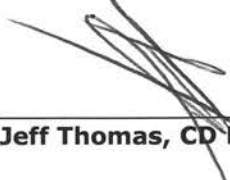





# MITIGATED DETERMINATION OF NON-SIGNIFICANCE AND TRAFFIC CONCURRENCY DETERMINATION

Community Development Department • 80 Columbia Avenue • Marysville, WA 98270  
 (360) 363-8100 • (360) 651-5099 FAX • Office Hours: Mon - Fri 7:30 AM - 4:00 PM

PROJECT INFORMATION			
<b>Project Title</b>	Grandview North	<b>File No.</b>	PA19037
<b>Detailed Project Description</b>	The applicant is requesting administrative multi-family <i>Site Plan Approval</i> in order to construct a 116-unit apartment complex within three separate buildings, including parking, open space, landscaping and critical area buffer enhancement.		
<b>Project Location</b>	West side of 51 <sup>st</sup> Avenue NE between the 14400 - 14600 Block	<b>APN(s)</b>	31053300401100
<b>Legal Description (abbreviated)</b>	A portion of Section 33, Township 31, Range 05E		
	OWNER	APPLICANT	CONTACT
<b>Name</b>	Grandview North, LLC	Same as owner	Same as owner
<b>Address</b>	P.O. Box 159		
<b>City, State, ZIP</b>	Arlington, WA 98223		
THRESHOLD DETERMINATION			
<b>Lead Agency</b>	<input checked="" type="checkbox"/> City of Marysville		
<p>The lead agency has determined that this proposal does not have a probable significant adverse impact on the environment. An environmental impact statement (EIS) is NOT required under RCW 43.21C.030(2)(c). This decision was made after review by the City of Marysville of a completed environmental checklist and other information on file with this agency. This information is available for public review upon request.</p> <p><input type="checkbox"/> There is no comment period for this DNS</p> <p><input type="checkbox"/> This DNS is issued after using the optional DNS process in WAC 197-11-355. There is no further comment period on this DNS.</p> <p><input type="checkbox"/> This DNS is issued under WAC 197-11-340(2); the lead agency will not act on this proposal for 14-days from the date below. Comments must be submitted by:</p> <p><input checked="" type="checkbox"/> This MITIGATED DNS is issued under WAC 197-11-350; the lead agency will not act on this proposal for 14-days from the date below. Comments must be submitted by: <b>March 19, 2020</b></p>			
SEPA CONTACT			
<b>Name</b>	Chris Holland	<b>Title</b>	Planning Manager
<b>Phone</b>	360.363.8207	<b>E-mail</b>	cholland@marysvillewa.gov
RESPONSIBLE OFFICIAL			
<b>Name</b>	Jeff Thomas	<b>Title</b>	CD Director
<b>Address</b>	80 Columbia Avenue, WA 98270		

  
 Jeff Thomas, CD Director

  
 Date

**ENVIRONMENTAL IMPACTS**

The proposed construction and subsequent use of the property could result in the following adverse environmental impacts:

1.	Increase in the amount and rate of stormwater runoff and attendant pollutants from the introduction of paved and building roof surfaces.
2.	Increase in erosion, surface water pollutants, siltation and sedimentation as a result of site preparation and construction.
3.	Increase in demand for police, fire protection, parks and other public services generated as a result of the development.
4.	Increase in noise, dust, light and glare from construction activity and subsequent use of the site.
5.	Increase in vehicular traffic on 51 <sup>st</sup> Avenue NE, 136 <sup>th</sup> Street NE, 152 <sup>nd</sup> Street NE, as well as other City streets and arterials in the vicinity.
6.	Change in character of the site from a large vacant pasture into an urban medium-density multi-family development.

