



ADMINISTRATIVE SITE PLAN APPROVAL - SHOCKMAN SIXPLEX
 Community Development Department ♦ 80 Columbia Avenue ♦ Marysville, WA 98270
 (360) 363-8100 ♦ (360) 651-5099 FAX ♦ Office Hours: Mon - Fri 7:30 AM - 4:00 PM

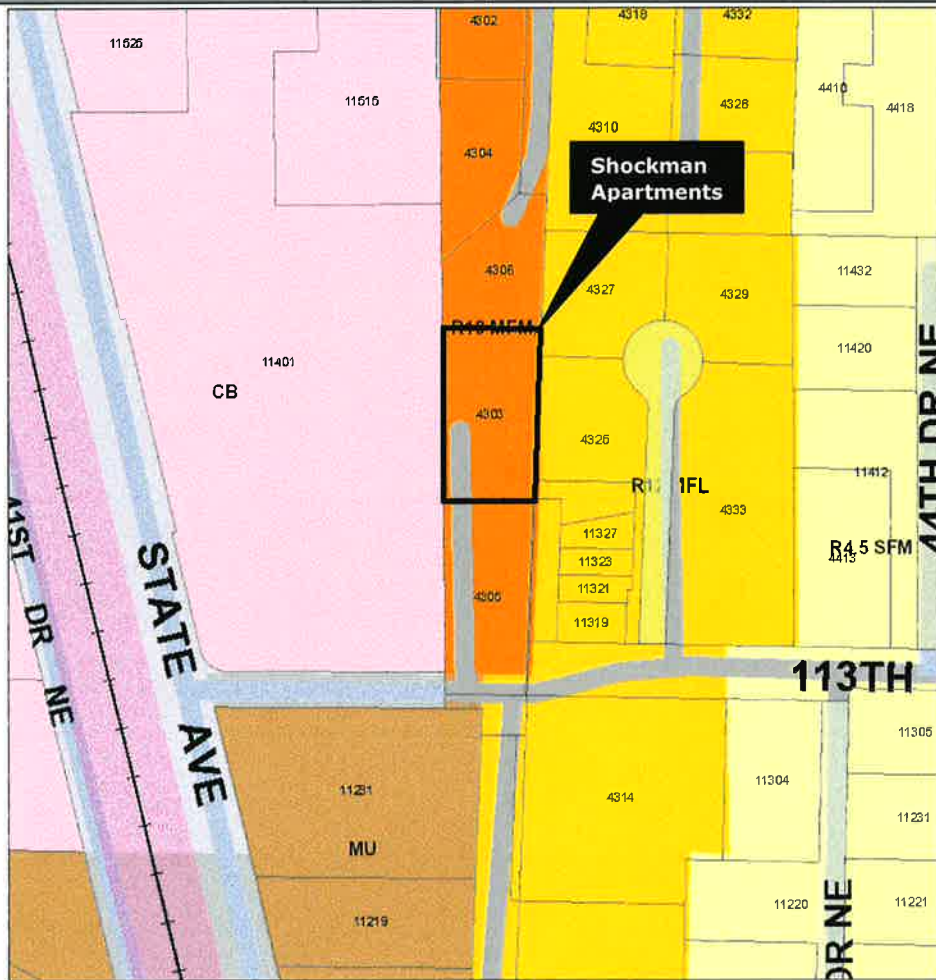
PROJECT INFORMATION										
Project Title	Shockman Sixplex			Date of Report	September 17, 2019					
File Number	PA19-018			Attachments	Site plan					
Administrative Recommendation	Approve the multi-family site plan subject to the conditions of approval contained in Section 2.0.									
BACKGROUND SUMMARY										
Owner/Applicant	RESG Homes, LLC/ Eagle Country Construction									
Request	Administrative site plan approval in order to construct a six unit townhouse/multi-family residence.									
SEPA Status	Exempt pursuant to WAC 197-11-800									
Site Address	4303 113 th Place NE			APN(s)	30050900403500					
Legal Description (abbreviated)	SEC 09 TWP 30 RGE 05RT 37E) BEG CTR SEC TH S00*00 45E ALG C/L 436FT TPB TH CONT S00*00 45E 195.5FTTH S88*34 50E 100.12FT TH N02*36 24E 195.46FT TH N88*34 50W 109.06FT TO TPOB			Section	09	Township	30	Range	05	
Comprehensive Plan	MFM	Zoning	R-18	Shoreline Environment			N/A			
Water Supply	Current	Proposed		Sewer Supply	Current		Proposed			
	City	City			Septic	City				
Present Use of Property	Single wide mobile home.									
REVIEWING AGENCIES										
Marysville	Local Agencies & Districts		State & Federal		County		Other			
<input checked="" type="checkbox"/> Building <input checked="" type="checkbox"/> Fire District <input checked="" type="checkbox"/> Land Development <input checked="" type="checkbox"/> Parks <input checked="" type="checkbox"/> Planning <input checked="" type="checkbox"/> Police <input checked="" type="checkbox"/> Public Works	<input type="checkbox"/> Arlington (city) <input type="checkbox"/> Community Transit <input type="checkbox"/> Everett (city) <input checked="" type="checkbox"/> Frontier <input type="checkbox"/> Lake Stevens (city) <input type="checkbox"/> Lakewood SD 306 <input checked="" type="checkbox"/> Marysville SD 25 <input checked="" type="checkbox"/> PUD No. 1		<input type="checkbox"/> US Army Corps of Engineers <input type="checkbox"/> BNSF <input type="checkbox"/> DOE <input type="checkbox"/> WDFW <input type="checkbox"/> WSDOT <input type="checkbox"/> WUTC		<input checked="" type="checkbox"/> Health District <input type="checkbox"/> Planning <input checked="" type="checkbox"/> Public Works - Land Development <input type="checkbox"/> Public Works		<input checked="" type="checkbox"/> Tulalip Tribes <input checked="" type="checkbox"/> Stillaguamish Tribe			
ACTION										
<input checked="" type="checkbox"/> Administrative	<input type="checkbox"/> City Council	<input type="checkbox"/> Quasi-Judicial	<input type="checkbox"/> Planning Commission							
Date of Action	September 17, 2019	<input checked="" type="checkbox"/> Approved	<input type="checkbox"/> Denied	<input type="checkbox"/> Continued						
STAFF										
Name	Angela Gemmer	Title	Senior Planner	Phone	360.363.8240	E-mail	agemmer@marysvillewa.gov			

