the proposed phasing parameters, land uses or any other information provided by the applicant or their authorized representative proves inaccurate.

**LEGEND:**

- PROPERTY LINE
- EXISTING EDGE OF PAVEMENT
- EXISTING CENTER OF ROW
- EXISTING SUBDIVISION LINE
- EXISTING WATER LINE
- OHP
- EXISTING OVERHEAD POWER
- EXISTING DITCH C/L
- EXISTING STORMDRAIN
- EXISTING CHAIN LINK FENCE
- EXISTING WOOD FENCE
- WETLANDS BUFFER
- WETLANDS AREA
- EXISTING WATER VALVE
- EXISTING HYDRANT
- EDGE OF WETLAND (ANGLE POINT)
- BUILDING SETBACK LINE (BSBL)
- EXISTING CONTOURS
- PROPOSED CONTOURS
- PROPOSED EDGE OF SIDEWALK
- PROPOSED PARKING LOT/DRIVEWAY
- PROPOSED PARKING STALL
- PROPOSED BUILDING
- PROPOSED CONCRETE
- PROPOSED PAVEMENT
- PROPOSED BUILDING LANDSCAPING
- PROPOSED PARKING LANDSCAPING
- PROPOSED OPEN SPACE
- PROPOSED ADA TYPE PARKING SPACE
- PROPOSED SEWER MANHOLE
- PROPOSED SEWER LINE
- EXISTING SEWER MANHOLE
- EXISTING SEWER LINE
- PROPOSED WATER LINE
- PROPOSED 90° BEND (W/ THRUST BLOCKING)
- PROPOSED TEE (W/ THRUST BLOCKING)
- PROPOSED HYDRANT
- PROPOSED METER
- PROPOSED WATER VALVE
- PROPOSED DOUBLE CHECK VALVE ASSEMBLY (DCVA)
- PROPOSED IRRIGATION CONTROL VAULT
- PROPOSED POST INDICATOR VALVE



**DATUM: NAVD 88**  
ON SITE TBM 928-58-1  
N.BOLT TOP HYDRANT  
ELEV.=103.17'

- EASEMENTS:**
1. CITY OF MARYSVILLE WATER PIPELINE EASEMENT (AFN 1805342)
  2. PUD ELECTRIC TRANSMISSION AND/OR DISTRIBUTION LINE EASEMENT (AFN 2031705)

**OPEN SPACE CALCULATIONS:**

REQUIRED OPEN SPACE IS 20% BUILDING'S GROSS FLOOR AREA
BUILDING 1 FOOTPRINT 12,373 SF X 2 = 24,746 SF TOTAL AREA
BUILDING 2 FOOTPRINT 17,782 SF X 3 = 53,346 SF TOTAL AREA
BUILDING 3 FOOTPRINT 11,503 SF X 3 = 34,509 SF TOTAL AREA
<b>TOTAL = 112,601 SF</b>
X 20%
<b>22,520 SF REQUIRED</b>
<b>27,124 SF PROVIDED</b>

**TOTAL LOT AREA = 208,485 SF (4.7861 AC)**

**DENSITY CALCULATIONS:**

4.7861 AC X 18 DU/AC = 86.15 = 86 UNITS	<b>MAXIMUM DENSITY CALCULATIONS:</b>
	4.7861 AC X 27 DU/AC = 129 UNITS

**DENSITY INCENTIVE CALCULATION**

<b>BENEFIT:</b>	<b>INCENTIVE:</b>
7.e. PRIVATE PARK/OPEN SPACES INTEGRATED IN DESIGN	5 UNITS PER ACRE OF OPEN SPACE
9.a. INTEGRATION OF LID MEASURES	5% INCREASE OVER BASE DENSITY
3.a. COMMUNITY IMAGE AND IDENTITY	1 UNIT PER \$15,000 FEE

**RDI DENSITY CALCULATION**

BASE DENSITY (4.78 AC X 18)	= 86 UNITS
(9.a.) 86 BASE DENSITY X 5 %	= 4.3 BONUS UNITS
(7.e.) 5 UNITS X 0.107 AC	= 0.52 BONUS UNIT
(3.a.) 25 UNITS @ \$15,000/UNIT	= 25 BONUS UNITS
<b>TOTAL = 116 UNITS</b>	