**MITIGATION MEASURES**

The following mitigation measures are required to minimize the probable significant adverse environmental impacts as a result of the proposed development activity:

1.	Prior to civil construction plan and building permit approval, the applicant shall be required to submit a FINAL Geotechnical Assessment, prepared by a Professional Engineer registered in the State of Washington. Additionally, the applicant/contractor shall be required to adhere to the recommendations of the FINAL Geotechnical Assessment.
2.	Prior to civil construction plan approval, the applicant shall be required to submit a wetland buffer enhancement plan pursuant to MMC 22E.010.100(3). The planting plan shall also include NGPA fencing and signage details in accordance with MMC 22E.010.370. Monitoring and maintenance shall be required in accordance with MMC 22E.010.160.
3.	In order to mitigate impacts upon the future capacity of the road system, the applicant shall be required to submit payment to the City of Marysville, on a proportionate share cost of the future capacity improvements as set forth in MMC 22D.030.070(3), for the development. Traffic impact fees shall be vested at a rate of \$6,300 per PMPHT.
4.	Pursuant to MMC 12.02A.090, the applicant shall be required to construct frontage improvements along 51 <sup>st</sup> Avenue NE per Engineering Design and Development Standards (EDDS) SP3-201-002, prior to issuing occupancy permits. Roadway improvements, channelization, street lighting and site access plans shall be required to be reviewed and approved by the City Engineer, prior to construction plan approval.
5.	Pursuant to MMC 12.02A.110(1), public right-of-way (ROW) may be required to be dedicated along 51 <sup>st</sup> Avenue NE, in order to accommodate construction of the required frontage improvements along 51 <sup>st</sup> Avenue NE per EDDS SP3-201-002. ROW dedication shall be determined by the City Engineer, prior to civil construction plan approval.
6.	The applicant shall be required to remove the existing crosswalk on the north leg of the 146 <sup>th</sup> Street NE & 51 <sup>st</sup> Avenue NE intersection, including removal of signs and markings.
7.	The applicant shall be required to construct two (2) ADA curb ramps on the southwest corner of 146 <sup>th</sup> Street NE & 51 <sup>st</sup> Avenue NE, install marked thermoplastic crosswalk with signage across the south leg of the intersection and relocate the existing Community Transit bus stop to the widened culvert over the Emmanuel Baptist Church entrance, located at 14511 51 <sup>st</sup> Avenue NE. The improvements shall be required to be reviewed and approved by the City Engineer, prior to civil construction plan approval.
8.	The applicant shall be required to install a Rectangular Rapid Flashing Beacon (RRFB) system along the south leg of the 146 <sup>th</sup> Street NE & 51 <sup>st</sup> Avenue NE intersection. The improvements shall be required to be reviewed and approved by the City Engineer, prior to civil construction plan approval.

Installation of the RRFB shall be credited towards the required traffic impact fees in accordance with MMC 22D.010.070. The amount of credit for installation of the RRFB shall be approved by the City Engineer.

**APPEALS**

This DNS may be appealed pursuant to the requirements of MMC 22E.030.180. There is a 15 day appeal period on the DNS that commences from the date the DNS was issued. Any appeal must be addressed to the responsible official, accompanied by a filing fee of \$500.00, and be filed in writing at the City of Marysville Community Development Department, 80 Columbia Avenue, Marysville, WA 98270. The appeal must be received by 4 p.m., **March 19, 2020**. The appeal must contain the items set forth in MMC 22G.010.530.

There is no agency appeal.

