



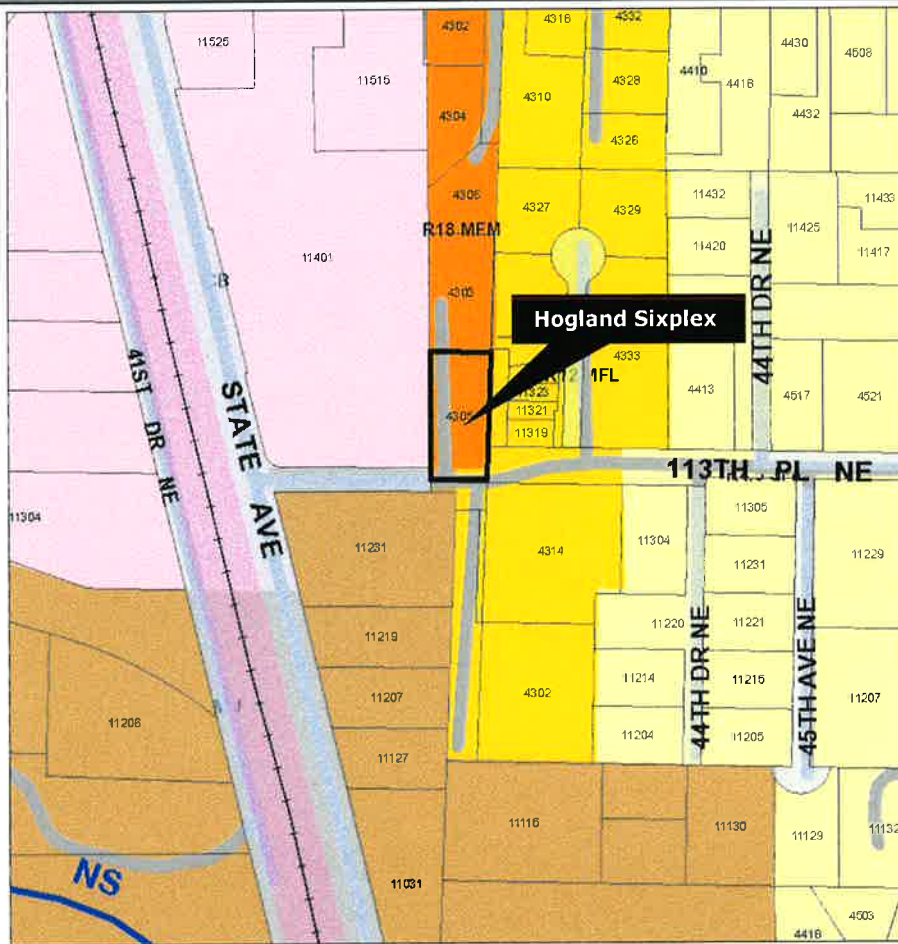
ADMINISTRATIVE SITE PLAN APPROVAL - HOGLAND SIXPLEX
 Community Development Department ♦ 80 Columbia Avenue ♦ Marysville, WA 98270
 (360) 363-8100 ♦ (360) 651-5099 FAX ♦ Office Hours: Mon - Fri 7:30 AM - 4:00 PM