**LANDSCAPING CALCULATION**

REQUIRED LANDSCAPING IS 10% OF THE PROPOSED PARKING AREA
TOTAL PARKING AREA = 60,369 SF
10% OF TOTAL PARKING AREA = 6,037 SF
<b>PROPOSED LANDSCAPING = 10,178 SF</b>

**PARKING CALCULATIONS:**

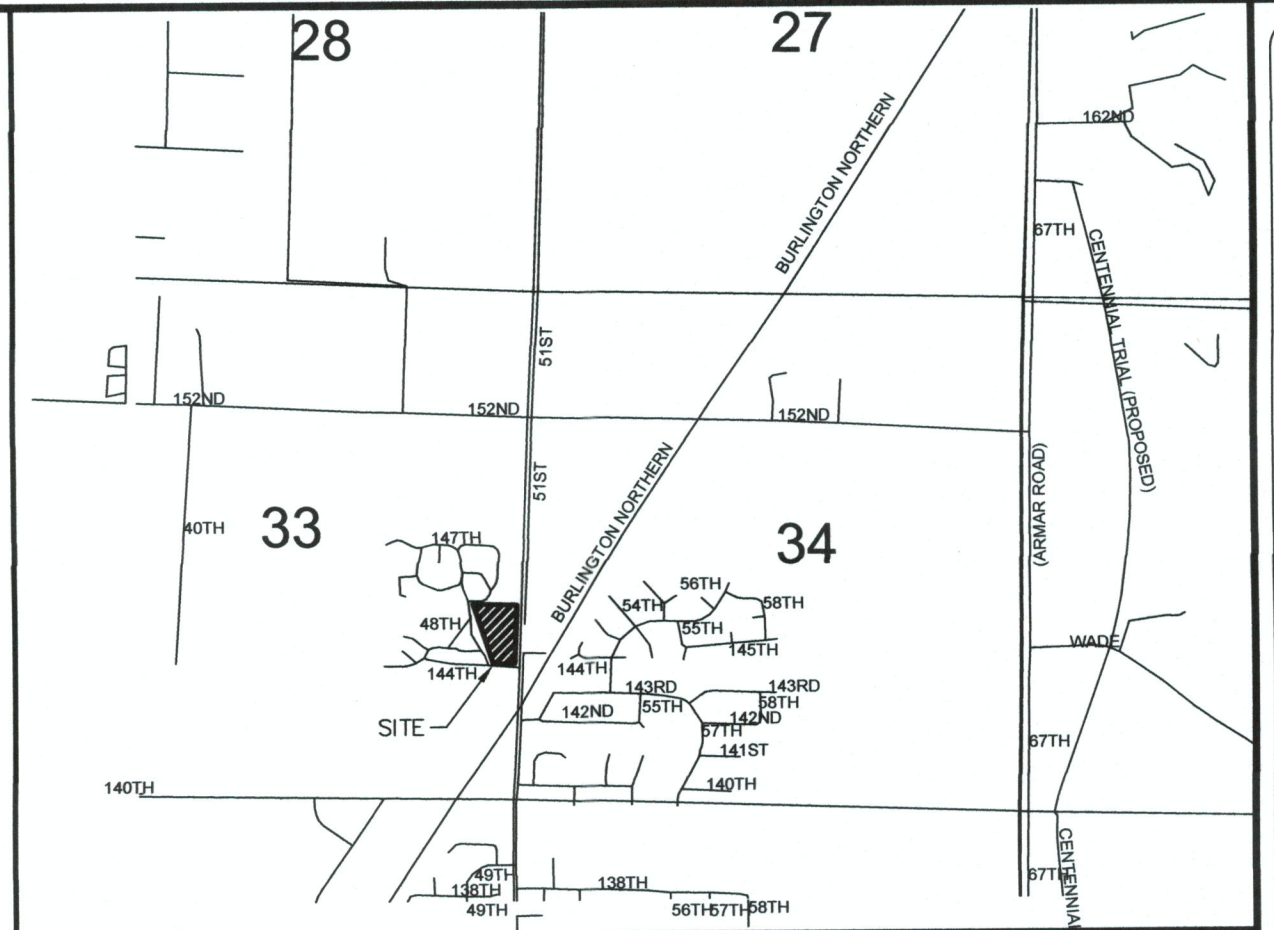
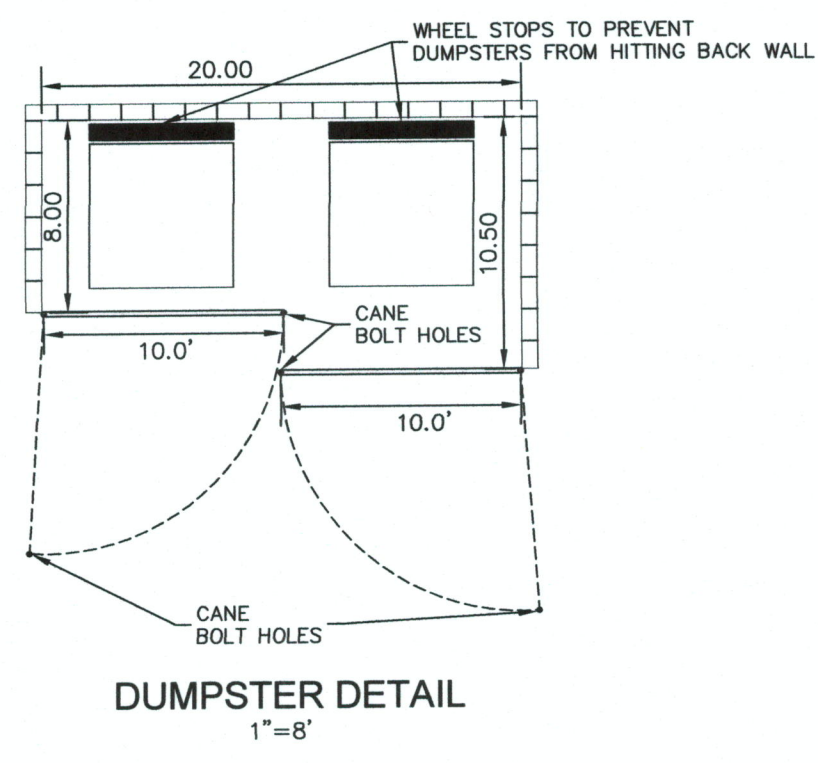
64 ~ 1 BEDROOM @ 1.50 SPACES/UNIT = 96.0
37 ~ 2 BEDROOM @ 1.75 SPACES/UNIT = 64.75
15 ~ 3 BEDROOM @ 1.75 SPACES/UNIT = 26.25
<b>REQUIRED PARKING SPACES = 187.0</b>
<b>REQUIRED ADA PARKING = 6.0</b>
<b>PROVIDED PARKING SPACES = 190.0 (6 ADA)</b>