**DISTRIBUTION**

Marysville	Local Agencies & Districts	State & Federal	County	Other
<input checked="" type="checkbox"/> Building <input checked="" type="checkbox"/> Fire District <input checked="" type="checkbox"/> LD (S. Whitney) <input checked="" type="checkbox"/> LD (Deryl Taylor) <input type="checkbox"/> Parks <input checked="" type="checkbox"/> Police <input checked="" type="checkbox"/> PW – Engineering <input checked="" type="checkbox"/> PW – Operations <input checked="" type="checkbox"/> PW – Sanitation <input type="checkbox"/> PW – Streets <input checked="" type="checkbox"/> PW – Traffic Eng. <input checked="" type="checkbox"/> PW – Water Res.	<input checked="" type="checkbox"/> Arlington (city) <input checked="" type="checkbox"/> Arlington Airport <input checked="" type="checkbox"/> Community Transit <input type="checkbox"/> Everett (city) <input type="checkbox"/> Lake Stevens (city) <input type="checkbox"/> Lake Stevens SD 4 <input type="checkbox"/> Lakewood SD 306 <input checked="" type="checkbox"/> Marysville SD 25 <input checked="" type="checkbox"/> PUD No. 1 (electric) <input type="checkbox"/> PUD No. 1 (water)	<input checked="" type="checkbox"/> US Army Corps of Engineers <input type="checkbox"/> BNSF <input checked="" type="checkbox"/> DAHP <input type="checkbox"/> DOE (Bellevue - NWRO) <input checked="" type="checkbox"/> DOE (SEPA Register) <input type="checkbox"/> DOE (Shorelands) <input type="checkbox"/> WDFW <input type="checkbox"/> WSDOT <input type="checkbox"/> WUTC	<input type="checkbox"/> Health District <input type="checkbox"/> Planning <input checked="" type="checkbox"/> Public Works - Land Development <input type="checkbox"/> Public Works <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> BNSF <input type="checkbox"/> Olympic Pipeline <input type="checkbox"/> Puget Sound Clean Air <input type="checkbox"/> Puget Sound Energy <input checked="" type="checkbox"/> Stillaguamish Tribe <input checked="" type="checkbox"/> Tulalip Tribes <input checked="" type="checkbox"/> Parties of record



## ENVIRONMENTAL REVIEW (SEPA) APPLICATION CHECKLIST

Community Development Department ♦ 80 Columbia Avenue ♦ Marysville, WA 98270  
(360) 363-8100 ♦ (360) 651-5099 FAX ♦ Office Hours: Monday - Friday 7:30 AM - 4:00 PM

### Washington State Environmental Policy Act, RCW 43.21C

### Washington State Administrative Code, WAC 197-11-960 Environmental Checklist

#### ***Purpose of checklist:***

Governmental agencies use this checklist to help determine whether the environmental impacts of your proposal are significant. This information is also helpful to determine if available avoidance, minimization or compensatory mitigation measures will address the probable significant impacts or if an environmental impact statement will be prepared to further analyze the proposal.

#### ***Instructions for applicants:*** [\[help\]](#)

This environmental checklist asks you to describe some basic information about your proposal. Please answer each question accurately and carefully, to the best of your knowledge. You may need to consult with an agency specialist or private consultant for some questions. You may use "not applicable" or "does not apply" only when you can explain why it does not apply and not when the answer is unknown. You may also attach or incorporate by reference additional studies reports. Complete and accurate answers to these questions often avoid delays with the SEPA process as well as later in the decision-making process.

The checklist questions apply to all parts of your proposal, even if you plan to do them over a period of time or on different parcels of land. Attach any additional information that will help describe your proposal or its environmental effects. The agency to which you submit this checklist may ask you to explain your answers or provide additional information reasonably related to determining if there may be significant adverse impact.

#### ***Instructions for Lead Agencies:***

Please adjust the format of this template as needed. Additional information may be necessary to evaluate the existing environment, all interrelated aspects of the proposal and an analysis of adverse impacts. The checklist is considered the first but not necessarily the only source of information needed to make an adequate threshold determination. Once a threshold determination is made, the lead agency is responsible for the completeness and accuracy of the checklist and other supporting documents.

#### ***Use of checklist for nonproject proposals:*** [\[help\]](#)

For nonproject proposals (such as ordinances, regulations, plans and programs), complete the applicable parts of sections A and B plus the SUPPLEMENTAL SHEET FOR NONPROJECT ACTIONS (part D). Please completely answer all questions that apply and note that the words "project," "applicant," and "property or site" should be read as "proposal," "proponent," and "affected geographic area," respectively. The lead agency may exclude (for non-projects) questions in Part B - Environmental Elements -that do not contribute meaningfully to the analysis of the proposal.