EXHIBIT
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SURROUNDING USES

	Comprehensive Plan	Zoning	Land Use
Site	Multi-Family, Medium Density	R-18	Mobile home
North	Multi-Family, Medium Density	R-18	Single family residence
East	Multi-Family, Low Density	R-12	Single family residences and duplexes
South	Multi-Family, Medium Density	R-18	Sixplex (under construction)
West	Community Business	CB	Harbor Freight and associated retail

Vicinity Map



- | | | | |
|-----------------------|-------------------------|---------------------------------|---------------------------|
| General Commercial | 88 - Mixed Use | R12 Multi-Family Low | R4.5 Single Family Medium |
| Downtown Commercial | General Industrial | R6-18 Multi-Family Low | Public-Institutional |
| Community Business | Light Industrial | R8 Single Family High Small Lot | Recreation |
| Neighborhood Business | R28 Multi-Family High | R6.5 Single Family High | Open |
| Mixed Use | R18 Multi-Family Medium | R4-8 Single Family High | |

1.0 FINDINGS AND CONCLUSIONS

1. Description of Proposal

The applicant is requesting Administrative Multi-Family Site Plan Approval in order to construct a six unit townhouse/multi-family residence on 0.46 acres, and associated site improvements including, but not limited to, landscaping, parking, and stormwater facilities.