**BICYCLE PARKING:**  
REQUIRED BICYCLE PARKING IS 5% OF REQUIRED AUTO PARKING SPACES  
187 x 0.05 = 9.35  
BICYCLE SPACES REQUIRED = 10

**FRONTAGE IMPROVEMENTS:**  
FRONTAGE IMPROVEMENTS WILL BE DESIGNED TO CITY OF MARYSVILLE EDDS STANDARD PLAN 3-201-002

**AREAS ON SITE:**

BUILDING A FOOTPRINT	12,194	SF
BUILDING B FOOTPRINT	12,419	SF
BUILDING C FOOTPRINT	18,139	SF
<b>TOTAL BUILDING</b>	<b>42,752</b>	<b>SF (20.5%)</b>
ASPHALT PARKING	60,369	SF
CONCRETE SIDEWALK	8,905	SF
CONCRETE DUMPSTER PAD	370	SF
TOTAL OTHER HARD SURFACES	69,642	SF
<b>TOTAL IMPERVIOUS</b>	<b>112,396</b>	<b>SF (53.9%)</b>
BUILDING LANDSCAPING	16,812	SF
PARKING LOT LANDSCAPING	10,178	SF
OPEN SPACE	27,124	SF
WETLAND AND BUFFER AREA	41,975	SF
<b>TOTAL PERVIOUS</b>	<b>96,089</b>	<b>SF (46.1%)</b>