PROJECT INFORMATION										
Project Title	Hogland Sixplex			Date of Report	February 13, 2019					
File Number	PA18-019			Attachments	Site plan					
Administrative Recommendation	Approve the multi-family site plan subject to the conditions of approval contained in Section 2.0.									
BACKGROUND SUMMARY										
Owner/Applicant	Albert and Irene Hogland/Eagle Country Construction									
Request	Administrative site plan approval in order to construct a six unit townhouse/multi-family residence.									
SEPA Status	Exempt pursuant to WAC 197-11-800									
Site Address	4305 113 th Place NE			APN(s)	30050900406400					
Legal Description (abbreviated)	SEC 09 TWP 30 RGE 05 Quarter SE BEG CTR SEC TH S00*00 45E 631.50FT TPB TH CONT S00*00 45E 214.5FT TH S88*34 50E90.32FT TH N02*36 24E 214.5FT TH N88*34 50W 100.12FT TO TPOB SUBJ TO ESE			Section	09	Township	30	Range	05	
Comprehensive Plan	MFM	Zoning	R-18	Shoreline Environment			N/A			
Water Supply	Current	Proposed		Sewer Supply	Current		Proposed			
	City	City			Septic	City				
Present Use of Property	Vacant land									
REVIEWING AGENCIES										
Marysville	Local Agencies & Districts			State & Federal		County		Other		
<input checked="" type="checkbox"/> Building <input checked="" type="checkbox"/> Fire District <input checked="" type="checkbox"/> Land Development <input checked="" type="checkbox"/> Parks <input checked="" type="checkbox"/> Planning <input checked="" type="checkbox"/> Police <input checked="" type="checkbox"/> Public Works	<input type="checkbox"/> Arlington (city) <input type="checkbox"/> Community Transit <input type="checkbox"/> Everett (city) <input checked="" type="checkbox"/> Frontier <input type="checkbox"/> Lake Stevens (city) <input type="checkbox"/> Lakewood SD 306 <input checked="" type="checkbox"/> Marysville SD 25 <input checked="" type="checkbox"/> PUD No. 1			<input type="checkbox"/> US Army Corps of Engineers <input type="checkbox"/> BNSF <input type="checkbox"/> DOE <input type="checkbox"/> WDFW <input type="checkbox"/> WSDOT <input type="checkbox"/> WUTC		<input checked="" type="checkbox"/> Health District <input type="checkbox"/> Planning <input checked="" type="checkbox"/> Public Works - Land Development <input type="checkbox"/> Public Works		<input checked="" type="checkbox"/> Tulalip Tribes <input checked="" type="checkbox"/> Stillaguamish Tribe		
ACTION										
<input checked="" type="checkbox"/> Administrative	<input type="checkbox"/> City Council	<input type="checkbox"/> Quasi-Judicial	<input type="checkbox"/> Planning Commission							
Date of Action	February 13, 2019	<input checked="" type="checkbox"/> Approved	<input type="checkbox"/> Denied	<input type="checkbox"/> Continued						
STAFF										
Name	Angela Gemmer	Title	Senior Planner	Phone	360.363.8240	E-mail	agemmer@marysvillewa.gov			

SURROUNDING USES

	Comprehensive Plan	Zoning	Land Use
Site	Multi-Family, Medium Density	R-18	Vacant land
North	Multi-Family, Medium Density	R-18	Mobile home
East	Multi-Family, Low Density	R-12	Single family residences
South	Mixed Use & Multi-Family, Low Density	MU & R-12	Single family residences across 113 th Place NE right-of-way
West	Community Business	CB	Harbor Freight and associated retail

Vicinity Map



- | | | |
|-----------------------|---------------------------------|---------------------------|
| Zoning labels | General Industrial | R4-8 Single Family High |
| General Commercial | Light Industrial | R4-2 Single Family Medium |
| Downtown Commercial | R20 Multi-Family High | Public-Institutional |
| Community Business | R18 Multi-Family Medium | Recreation |
| Business Park | R12 Multi-Family Low | Open |
| Neighborhood Business | RE-19 Multi-Family, Low | |
| Mixed Use | R8 Single Family High Small Lot | |
| Mixed Use | RE-5 Single Family High | |

1:1,787
0 75 150 300 Feet

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1.0 FINDINGS AND CONCLUSIONS

1. Description of Proposal

The applicant is requesting Administrative Multi-Family Site Plan Approval in order to construct a six unit townhouse on 0.46 acres, and associated site improvements including, but not limited to, landscaping, parking, and stormwater facilities.

2. Project History

A formal land use application was filed, and deemed complete on May 21, 2018. Notice of this application was provided in accordance with MMC Section 22G.010.090, *Notice of development application*. No written comments or phone calls were received as of the date of this report.

3. Site Location

The subject property is located within the City of Marysville, east of State Avenue on the north side of 113th Place NE. The site address is 4305 113th Place NE and the property is identified by Assessor's Parcel Number 30050900406400.

4. Site Description

The site is flat and is vegetated by lawn and some trees and shrubs. The USDA Soil Conservation Services has classified the on-site soils as Ragnar fine sandy loam.

5. Surrounding Uses

The subject property is zoned R-18 Multi-Family, Medium Density. Surrounding uses include a mobile home to the north; single family residences to the east; single family residences across the 113th Place NE right-of-way to the south; and Harbor Freight and associated retail stores to the west.

6. Critical Areas

There are no critical areas located on the subject property or within 500 feet of the subject property.

7. Utilities

There is an 8-inch ductile iron (DI) water main, and an 8-inch sanitary sewer main located in 113th Place NE. There is also an 8-inch sanitary sewer main on the western portion of the abutting property to the east. Both water and sanitary sewer will be required to be extended to the northern property line in order to be available to the abutting property to the north. Water, sewer, and surface water capital improvement fees will be required to be paid for the new dwelling units. A sewer recovery contract applies to the subject property.