2. Project History

A formal land use application was filed on April 15, 2019, and deemed complete on April 16, 2019. Notice of this application was provided in accordance with MMC Section 22G.010.090, *Notice of development application*. No written comments or phone calls were received as of the date of this report.

3. Site Location

The subject property is located within the City of Marysville, east of State Avenue on the north side of 113th Place NE. The site address is 4303 113th Place NE, and the property is identified by Assessor's Parcel Number 30050900403500.

4. Site Description

The site is currently occupied by a single wide mobile home. The site is vegetated by lawn, and some trees and shrubs; the topography is generally flat. The USDA Soil Conservation Services has classified the on-site soils as Ragnar fine sandy loam.

5. Surrounding Uses

The subject property is zoned R-18 Multi-Family, Medium Density. Surrounding uses include a single family residence to the north; single family residences and duplexes to the east; a sixplex which is currently under construction to the south; and Harbor Freight and associated retail stores to the west.

6. Critical Areas

There are no critical areas located on, or within 500 feet of, the subject property.

7. Utilities

There is an 8-inch ductile iron (DI) water main, and an 8-inch sanitary sewer main located in 113th Place NE. There is also an 8-inch sanitary sewer main on the western portion of the abutting property to the east. Sanitary sewer will be required to be extended to the northern property line in order to be available to the abutting property to the north. Water, sewer, and surface water capital improvement fees are required for the new dwelling units.

8. Stormwater Drainage

The proposal will be required to be developed in compliance with the Washington State Department of Ecology's 2012 *Stormwater Management Manual for Western Washington* as amended in December 2014. The Drainage Report prepared by Joseph M. Smeby, P.E. dated April 2019, indicates that runoff from the new impervious surfaces will be infiltrated on-site. Runoff from the roof surfaces will be collected and infiltrated into an infiltration trench. The runoff from the driveway and parking area will be collected, treated, and infiltrated into a separate infiltration trench located within the access easement. Water quality for the project will be provided in the form of a soil treatment layer in the bottom of any infiltration trench receiving runoff from pollution-generating impervious surface.

9. **Access, Circulation, and Frontage Improvements**

Access to the townhouse will be via a private road/drive aisle over the adjacent property to the south which is identified by Assessor's Parcel Number 30050900406400; this drive aisle connects to 113th Place NE. The project to the south was conditioned to require a minimum 22-foot wide reciprocal ingress, egress, utilities easement and maintenance agreement over its drive aisle be provided to the subject property to ensure adequate access and availability of utilities. The property has no frontage on a public street; therefore, no frontage improvements are required.

10. **Traffic Impacts and Mitigation**

The City Engineer reviewed the information on file for the project and issued a written concurrency recommendation dated September 11, 2019 informing the developer of the project's impacts and mitigation obligation pursuant to Chapter 22D.030, *Traffic Impact Fees and Mitigation*. Pursuant to MMC Section 22D.030.070(1)(d), an applicant is required to make a written proposal for mitigation of the impacts to the Public Works Director, based on the concurrency recommendation. The applicant accepted the traffic concurrency recommendation on September 12, 2019. The condition of the concurrency determination is as follows:

In order to mitigate impacts upon the future capacity of the road system, the applicant shall be required to submit payment to the City of Marysville, on a proportionate share cost of the future capacity improvements as set forth in MMC 22D.030.070(3), for the development. Utilizing Multi-Family Mid-Rise (Land Use Category 221) outlined in the *Institute of Transportation Engineers Trip Generation Manual*, 10th Edition, 0.44 PM peak hour trips are generated during the weekday PM peak hour. Therefore, traffic mitigation in the amount of \$13,734.00 will be required to be paid prior to building permit issuance per the following calculation: Calculation step 1: (0.44 PM peak hour trips per townhouse x 6 townhouse units) = 2.64 PM peak hour trips. Calculation step 2: (2.64 PM peak hour trips - 0.46 PM peak hour trip for the existing mobile home) x (\$6,300.00 per each PM peak hour trip) = \$13,734.00.