**SITE INFORMATION:**

SITE AREA:	208,485 SF (4.7862 ACRES)
PROPOSED BUILDING HEIGHT:	THREE-STORIES & TWO STORIES
PROPOSED DWELLING UNITS:	116 APARTMENTS
LOT COVERAGE (BUILDING):	42,752 SF (20.5%)
LOT COVERAGE (TOTAL IMPERVIOUS):	112,396 SF (53.9%)
ZONING CLASSIFICATION:	R18 MULTI-FAMILY MEDIUM (MFM)
PROPOSED SCREENING:	LANDSCAPED AREAS AND WOOD FENCE
WATER PROVIDER:	CITY OF MARYSVILLE
SEWER PROVIDER:	CITY OF MARYSVILLE
SCHOOL DISTRICT:	MARYSVILLE 25
FIRE PROTECTION DISTRICT:	MARYSVILLE

**TAX PARCEL NUMBERS:** 31053300401100

**CONTACT PERSON:** RANDY DEVOIR, CASCADE SURVEYING & ENGINEERING, INC., P.O. BOX 326, ARLINGTON, WA, 98223. PHONE: (360) 435-5551. rdevoir@cascaadesurveying.com

**OWNER/APPLICANT:** GRANDVIEW NORTH, LLC, P.O. BOX 159, ARLINGTON, WA, 98223. PHONE: (360) 435-7171. g@grandviewinc.net

**CIVIL ENGINEER & SURVEYOR:** FREDERICK F. POYNER, P.E., P.L.S., CASCADE SURVEYING & ENGINEERING, INC., P.O. BOX 326, ARLINGTON, WA, 98223. PHONE: (360) 435-5551.

**DESIGNED:** JH DATE 5/19

**DRAWN:** JH DATE 5/19

**CHECKED:** RLD DATE 5/19

**FIELD BOOK:** SN 928 REF.

**REVISED:**

DATE	BY
04/20 JH	
01/20 JH	
10/19 JH	

**LEGAL DESCRIPTION**

BEGINNING AT THE NORTHEAST CORNER OF THE NORTH HALF OF THE SOUTHEAST QUARTER OF SECTION 33, TOWNSHIP 31 NORTH, RANGE 5 EAST, W.M., THENCE SOUTH 03°44'21" WEST ALONG THE EAST LINE OF SAID NORTH HALF FOR 492.15 FEET; THENCE NORTH 84°47'59" WEST FOR 143.27 FEET; THENCE SOUTH 50°00'00" WEST FOR 90 FEET; THENCE SOUTH 03°32'40" WEST FOR 90 FEET; THENCE SOUTH 86°27'20" EAST FOR 207.91 FEET TO THE EAST LINE OF SAID NORTH HALF; THENCE SOUTH 03°44'21" WEST ALONG THE EAST LINE OF SAID NORTH HALF FOR 46 FEET TO THE TRUE POINT OF BEGINNING; THENCE NORTH 86°27'20" WEST FOR 504.73 FEET TO THE CENTERLINE OF THE RIGHT OF WAY EASEMENT GRANTED TO THE TRANS MOUNTAIN OIL PIPELINE CORPORATION AS RECORDED IN VOLUME 631 OF DEEDS, PAGE 557, RECORDS OF SNOHOMISH COUNTY, WASHINGTON; THENCE SOUTH 16°10'43" EAST ALONG SAID EASEMENT 654.06 FEET TO THE SOUTH LINE OF SAID NORTH HALF; THENCE SOUTH 87°41'03" EAST ALONG THE SOUTH LINE OF SAID NORTH HALF FOR 282 FEET TO THE SOUTHEAST CORNER OF SAID NORTH HALF; THENCE NORTH 03°44'21" EAST ALONG THE EAST LINE OF SAID NORTH HALF TO THE TRUE POINT OF BEGINNING; EXCEPT ANY PORTION OF THE ABOVE DESCRIBED PARCELS A AND B LYING WITHIN 51ST AVENUE NORTHEAST (ALSO KNOWN AS SHOULTES ROAD) AND ANY PORTION LYING EASTERLY OF SAID ROAD, SITUATE IN THE COUNTY OF SNOHOMISH, STATE OF WASHINGTON.