**NOTE: The checklist questions apply to all parts of your proposal, even if you plan to do them over a period of time or on different parcels of land. Attach any additional information that will help describe your proposal or its environmental effects. You may**



**be asked to explain your answers or provide additional information reasonably related to determining if there may be significant adverse impact.**

**Required Attachments**

Submit the original checklist form and six (6) copies (for a total of seven (7)) along with seven (7) copies of each of the following:

1. Vicinity map clearly showing the location of the project with respect to public streets and other parcels and development
2. Site plan (at original drawing size)
3. Site plan (reduced to not larger than 11 x 17-inch size)
4. Conceptual building elevations
5. Conceptual vehicle maneuvering diagram (when applicable)

Submit four (4) copies of the following when appropriate:

1. Wetland Delineation
2. Geotechnical Reports
3. Fisheries Study

The site plan must show north arrow and engineering scale; any significant or natural features such as creeks, wetlands, steep slopes; dimensions and shape of the lot; location and size of existing and proposed buildings and development, including parking and landscape areas, adjacent streets and point of ingress and egress, and adjacent uses.

**Correspondence**

Note that all correspondence regarding the environmental review of your project will be sent to the person listed as **Applicant**.

**Application Format**

The application will only be accepted if the original form is used (with typewritten answers in the spaces provided) or the application is reproduced in identical form.

**Fees**

There is a nonrefundable application fee for all environmental checklists. Submit the fee with the application(s) and make checks payable to the City of Marysville.

Residential (1-9 lots or dwelling units) .....	\$350.00
Residential (10-20 lots or dwelling units) .....	\$500.00
Residential (21-100 lots or dwelling units) .....	\$1,000.00
Residential (greater than 100 lots or dwelling units).....	\$1,500.00
Commercial/Industrial (0 to 2 acres) .....	\$350.00
Commercial/Industrial (2.1 to 20 acres) .....	\$750.00
Commercial/Industrial (greater than 20 acres) .....	\$1,500.00

**Pre-application Conference**

Most projects that are not categorically exempt from SEPA will require a pre-application conference; in some cases, at the discretion of the Community Development Director, the pre-application conference may be waived.

The pre-application conference must be conducted prior to the submittal of the environmental

checklist.

### **SEPA Exempt Determinations**

Projects that meet the thresholds for categorical exemptions of Chapter 22E.030 MMC are exempt from filing an environmental checklist. All other project and non-project actions require a completed environmental checklist and a project permit application to be submitted. If an applicant feels that their proposal should be considered to be SEPA-exempt, the applicant can submit a letter requesting a SEPA exempt determination with the environmental checklist and fee. The Community Development Director will review the request and if the application is determined to be SEPA exempt, a letter will be issued confirming the SEPA exempt status.

### **Project Phasing**

The Checklist questions apply to all parts of your proposal, even if you plan to phase the project over a period of time or on different parcels of land. You must include any additional information that helps describe your proposal or its environmental effects. You may be asked to explain your answers or provide additional information reasonably related to determining if there may be significant adverse impact(s).

### **SEPA Appeals**

Any agency or person may appeal a Determination of Non Significance (DNS) or Determination of Significance (DS) by completing and submitting an appeal form to the Hearing Examiner within fourteen (14) calendar days of the date the determination is final. Such appeals must be filed with the City Clerk. Appeals of environmental determinations under SEPA, including administrative appeals of a threshold determination, shall be heard by the Hearing Examiner and shall proceed pursuant to Chapter 22G.010 Article VIII *Appeals*. There is a nonrefundable \$500 Administrative Appeal fee to be submitted with appeal.

**A. BACKGROUND** [\[help\]](#)

1. Name of proposed project, if applicable: [\[help\]](#)

Grandview 116 Unit Apartments

2. Name of applicant: [\[help\]](#)

GRANDVIEW NORTH LLC

3. Address and phone number of applicant and contact person: [\[help\]](#)

Scott Wammack - (360) 435-7171  
PO Box 159, Arlington WA 98223

4. Date checklist prepared: [\[help\]](#)

7/19/2019

5. Agency requesting checklist: [\[help\]](#)

City of Marysville

6. Proposed timing or schedule (including phasing, if applicable): [\[help\]](#)

July 2020 to June 2021

7. Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? If yes, explain. [\[help\]](#)

No

8. List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal. [\[help\]](#)

Critical area located in the southern portion of the property. CAS and buffer mitigation plan has been prepared.

9. Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain. [\[help\]](#)

None known

10. List any government approvals or permits that will be needed for your proposal, if known. [\[help\]](#)

None known

11. Give brief, complete description of your proposal, including the proposed uses and the size of the project and site. There are several questions later in this checklist that ask you to describe certain aspects of your proposal. You do not need to repeat those answers on this page. (Lead agencies may modify this form to include additional specific information on project description.) [\[help\]](#)

The proposal is to construct 3 apartment complexes with a total of 116 dwelling units. Total building footprint is 42,752 sf. Parking and open space will be on site also.

12. Location of the proposal. Give sufficient information for a person to understand the precise location of your proposed project, including a street address, if any, and section, township, and range, if known. If a proposal would occur over a range of area, provide the range or boundaries of the site(s). Provide a legal description, site plan, vicinity map, and topographic map, if reasonably available. While you should submit any plans required by the agency, you are not required to duplicate maps or detailed plans submitted with any permit applications related to this checklist. [\[help\]](#)

The project is located in the NE 1/4 of the SE 1/4 of Section 33, T. 31 N., R. 05 E., W.M. northwest of the intersection of 51st AVE NE and 144th ST NE.

## B. ENVIRONMENTAL ELEMENTS [\[HELP\]](#)

### 1. Earth

- a. General description of the site [\[help\]](#)  
(**bold/italicize**): Flat rolling, hilly, steep slopes, mountainous, other \_\_\_\_\_
- b. What is the steepest slope on the site (approximate percent slope)? [\[help\]](#)  
10% Appx.
- c. What general types of soils are found on the site (for example, clay, sand, gravel, peat, muck)? If you know the classification of agricultural soils, specify them and note any agricultural land of long-term commercial significance and whether the proposal results in removing any of these soils. [\[help\]](#)  
Custer fine sandy loam
- d. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe. [\[help\]](#)  
None known
- e. Describe the purpose, type, total area, and approximate quantities and total affected area of any filling, excavation, and grading proposed. Indicate source of fill. [\[help\]](#)  
The total affected area will be 166,975 sf. The site will have to be filled approximately 4 ft due to the water table elevation. Total fill expected to be 18,500 cy appx.
- f. Could erosion occur as a result of clearing, construction, or use? If so, generally describe. [\[help\]](#)  
Yes but erosion control will be implemented to reduce this risk.
- g. About what percent of the site will be covered with impervious surfaces after project construction (for example, asphalt or buildings)? [\[help\]](#)  
111,863 sf (53.5%)
- h. Proposed measures to reduce or control erosion, or other impacts to the earth, if any: [\[help\]](#)  
Install an approved erosion control plan



## 2. Air

- a. What types of emissions to the air would result from the proposal during construction, operation, and maintenance when the project is completed? If any, generally describe and give approximate quantities if known. [\[help\]](#)
- Some emissions from equipment during construction. Few emissions from operation and maintenance. Quantities unknown.
- b. Are there any off-site sources of emissions or odor that may affect your proposal? If so, generally describe. [\[help\]](#)
- None known
- c. Proposed measures to reduce or control emissions or other impacts to air, if any: [\[help\]](#)
- To use new and well maintained equipment

## 3. Water

- a. Surface Water: [\[help\]](#)
- 1) Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type and provide names. If appropriate, state what stream or river it flows into. [\[help\]](#)
- Yes a wetland is located in the Southern portion of the property and a fish stream along the east side of 51st Avenue.
- 2) Will the project require any work over, in, or adjacent to (within 200 feet) the described waters? If yes, please describe and attach available plans. [\[help\]](#)
- The sewer line will run through the buffer zone of the wetland. The parking area will come within 200 ft of the wetland and fish stream.
- 3) Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the area of the site that would be affected. Indicate the source of fill material. [\[help\]](#)
- None
- 4) Will the proposal require surface water withdrawals or diversions? Give general description, purpose, and approximate quantities if known. [\[help\]](#)
- No
- 5) Does the proposal lie within a 100-year floodplain? If so, note location on the site plan. [\[help\]](#)
- No
- 6) Does the proposal involve any discharges of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge. [\[help\]](#)
- No
- b. Ground Water:

- 1) Will groundwater be withdrawn from a well for drinking water or other purposes? If so, give a general description of the well, proposed uses and approximate quantities withdrawn from the well. Will water be discharged to groundwater? Give general description, purpose, and approximate quantities if known. [\[help\]](#)

No

- 2) Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (for example: Domestic sewage; industrial, containing the following chemicals. . . ; agricultural; etc.). Describe the general size of the system, the number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the system(s) are expected to serve. [\[help\]](#)

No waste material

c. Water runoff (including stormwater):

- 1) Describe the source of runoff (including storm water) and method of collection and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe. [\[help\]](#)

Stormwater will be collected in catch basins and detained in StormTanks and released at a controlled rate to the drainage system located along 51st Ave NE.

- 2) Could waste materials enter ground or surface waters? If so, generally describe. [\[help\]](#)

None expected

- 3) Does the proposal alter or otherwise affect drainage patterns in the vicinity of the site? If so, describe.

No

d. Proposed measures to reduce or control surface, ground, and runoff water, and drainage pattern impacts, if any:

The proposal will have a system that is designed to the latest D.O.E manual

#### 4. **Plants** [\[help\]](#)

- a. ***Bold/Italicize*** the types of vegetation found on the site: [\[help\]](#)

deciduous tree: alder, maple, aspen, other

evergreen tree: fir, cedar, pine, other

shrubs

**grass**

pasture

crop or grain

Orchards, vineyards or other permanent crops.

wet soil plants: cattail, buttercup, bullrush, skunk cabbage, other

water plants: water lily, eelgrass, milfoil, other

other types of vegetation blackberry, reed canary grass, deciduous trees

- b. What kind and amount of vegetation will be removed or altered? [\[help\]](#)  
blackberries, canary grass will be removed within the 19,433 sf buffer enhancement.

- c. List threatened and endangered species known to be on or near the site. [\[help\]](#)

None known

- d. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any: [\[help\]](#)

Native plants will be planted within the buffer enhancement and landscaping areas

- e. List all noxious weeds and invasive species known to be on or near the site.

Blackberry and reed canary grass

## 5. Animals

- a. ***Bold/Italicize*** any birds and other animals which have been observed on or near the site or are known to be on or near the site. Examples include: [\[help\]](#)

birds: hawk, heron, eagle, songbirds, other: sparrow, chickadee, robin, crow  
mammals: deer, bear, elk, beaver, other: rabbit, shrews, raccoons, coyote  
fish: bass, salmon, trout, herring, shellfish, other \_\_\_\_\_

- b. List any threatened and endangered species known to be on or near the site. [\[help\]](#)

None known

- c. Is the site part of a migration route? If so, explain. [\[help\]](#)

Not known to be

- d. Proposed measures to preserve or enhance wildlife, if any: [\[help\]](#)

Buffer enhancement will provide a more suitable habitat for wildlife

- e. List any invasive animal species known to be on or near the site.

None known

## 6. Energy and natural resources

- a. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy needs? Describe whether it will be used for heating, manufacturing, etc. [\[help\]](#)

Natural gas and electricity will be used to meet the building energy needs.

- b. Would your project affect the potential use of solar energy by adjacent properties? If so, generally describe. [\[help\]](#)

no

- c. What kinds of energy conservation features are included in the plans of this proposal? List other proposed measures to reduce or control energy impacts, if any: [\[help\]](#)

Comply with current energy codes

## 7. Environmental health

- a. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste, that could occur as a result of this proposal? If so, describe. [\[help\]](#)

None known

- 1) Describe any known or possible contamination at the site from present or past uses.

None known

- 2) Describe existing hazardous chemicals/conditions that might affect project development and design. This includes underground hazardous liquid and gas transmission pipelines located within the project area and in the vicinity.

None known

- 3) Describe any toxic or hazardous chemicals that might be stored, used, or produced during the project's development or construction, or at any time during the operating life of the project.