11. **Agency Review**

A *Request for Review* of the proposed project was sent to the following Local, County, State, and Federal Agencies and Districts:

- a. *Snohomish County Public Utility District No. 1*: No comments received.
- b. *Tulalip Tribes*: No comments received.
- c. *Stillaguamish Tribes*: No comments received.
- d. *Marysville Fire District*: The Fire District provided the following comments related to fire code compliance for this project:
 - Existing fire hydrants along the 113th Pl NE roadway exceed 300' away from the building. Maximum hydrant spacing for the proposed use is 300'. *A new hydrant is required along the new fire access roadway.*
 - A new on-site fire hydrant shall be provided in an approved location. Provide a hydrant near the turnaround area. Hydrants should be minimum 50' away from buildings per EDDS.
 - The turnaround shall meet EDDS Standard Plan 3-207-004 requirements for hammerhead turnarounds. It appears that the depth of the turnaround should extend about 5' further.
 - The access roadway and turnaround areas should be marked and/or signed "NO PARKING - FIRE LANE" to maintain unobstructed emergency access.

- Access for firefighting operations through gates in cross fencing along the back (east) side of the building shall be provided. Approved access walkways to all exterior doors and openings shall be provided. All parts of the building exterior should be accessible for firefighting by an approved route around the building.

The Fire District’s comments are to be addressed during civil construction plan or building permit review as applicable.

12. Application Review

MMC 22G.010.140(3) requires the City to determine whether or not the project is consistent with the following items described in the applicable plans and regulations:

- a. Type of land use permitted at the site, including uses that may be allowed under certain circumstances, such as planned residential development and conditional uses, if the criteria for their approval have been satisfied.

Staff Comment: Pursuant to MMC 22C.010.060, townhouses/multi-family residences are permitted outright in the R-18 zone. The proposed project meets the allowable density and dimensional standards of the R-18 zone.

- b. Density of residential development in urban growth areas.

Staff Comment: The base density permitted in the R-18 zone is 18 dwelling units per acre. The applicant is proposing six townhouse/multi-family units on a 0.34 net acre site (0.34 net acres x 18 units per acre = 6.12 units permitted) which complies with the allowable density for the R-18 zone.

- c. Availability and adequacy of public facilities identified in the Comprehensive Plan.

Staff Comment: The Comprehensive Plan designation for the subject property is Multi-Family, Medium Density. There are adequate water, sewer, and other public facilities to serve the proposed development. The proposed development and subsequent use of the property will be consistent with the pertinent development policies outlined in the Marysville Comprehensive Plan, as conditioned herein.

The following development policies outlined in the Comprehensive Plan that are specifically pertinent to this request and were used to establish appropriate conditions are as follows:

LAND USE ELEMENT

General Development Land Use Policies

Policies: LU-9, LU-11

Residential Land Use Policies

Policies: LU-46, LU-50

ENVIRONMENTAL ELEMENT

Earth Goals and Policies

Policies: EN-19, EN-21

Water: Quality, Wetland and Watershed Protection, Storm Water Runoff, Drainage, Shoreline Goals and Policies

Policies: EN-38

TRANSPORTATION ELEMENT

Mobility Options

Policies: T-25, T-26

Sustainable Transportation Systems and the Environment

Policies: T-34

Level of Service Standards and Concurrency

Policies: T-41

UTILITIES ELEMENT

Policies: UT-3, UT-5, UT-8, UT-10

PUBLIC FACILITIES & SERVICES ELEMENT

Police, Fire, Library

Policies: PS-1, PS-3, PS-9, PS-10, PS-11

Water, Sewer, Storm Drainage, Solid Waste

Policies: PF-1, PF-2, PF-7, PF-9, PF-23

d. Development Standards.