**NOTES:**

- a. PRIOR TO PRELIMINARY SITE PLAN APPROVAL, THE APPLICANT SHALL BE REQUIRED TO DEMONSTRATE COMPLIANCE WITH MMC 22C.010.290(2) RELATIONSHIP OF BUILDINGS TO SITE AND STREET FRONT.
- b. PRIOR TO CIVIL CONSTRUCTION PLAN APPROVAL, THE APPLICANT SHALL HAVE A FINAL LANDSCAPING PLAN APPROVED THAT INCLUDES ALL OF THE PLAN SUBMITTAL REQUIREMENTS OUTLINED IN MMC 22C.120.030, AND INCLUDES ALL OF THE APPLICABLE DESIGN ELEMENTS OUTLINED IN MMC 22C.010.290(4) LANDSCAPING AND SITE TREATMENT AND MMC CHAMPTER 22C.120.
- c. PRIOR TO CIVIL CONSTRUCTION PLAN APPROVAL, AN EXTERIOR LIGHTING PLAN SHALL BE PROVIDED IN ACCORDANCE WITH MMC 22C.010.290(4)(c) AND MMC 22C.130.050(3)(g).
- d. PRIOR TO PRELIMINARY SITE PLAN APPROVAL, THE APPLICANT SHALL BE REQUIRED TO DEMONSTRATE COMPLIANCE WITH MMC 22C.010.290(5) SITE DESIGN UTILIZING CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN (CPTED) PRINCIPLES.
- e. PRIOR TO BUILDING PERMIT ISSUANCE, THE APPLICANT SHALL BE REQUIRED TO DEMONSTRATE COMPLIANCE WITH MMC 22C.010.290(6) BUILDING DESIGN - HUMAN-SCALE STANDARDS.
- f. PRIOR TO BUILDING PERMIT ISSUANCE, THE APPLICANT SHALL BE REQUIRED TO DEMONSTRATE COMPLIANCE WITH MMC 22C.010.290(7) BUILDING DESIGN - ARCHITECTURAL SCALE.
- g. PRIOR TO BUILDING PERMIT ISSUANCE, THE APPLICANT SHALL BE REQUIRED TO DEMONSTRATE COMPLIANCE WITH MMC 22C.010.290(8) BUILDING DESIGN - ENTRANCES.
- h. PRIOR TO BUILDING PERMIT ISSUANCE, THE APPLICANT SHALL BE REQUIRED TO DEMONSTRATE COMPLIANCE WITH MMC 22C.010.290(9) BUILDING DESIGN - HUMAN-SCALE DETAILS.
- i. PRIOR TO BUILDING PERMIT ISSUANCE, THE APPLICANT SHALL BE REQUIRED TO DEMONSTRATE COMPLIANCE WITH MMC 22C.010.290(10) WINDOW DESIGN FOR RESIDENTIAL USES.
- j. PRIOR TO BUILDING PERMIT ISSUANCE, THE APPLICANT SHALL BE REQUIRED TO DEMONSTRATE COMPLIANCE WITH MMC 22C.010.290(11) BUILDING MATERIALS.
- k. PRIOR TO BUILDING PERMIT ISSUANCE, THE APPLICANT SHALL BE REQUIRED TO DEMONSTRATE COMPLIANCE WITH MMC 22C.010.290(12) BLANK WALLS.
- l. ALL MECHANICAL EQUIPMENT SHALL BE ORGANIZED, PROPORTIONED DETAILED, SCREENED, LANDSCAPED (WITH DECKS OR TERRACES) AND/OR COLORED TO BE AN INTEGRAL ELEMENT OF THE BUILDING AND MINIMIZE VISUAL IMPACTS FROM THE GROUND LEVEL OF ADJACENT STREETS AND PROPERTIES. FOR EXAMPLE, SCREENING FEATURES SHOULD UTILIZE SIMILAR BUILDING MATERIALS AND FORMS TO BLEND WITH THE ARCHITECTURAL CHARACTER OF THE BUILDING.
- m. PRIOR TO GRANTING OCCUPANCY PERMITS, DECLARATION OR COVENANTS SHALL BE REQUIRED TO BE RECORDED, INCLUDING PROVISIONS WHICH ADDRESS THE FOLLOWING:
  - MAINTENANCE OF THE COMMON AREAS, DRAINAGE SYSTEMS, OPEN SPACE, LANDSCAPING AND OTHER PRIVATE IMPROVEMENTS WITHIN THE DEVELOPMENT.
  - PROVISIONS FOR STORAGE PARKING OF BOATS, RV'S, NON-OPERABLE VEHICLES AND SIMILAR VEHICLE STORAGE SO AS NOT TO REDUCE THE PROPOSED PARKING WITHIN THE DEVELOPMENT AND ENFORCEMENT OF THESE PROVISIONS.