8. Stormwater Drainage

The proposal will be required to be developed in compliance with the Washington State Department of Ecology's 2012 Stormwater Management Manual for Western Washington as amended in December 2014. The Drainage Report prepared by Joseph M. Smeby, P.E., and Rachel A. Weinberg, E.I.T. dated February 2018 and revised December 2018, indicates that runoff from the new impervious surfaces will be infiltrated on-site. Runoff from the roof surfaces will be collected and infiltrated into an infiltration trench. The runoff from the shared driveway and parking area will be collected and infiltrated into a separate infiltration trench located within the access easement. Water quality for the project will be provided in the form of a soil treatment layer in the bottom of any infiltration trench receiving runoff from pollution-generating impervious surface.

9. Access, Circulation, and Frontage Improvements

Access to the townhouse will be via a private road/drive aisle located off of 113th Place NE. Frontage improvements and right-of-way dedication is required along the property's 113th Place NE frontage. The necessary right-of-way dedication is anticipated to be 25 feet along the west portion, and 30 feet along the east portion, of the subject property, and is to be determined by the project's licensed land surveyor and shall be dedicated to the City prior to final building inspections being granted for the project.

10. Traffic Impacts and Mitigation

The City Engineer reviewed the information on file for the project and issued a written concurrency recommendation dated February 11, 2019 informing the developer of the project's impacts and mitigation obligation pursuant to Chapter 22D.030, *Traffic Impact Fees and Mitigation*. Pursuant to MMC Section 22D.030.070(1)(d), an applicant is required to make a written proposal for mitigation of the impacts to the Public Works Director, based on the concurrency recommendation. The applicant accepted the traffic concurrency recommendation on February 11, 2019. The conditions of the concurrency determination are as follows:

- a. In order to mitigate impacts upon the future capacity of the road system, the applicant shall be required to submit payment to the City of Marysville, on a proportionate share cost of the future capacity improvements as set forth in MMC 22D.030.070(3), for the development. Utilizing Multi-Family Mid-Rise (Land Use Category 221) outlined in the *Institute of Transportation Engineers Trip Generation Manual*, 10th Edition, 0.44 PM peak hour trips are generated during the weekday PM peak hour. Therefore, traffic mitigation in the amount of \$10,332.00 will be required to be paid prior to building permit issuance per the following calculation: Calculation step 1: (0.44 PM peak hour trips per townhouse x 6 townhouse units) = 2.64 PM peak hour trips. Calculation step 2: (2.64 PM peak hour trips – 1 PM peak hour trip for the existing SFR) x (\$6,300.00 per each PM peak hour trip) = \$10,332.00.
- b. The applicant shall be required to construct frontage improvements along the property's 113th Place NE frontage.
- c. The applicant shall be required to dedicate right-of-way along the project's 113th Place NE frontage. The necessary right-of-way dedication is anticipated to be 25 feet along the west portion, and 30 feet along the east portion, of the subject property, and shall be determined by the project's licensed land surveyor. Said right-of-way shall be dedicated to the City prior to final building inspections being granted for the project.

11. Agency Review

A *Request for Review* of the proposed project was sent to the following Local, County, State, and Federal Agencies and Districts:

- a. *Snohomish County Public Utility District No. 1*: No comments received.
- b. *Tulalip Tribes*: No comments received.
- c. *Stillaguamish Tribes*: No comments received.
- d. *Marysville Fire District*: The Fire District commented that the plans appear to comply with general requirements for fire apparatus access and hydrant locations. Specific comments related to fire code compliance for this project are noted below:
 - The project shall comply with the current fire code requirements (2015 IFC) including WA State and local City of Marysville amendments to the fire code.
 - Fire marshal approval of fire access and fire hydrant/water supply systems is required and will be part of the civil construction plan review and approval process for this project.