Staff Comment: The project site is currently zoned R-18 Multi-Family, Medium Density. The R-18 zone is a medium density multiple-family residential zone. The major types of new housing development will be attached and detached single-family residential, duplexes, apartments and condominiums. The base density is 18 units per acre; the maximum is limited to 27 units per acre.

After review of the application materials, site plan and information on file with the City, it has been determined that the proposed multi-family site plan, as conditioned herein, complies with all of the applicable design and development standards outlined in Title 22 – *Unified Development Code*.

13. In House Days

Pursuant to MMC Section 22G.090.380, a decision on the application shall be made within 120 days from the date of the letter of completeness. A decision on this application was made 37 in-house days from the date of completeness.

14. Conclusion

The proposed development, as conditioned herein, will make appropriate provisions for the public use and interest, health, safety, and general welfare.

2.0 DECISION

Based on the foregoing findings and conclusions, and review of the City’s regulatory authority to implement the policies, standards, and regulations of the Comprehensive Plan and MMC, the Community Development Director hereby grants preliminary **Administrative Multi-Family Site Plan Approval** for the Shockman Apartments subject to the following conditions:

1. The site plan date stamped September 10, 2019 is the approved site layout (Exhibit 18).
2. The applicant shall pay \$13,734.00 in traffic mitigation fees to the City of Marysville in accordance with MMC Chapter 22D.030 in order to mitigate the project’s impacts to the City road system. Said fees will be required to be paid prior to building permit issuance.
3. The applicant shall submit payment to Marysville School District No. 25 for school impacts caused by the development in accordance with MMC Chapter 22D.040, *School Impact Fees and Mitigation*. School mitigation fees will be based on the fee schedules in effect at the time an individual building permit application is accepted by the City, and will be required to be paid prior to building permit issuance unless deferred until a time preceding final building inspections being granted.
4. The applicant shall submit payment to the City of Marysville for park impacts caused by the development in accordance with MMC Chapter 22D.020, *Parks, Recreation, Open*

Space and Trail Impact Fees and Mitigation. Park mitigation fees will be based on the fee schedules in effect at the time an individual building permit application is accepted by the City, and will be required to be paid prior to building permit issuance unless deferred until a time preceding final building inspections being granted.

5. All mechanical equipment shall be organized, proportioned, detailed, screened, landscaped, and/or colored to be an integral element of the building and minimize visual impacts from the ground level of adjacent streets and properties. For example, screening features should utilize similar building materials and forms to blend with the architectural character of the building.
6. All power lines, telephone wires, television cables, fire alarm systems and other communication wires, cables or lines shall be placed underground either by direct burial or by means of conduit or ducts providing service to the building.
7. Access for firefighting operations through gates in cross fencing along the east side of the building shall be provided, and approved access walkways to all exterior doors and openings shall be provided or as otherwise approved by the Marysville Fire District.
8. Appropriate lighting levels shall be provided in all areas used by pedestrians or automobiles, including building entries, walkways, parking areas, circulation areas, and other open space areas, in order to ensure safety and security; enhance and encourage evening activities; and provide a distinctive character to the area. A lighting site plan which identifies lighting equipment, locations and standards, and implements the design standards set forth in MMC Section 22C.010.290(4)(c) shall be provided and implemented prior to final building inspections being granted.

Prepared by: ADG

Reviewed by: C.

This **Administrative Site Plan Approval** is issued under MMC Section 22G.010.150(h). Administrative decisions may be appealed to the Hearing Examiner in accordance with MMC 22G.010 MMC Article VIII Appeals. Appeals must be filed within fourteen (14) calendar days of the date of administrative site plan approval.

Date: 9-17-2019

Signature: _____

Jeff Thomas, Community Development Director

The above recommendation, including conditions of preliminary approval, are subject to change if the proposed phasing parameters, land uses or any other information provided by the applicant or their authorized representative proves inaccurate.