THESE COVENANTS OR RESTRICTIONS SHALL BE REVIEWED AND APPROVED BY THE COMMUNITY DEVELOPMENT DEPARTMENT AND MARYSVILLE FIRE DISTRICT, PRIOR TO RECORDING.

**CASCADE SURVEYING & ENGINEERING, INC.**  
Planners Surveyors  
Engineers  
P.O. BOX 326 WASHINGTON 98223  
1-800-583-5551  
WWW.CASCADESURVEYING.COM  
PHONE: (360) 435-5551



**DESIGNED:** JH DATE 5/19

**DRAWN:** JH DATE 5/19

**CHECKED:** RLD DATE 5/19

**FIELD BOOK:** SN 928 REF.

**REVISED:**

DATE	BY
04/20 JH	
01/20 JH	
10/19 JH	

**DESIGNED:** JH DATE 5/19

**DRAWN:** JH DATE 5/19

**CHECKED:** RLD DATE 5/19

**FIELD BOOK:** SN 928 REF.

**GRANDVIEW NORTH, LLC**  
REMINOTON PLACE  
**SITE PLAN**  
CITY OF MARYSVILLE  
PA 19-037  
1 OF 1  
# 21663

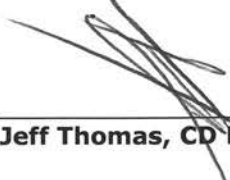
V:\21663\DWG\PRELIMINARY\21663 SITE PLAN.DWG (Layout)ENG




# MITIGATED DETERMINATION OF NON-SIGNIFICANCE AND TRAFFIC CONCURRENCY DETERMINATION

Community Development Department • 80 Columbia Avenue • Marysville, WA 98270  
 (360) 363-8100 • (360) 651-5099 FAX • Office Hours: Mon - Fri 7:30 AM - 4:00 PM