- A new fire hydrant on-site may be required depending on the location of the FDC. Fire hydrants shall comply with city Water Design Standard 2-060 Hydrants, including 5" Storz fittings, with blue reflective hydrant markers to be provided in the roadways, located four inches off the centerline on the hydrant side of the road.
- Access planned appears adequate for aerial fire apparatus access with the 22' wide driveway and 5' wide sidewalk design proposed. A minimum 26' wide fire access is required for ladder truck access alongside the building, with the near edge located within 15' to 30' from the building.
- The future turnaround will be required when the parcel to the north is developed. Required fire access along the building for this project is about 160' long and no turnaround will be required as discussed.
- Access for firefighting operations through gates in cross fencing along the east side of the building shall be provided as discussed. Approved access walkways to all exterior doors and openings shall be provided. All parts of the building exterior should be accessible for firefighting by an approved route around the building, and be within 200 feet of fire apparatus access. Built-in fire protection measures and/or fire rated construction features, such as exterior sidewall sprinklers and fire resistant siding, can be considered to mitigate access concerns.
- Proposed new building will require approved fire sprinkler and alarm systems appropriate for the proposed occupancy and construction types. IBC MF apartment buildings require NFPA 13R type fire sprinkler systems- with a riser room separated by fire resistive construction, and a fire department connection (FDC) in an approved location away from the building near a fire hydrant (FDCs to be within 3'-10' from hydrants). IRC SF townhome buildings may utilize NFPA 13D type fire sprinkler systems instead within the separate dwellings – with no building riser room and no FDC required.

The Fire District's comments are to be addressed during civil construction plan or building permit review as applicable.

12. Application Review

MMC 22G.010.140(3) requires the City to determine whether or not the project is consistent with the following items described in the applicable plans and regulations:

- a. Type of land use permitted at the site, including uses that may be allowed under certain circumstances, such as planned residential development and conditional uses, if the criteria for their approval have been satisfied.

Staff Comment: Pursuant to MMC 22C.010.060, townhouses are permitted outright in the R-18 zone. The proposed project meets the allowable density and dimensional standards of the R-18 zone.

- b. Density of residential development in urban growth areas.

Staff Comment: The base density permitted in the R-18 zone is 18 dwelling units per acre. The applicant is proposing six townhouse units on a 0.34 net acre site (0.34 net acres x 18 units per acre = 6.12 units permitted) which complies with the allowable density.

- c. Availability and adequacy of public facilities identified in the Comprehensive Plan.

Staff Comment: The Comprehensive Plan designation for the subject property is Multi-Family, Medium Density. There are adequate water, sewer, and other public facilities to serve the proposed development. The proposed development and subsequent use of the property will be consistent with the pertinent development policies outlined in the Marysville Comprehensive Plan, as conditioned herein.

The following development policies outlined in the Comprehensive Plan that are specifically pertinent to this request and were used to establish appropriate conditions are as follows:

LAND USE ELEMENT

General Development Land Use Policies

Policies: LU-9, LU-11

Residential Land Use Policies

Policies: LU-46, LU-50

ENVIRONMENTAL ELEMENT

Earth Goals and Policies

Policies: EN-19, EN-21

Water: Quality, Wetland and Watershed Protection, Storm Water Runoff, Drainage, Shoreline Goals and Policies

Policies: EN-38

TRANSPORTATION ELEMENT

Mobility Options

Policies: T-25, T-26

Sustainable Transportation Systems and the Environment

Policies: T-34

Level of Service Standards and Concurrency

Policies: T-41

UTILITIES ELEMENT

Policies: UT-3, UT-5, UT-8, UT-10

PUBLIC FACILITIES & SERVICES ELEMENT

Police, Fire, Library

Policies: PS-1, PS-3, PS-9, PS-10, PS-11

Water, Sewer, Storm Drainage, Solid Waste

Policies: PF-1, PF-2, PF-7, PF-9, PF-23

d. Development Standards.

Staff Comment: The project site is currently zoned R-18 Multi-Family, Medium Density. The R-18 zone is a medium density multiple-family residential zone. The major types of new housing development will be attached and detached single-family residential, duplexes, apartments and condominiums. The density is 18 units per acre; the maximum is limited to 27 units per acre.

After review of the application materials, site plan and information on file with the City, it has been determined that the proposed multi-family site plan, as conditioned herein, complies with all of the applicable design and development standards outlined in Title 22 – *Unified Development Code*.

13. In House Days

Pursuant to MMC Section 22G.090.380, a decision on the application shall be made within 120 days from the date of the letter of completeness. A decision on this application was made 48 in-house days from the date of completeness.

14. Conclusion

The proposed development, as conditioned herein, will make appropriate provisions for the public use and interest, health, safety, and general welfare.