None known

- 4) Describe special emergency services that might be required.

None anticipated

- 5) Proposed measures to reduce or control environmental health hazards, if any:

Comply with current codes

- b. Noise

- 1) What types of noise exist in the area which may affect your project (for example: traffic, equipment, operation, other)? [\[help\]](#)

Located along 51st Ave NE, traffic related noise may occur.

- 2) What types and levels of noise would be created by or associated with the project on a short-term or a long-term basis (for example: traffic, construction, operation, other)? Indicate what hours noise would come from the site. [\[help\]](#)

Normal construction noise during building phase. Traffic noise after construction phase

- 3) Proposed measures to reduce or control noise impacts, if any: [\[help\]](#)

None proposed

## 8. Land and shoreline use

- a. What is the current use of the site and adjacent properties? Will the proposal affect current land uses on nearby or adjacent properties? If so, describe. [\[help\]](#)

Current use is undeveloped vacant lot. Adjacent properties are SFR.

- b. Has the project site been used as working farmlands or working forest lands? If so, describe. How much agricultural or forest land of long-term commercial significance will be converted to other uses as a result of the proposal, if any? If resource lands have not been designated, how many acres in farmland or forest land tax status will be converted to nonfarm or nonforest use? [\[help\]](#)

No

- 1) Will the proposal affect or be affected by surrounding working farm or forest land normal business operations, such as oversize equipment access, the application of pesticides, tilling, and harvesting? If so, how:

Properties in vicinity have an open space agriculture use so the proposal may be affected by the above

- c. Describe any structures on the site. [\[help\]](#)

No structures on site at present

- d. Will any structures be demolished? If so, what? [\[help\]](#)

N/A

- e. What is the current zoning classification of the site? [\[help\]](#)

R-18 Multi-Family Medium

- f. What is the current comprehensive plan designation of the site? [\[help\]](#)

R-18 Multi-Family Medium

- g. If applicable, what is the current shoreline master program designation of the site? [\[help\]](#)

N/A

- h. Has any part of the site been classified as a critical area by the city or county? If so, specify. [\[help\]](#)

A critical area is located in the southern portion of the property. CAS and buffer mitigation plan has been prepared.

- i. Approximately how many people would reside or work in the completed project? [\[help\]](#)

Approximately 200 - 250 people will reside in the completed complex.

- j. Approximately how many people would the completed project displace? [\[help\]](#)

none

- k. Proposed measures to avoid or reduce displacement impacts, if any: [\[help\]](#)

N/A

- l. Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans, if any: [\[help\]](#)

Comply with the City's zoning codes

- m. Proposed measures to ensure the proposal is compatible with nearby agricultural and forest lands of long-term commercial significance, if any:

None proposed

## 9. Housing

- a. Approximately how many units would be provided, if any? Indicate whether high, middle, or low-income housing. [\[help\]](#)

116 middle income units

- b. Approximately how many units, if any, would be eliminated? Indicate whether high, middle, or low-income housing. [\[help\]](#)

None

- c. Proposed measures to reduce or control housing impacts, if any: [\[help\]](#)

None proposed

## 10. Aesthetics

- a. What is the tallest height of any proposed structure(s), not including antennas; what is the principal exterior building material(s) proposed? [\[help\]](#)

The tallest height will be 45 ft with hardie board being the exterior building material.

- b. What views in the immediate vicinity would be altered or obstructed? [\[help\]](#)

Views from houses located to the west would be slightly obstructed but no more than zoning allows

- c. Proposed measures to reduce or control aesthetic impacts, if any: [\[help\]](#)

None proposed

## 11. Light and glare

- a. What type of light or glare will the proposal produce? What time of day would it mainly occur? [\[help\]](#)

The building will produce normal light and glare, and occur during daylight hours

- b. Could light or glare from the finished project be a safety hazard or interfere with views? [\[help\]](#)

Not anticipated to

- c. What existing off-site sources of light or glare may affect your proposal? [\[help\]](#)

None known

- d. Proposed measures to reduce or control light and glare impacts, if any:

None proposed



## 12. Recreation

- a. What designated and informal recreational opportunities are in the immediate vicinity? [\[help\]](#)  
Park, Soccer complex
- b. Would the proposed project displace any existing recreational uses? If so, describe. [\[help\]](#)  
No
- c. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any: [\[help\]](#)  
Pay park mitigation fees

## 13. Historic and cultural preservation

- a. Are there any buildings, structures, or sites, located on or near the site that are over 45 years old listed in or eligible for listing in national, state, or local preservation registers located on or near the site? If so, specifically describe. [\[help\]](#)  
No
- b. Are there any landmarks, features, or other evidence of Indian or historic use or occupation? This may include human burials or old cemeteries. Are there any material evidence, artifacts, or areas of cultural importance on or near the site? Please list any professional studies conducted at the site to identify such resources. [\[help\]](#)  
No
- c. Describe the methods used to assess the potential impacts to cultural and historic resources on or near the project site. Examples include consultation with tribes and the department of archeology and historic preservation, archaeological surveys, historic maps, GIS data, etc. [\[help\]](#)  
Check with City of Marysville
- d. Proposed measures to avoid, minimize, or compensate for loss, changes to, and disturbance to resources. Please include plans for the above and any permits that may be required.  
Comply with RCW 27.53, 27.44 and 68.60

## 14. Transportation

- a. Identify public streets and highways serving the site or affected geographic area and describe proposed access to the existing street system. Show on site plans, if any. [\[help\]](#)  
Site access will be gained via two entrances onto 51st Ave NE
- b. Is the site or affected geographic area currently served by public transit? If so, generally describe. If not, what is the approximate distance to the nearest transit stop? [\[help\]](#)  
Yes bus stop located at 51st Ave NE & 146th St NE

- c. How many additional parking spaces would the completed project or non-project proposal have? How many would the project or proposal eliminate? [\[help\]](#)  
194 spaces provided  
No spaces eliminated
- d. Will the proposal require any new or improvements to existing roads, streets, pedestrian, bicycle or state transportation facilities, not including driveways? If so, generally describe (indicate whether public or private). [\[help\]](#)  
Yes, 51st St NE would be widened to 28.5' to include a median, travel lane, bike lane curb and sidewalk.
- e. Will the project or proposal use (or occur in the immediate vicinity of) water, rail, or air transportation? If so, generally describe. [\[help\]](#)  
No
- f. How many vehicular trips per day would be generated by the completed project or proposal? If known, indicate when peak volumes would occur and what percentage of the volume would be trucks (such as commercial and nonpassenger vehicles). What data or transportation models were used to make these estimates? [\[help\]](#)  
688 average daily trips. 45 AM peak-hour trips and 55 PM peak-hour trips
- g. Will the proposal interfere with, affect or be affected by the movement of agricultural and forest products on roads or streets in the area? If so, generally describe.  
Not anticipated to
- h. Proposed measures to reduce or control transportation impacts, if any: [\[help\]](#)  
Pay mitigation fees

**15. Public services**

- a. Would the project result in an increased need for public services (for example: fire protection, police protection, public transit, health care, schools, other)? If so, generally describe. [\[help\]](#)  
There would be an increased need for all public services to accommodate the 116 dwelling units
- b. Proposed measures to reduce or control direct impacts on public services, if any. [\[help\]](#)  
Pay mitigation fees

**16. Utilities**

- a. ***Bold/Italicize*** utilities currently available at the site: [\[help\]](#)  
Electricity  
natural gas  
water  
refuse service

telephone  
sanitary sewer  
septic system  
other \_\_\_\_\_

- b. Describe the utilities that are proposed for the project, the utility providing the service, and the general construction activities on the site or in the immediate vicinity which might be needed. [help]

Electricity, natural gas, water, refuse service, telephone and sanitary sewer.

**C. SIGNATURE [HELP]**

The above answers are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision.

Signature: *R L Devoir*

Print name of signee: RANDALL L. DEVOIR

Position and Agency/Organization: PROJECT MANAGER

Date Submitted: 7-26-19