PROJECT INFORMATION			
<b>Project Title</b>	Grandview North	<b>File No.</b>	PA19037
<b>Detailed Project Description</b>	The applicant is requesting administrative multi-family <i>Site Plan Approval</i> in order to construct a 116-unit apartment complex within three separate buildings, including parking, open space, landscaping and critical area buffer enhancement.		
<b>Project Location</b>	West side of 51 <sup>st</sup> Avenue NE between the 14400 - 14600 Block	<b>APN(s)</b>	31053300401100
<b>Legal Description (abbreviated)</b>	A portion of Section 33, Township 31, Range 05E		
	OWNER	APPLICANT	CONTACT
<b>Name</b>	Grandview North, LLC	Same as owner	Same as owner
<b>Address</b>	P.O. Box 159		
<b>City, State, ZIP</b>	Arlington, WA 98223		
THRESHOLD DETERMINATION			
<b>Lead Agency</b>	<input checked="" type="checkbox"/> City of Marysville		
<p>The lead agency has determined that this proposal does not have a probable significant adverse impact on the environment. An environmental impact statement (EIS) is NOT required under RCW 43.21C.030(2)(c). This decision was made after review by the City of Marysville of a completed environmental checklist and other information on file with this agency. This information is available for public review upon request.</p> <p><input type="checkbox"/> There is no comment period for this DNS</p> <p><input type="checkbox"/> This DNS is issued after using the optional DNS process in WAC 197-11-355. There is no further comment period on this DNS.</p> <p><input type="checkbox"/> This DNS is issued under WAC 197-11-340(2); the lead agency will not act on this proposal for 14-days from the date below. Comments must be submitted by:</p> <p><input checked="" type="checkbox"/> This MITIGATED DNS is issued under WAC 197-11-350; the lead agency will not act on this proposal for 14-days from the date below. Comments must be submitted by: <b>March 19, 2020</b></p>			
SEPA CONTACT			
<b>Name</b>	Chris Holland	<b>Title</b>	Planning Manager
<b>Phone</b>	360.363.8207	<b>E-mail</b>	cholland@marysvillewa.gov
RESPONSIBLE OFFICIAL			
<b>Name</b>	Jeff Thomas	<b>Title</b>	CD Director
<b>Address</b>	80 Columbia Avenue, WA 98270		

  
 Jeff Thomas, CD Director

  
 Date

**ENVIRONMENTAL IMPACTS**

The proposed construction and subsequent use of the property could result in the following adverse environmental impacts:

1.	Increase in the amount and rate of stormwater runoff and attendant pollutants from the introduction of paved and building roof surfaces.
2.	Increase in erosion, surface water pollutants, siltation and sedimentation as a result of site preparation and construction.
3.	Increase in demand for police, fire protection, parks and other public services generated as a result of the development.
4.	Increase in noise, dust, light and glare from construction activity and subsequent use of the site.
5.	Increase in vehicular traffic on 51 <sup>st</sup> Avenue NE, 136 <sup>th</sup> Street NE, 152 <sup>nd</sup> Street NE, as well as other City streets and arterials in the vicinity.
6.	Change in character of the site from a large vacant pasture into an urban medium-density multi-family development.

**MITIGATION MEASURES**

The following mitigation measures are required to minimize the probable significant adverse environmental impacts as a result of the proposed development activity:

1.	Prior to civil construction plan and building permit approval, the applicant shall be required to submit a FINAL Geotechnical Assessment, prepared by a Professional Engineer registered in the State of Washington. Additionally, the applicant/contractor shall be required to adhere to the recommendations of the FINAL Geotechnical Assessment.
2.	Prior to civil construction plan approval, the applicant shall be required to submit a wetland buffer enhancement plan pursuant to MMC 22E.010.100(3). The planting plan shall also include NGPA fencing and signage details in accordance with MMC 22E.010.370. Monitoring and maintenance shall be required in accordance with MMC 22E.010.160.
3.	In order to mitigate impacts upon the future capacity of the road system, the applicant shall be required to submit payment to the City of Marysville, on a proportionate share cost of the future capacity improvements as set forth in MMC 22D.030.070(3), for the development. Traffic impact fees shall be vested at a rate of \$6,300 per PMPHT.
4.	Pursuant to MMC 12.02A.090, the applicant shall be required to construct frontage improvements along 51 <sup>st</sup> Avenue NE per Engineering Design and Development Standards (EDDS) SP3-201-002, prior to issuing occupancy permits. Roadway improvements, channelization, street lighting and site access plans shall be required to be reviewed and approved by the City Engineer, prior to construction plan approval.
5.	Pursuant to MMC 12.02A.110(1), public right-of-way (ROW) may be required to be dedicated along 51 <sup>st</sup> Avenue NE, in order to accommodate construction of the required frontage improvements along 51 <sup>st</sup> Avenue NE per EDDS SP3-201-002. ROW dedication shall be determined by the City Engineer, prior to civil construction plan approval.
6.	The applicant shall be required to remove the existing crosswalk on the north leg of the 146 <sup>th</sup> Street NE & 51 <sup>st</sup> Avenue NE intersection, including removal of signs and markings.
7.	The applicant shall be required to construct two (2) ADA curb ramps on the southwest corner of 146 <sup>th</sup> Street NE & 51 <sup>st</sup> Avenue NE, install marked thermoplastic crosswalk with signage across the south leg of the intersection and relocate the existing Community Transit bus stop to the widened culvert over the Emmanuel Baptist Church entrance, located at 14511 51 <sup>st</sup> Avenue NE. The improvements shall be required to be reviewed and approved by the City Engineer, prior to civil construction plan approval.
8.	The applicant shall be required to install a Rectangular Rapid Flashing Beacon (RRFB) system along the south leg of the 146 <sup>th</sup> Street NE & 51 <sup>st</sup> Avenue NE intersection. The improvements shall be required to be reviewed and approved by the City Engineer, prior to civil construction plan approval.