2.0 DECISION

Based on the foregoing findings and conclusions, and review of the City's regulatory authority to implement the policies, standards, and regulations of the Comprehensive Plan and MMC, the Community Development Director hereby grants preliminary **Administrative Multi-Family Site Plan Approval** for the Hogland Sixplex subject to the following conditions:

1. The site plan date stamped February 5, 2019 is the approved site layout (Exhibit 30).
2. The applicant shall pay \$10,332.00 in traffic mitigation fees to the City of Marysville in accordance with MMC Chapter 22D.030 in order to mitigate the project's impacts to the City road system. Said fees will be required to be paid prior to building permit issuance.
3. The applicant shall be required to dedicate right-of-way along the project's 113th Place NE frontage in accordance with MMC Section 12.02A.110(1)(c), *Dedication of Road right-of-way – Required setbacks*. The necessary right-of-way dedication is anticipated to be 25 feet along the west portion, and 30 feet along the east portion, of the subject property, and shall be determined by the project's licensed land surveyor. Said right-of-way shall be dedicated to the City prior to final building inspections being granted for the project.
4. The applicant shall be required to construct frontage improvements along 113th Place NE prior to final building inspections being granted. Frontage improvements shall include street lighting.
5. The applicant shall submit payment to Marysville School District No. 25 for school impacts caused by the development in accordance with MMC Chapter 22D.040, *School Impact Fees and Mitigation*. School mitigation fees will be based on the fee schedules in effect at the time an individual building permit application is accepted by the City, and will be required to be paid prior to building permit issuance unless deferred until a time preceding final building inspections being granted.
6. The applicant shall submit payment to the City of Marysville for park impacts caused by the development in accordance with MMC Chapter 22D.020, *Parks, Recreation, Open Space and Trail Impact Fees and Mitigation*. Park mitigation fees will be based on the fee schedules in effect at the time an individual building permit application is accepted by the City, and will be required to be paid prior to building permit issuance unless deferred until a time preceding final building inspections being granted.
7. All mechanical equipment shall be organized, proportioned, detailed, screened, landscaped, and/or colored to be an integral element of the building and minimize visual impacts from the ground level of adjacent streets and properties. For example, screening features should utilize similar building materials and forms to blend with the architectural character of the building.
8. A minimum 22-foot wide reciprocal ingress, egress, utilities easement and maintenance agreement over the drive aisle shall be provided to ensure adequate access and availability of utilities for Assessor's Parcel Number (APN) 30050900403500. Said easement and maintenance agreement shall be recorded, and a conformed copy furnished to the City, prior to final building inspections being granted.
9. All power lines, telephone wires, television cables, fire alarm systems and other communication wires, cables or lines shall be placed underground either by direct

burial or by means of conduit or ducts providing service to the building; provided that: a) the utility pole located in the northwest corner of the project site may remain overhead until such time as development occurs on APN 30050900403500. The developer of APN 30050900403500 shall be required to underground any utilities located on this pole and remove said pole, and shall be granted access to the subject property to ensure the undergrounding of said lines; and b) the utilities along the property's 113th Place NE frontage may remain overhead provided that the power pole located towards the southeast corner of the project site shall be required to maintain a 2 ½ foot setback from the face of the curb to be installed for the subject project. If the pole is at a setback less than 2 ½ feet from the curb face, said pole shall be relocated to a location as approved by the Engineering Services Division prior to final building inspections being granted for the project.

10. Access for firefighting operations through gates in cross fencing along the east side of the building shall be provided, and approved access walkways to all exterior doors and openings shall be provided or as otherwise approved by the Marysville Fire District.
11. Appropriate lighting levels shall be provided in all areas used by pedestrians or automobiles, including building entries, walkways, parking areas, circulation areas, and other open space areas, in order to ensure safety and security; enhance and encourage evening activities; and provide a distinctive character to the area. A lighting site plan which identifies lighting equipment, locations and standards, and implements the design standards set forth in MMC Section 22C.010.290(4)(c) shall be provided and implemented prior to final building inspections being granted.

Prepared by: ADG

Reviewed by: C

This **Administrative Site Plan Approval** is issued under MMC Section 22G.010.150(h). Administrative decisions may be appealed to the Hearing Examiner in accordance with MMC 22G.010 MMC Article VIII Appeals. Appeals must be filed within fourteen (14) calendar days of the date of administrative site plan approval.

Date: 2/13/2019 **Signature:** 
Dave Koenig, Community Development Director

The above recommendation, including conditions of preliminary approval, are subject to change if the proposed phasing parameters, land uses or any other information provided by the applicant or their authorized representative proves inaccurate.