Installation of the RRFB shall be credited towards the required traffic impact fees in accordance with MMC 22D.010.070. The amount of credit for installation of the RRFB shall be approved by the City Engineer.

**APPEALS**

This DNS may be appealed pursuant to the requirements of MMC 22E.030.180. There is a 15 day appeal period on the DNS that commences from the date the DNS was issued. Any appeal must be addressed to the responsible official, accompanied by a filing fee of \$500.00, and be filed in writing at the City of Marysville Community Development Department, 80 Columbia Avenue, Marysville, WA 98270. The appeal must be received by 4 p.m., **March 19, 2020**. The appeal must contain the items set forth in MMC 22G.010.530.

There is no agency appeal.

**DISTRIBUTION**

Marysville	Local Agencies & Districts	State & Federal	County	Other
<input checked="" type="checkbox"/> Building <input checked="" type="checkbox"/> Fire District <input checked="" type="checkbox"/> LD (S. Whitney) <input checked="" type="checkbox"/> LD (Deryl Taylor) <input type="checkbox"/> Parks <input checked="" type="checkbox"/> Police <input checked="" type="checkbox"/> PW – Engineering <input checked="" type="checkbox"/> PW – Operations <input checked="" type="checkbox"/> PW – Sanitation <input type="checkbox"/> PW – Streets <input checked="" type="checkbox"/> PW – Traffic Eng. <input checked="" type="checkbox"/> PW – Water Res.	<input checked="" type="checkbox"/> Arlington (city) <input checked="" type="checkbox"/> Arlington Airport <input checked="" type="checkbox"/> Community Transit <input type="checkbox"/> Everett (city) <input type="checkbox"/> Lake Stevens (city) <input type="checkbox"/> Lake Stevens SD 4 <input type="checkbox"/> Lakewood SD 306 <input checked="" type="checkbox"/> Marysville SD 25 <input checked="" type="checkbox"/> PUD No. 1 (electric) <input type="checkbox"/> PUD No. 1 (water)	<input checked="" type="checkbox"/> US Army Corps of Engineers <input type="checkbox"/> BNSF <input checked="" type="checkbox"/> DAHP <input type="checkbox"/> DOE (Bellevue - NWRO) <input checked="" type="checkbox"/> DOE (SEPA Register) <input type="checkbox"/> DOE (Shorelands) <input type="checkbox"/> WDFW <input type="checkbox"/> WSDOT <input type="checkbox"/> WUTC	<input type="checkbox"/> Health District <input type="checkbox"/> Planning <input checked="" type="checkbox"/> Public Works - Land Development <input type="checkbox"/> Public Works <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> BNSF <input type="checkbox"/> Olympic Pipeline <input type="checkbox"/> Puget Sound Clean Air <input type="checkbox"/> Puget Sound Energy <input checked="" type="checkbox"/> Stillaguamish Tribe <input checked="" type="checkbox"/> Tulalip Tribes <input checked="" type="checkbox"/> Parties of record