



COMMUNITY DEVELOPMENT DEPARTMENT  
501 Delta Avenue ♦ Marysville, WA 98270  
(360) 363-8000

August 22, 2023

Mr. Ryan Larsen  
Land Pro Group, Inc.  
10515 20<sup>th</sup> St SE, STE 116  
Woodinville, WA 98258

Re: Cornelius Lacey PRD – *Pre-Application*  
PREA23-036

Dear Ryan,

This letter is intended to summarize the Planning Divisions comments regarding the above referenced proposal. These comments are preliminary in nature and are based on the applicable development standards outlined in the Marysville Municipal Code (MMC). Preliminary comments do not vest an applicant to the existing MMC. Development conditions are based on the most current MMC provisions in effect at the time a *Determination of Completeness* has been issued on a formal land use application.

**APPLICANT QUESTIONS:**

1. **Road Section – What is the anticipated road section along both frontages? We assume no new frontage improvements along E. Sunnyside School Road.**

Staff Comment: See comments from Jesse Hannahs and Kacey Simon.

2. **How does the City want us to address the half road section along our southerly boundary?**

Staff Comment: See comments from Jesse Hannahs and Kacey Simon.

**PRE-APPLICATION COMMENTS:**

1. The site is currently zoned Whiskey Ridge, multifamily medium density (WR-R-6-18). Single-family development is a permitted use in the WR R-6-18 zone. The base density for the WR R-6-18 zone is 6 du/acre.
  - . Based on the information provided, it appears that the straight 20% deduction to determine net project area is being utilized and the maximum allowable base density for detached single family units is 49 lots per [MMC 22C.010.110 Calculations – allowable dwelling units](#). For PRD developments, the maximum density may be increased by up to 20% through the application of residential density incentives [MMC Chapter 22C.090 Residential Density Incentives](#) (RDI).
  - . Applicant shall identify proposed RDI techniques in order to achieve the proposed additional 20 lots and demonstrate compliance with maximum allowable density.
2. Permit processing fees for the proposal are:

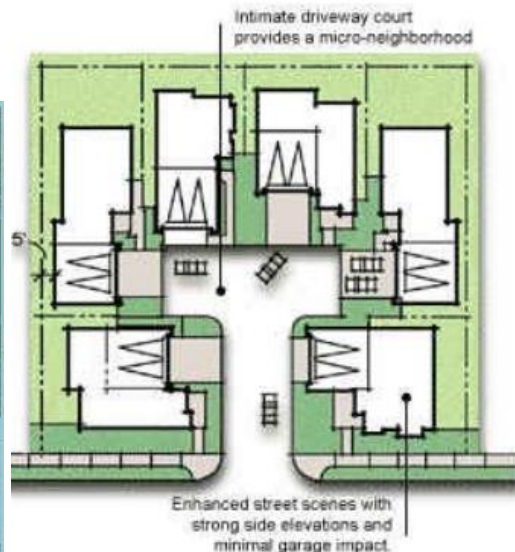
- . Preliminary Binding Site Plan: \$5,000.00 plus \$45.00 per lot
  - . Final Binding Site Plan: \$1,000.00 plus \$100.00 per lot
  - . Planned Residential Development: \$2,500.00
  - . SEPA: \$1,000.00 (21 - 100 lots)
  - . Critical Areas Analysis: \$2,500.00 (10.01 – 20 acreage site)
  - . Civil construction plan review See Kacey Simon’s memo
3. The following supporting documentation is required with the formal application submittal:
- . Geotechnical soils report
  - . Preliminary engineered drainage plans and drainage report
  - . Traffic Impact Analysis
  - . Critical Areas Report
4. City staff as well as other agencies have concerns that the ‘man-made pond’ may actually be connected to King Creek or another critical area system, or may have cut-off historic fish access when it was created. A Critical Areas Report will be required to be completed, including any possible connection thoroughly examined, by a Qualified Scientific Professional and submitted to the City for review.
5. The following bulk and dimensional standards apply for a PRD in the WR R-6-18 zone:
- . Street 10’ Porches may extend as close as 7’ from the street, sidewalk, right-of-way, or public/community improvement.
  - . Side Yard 5’
  - . Side Yard (adjacent to street) 10’
  - . Side Yard (adjacent to arterial) 15’
  - . Rear Yard 10’
  - . Critical Areas and buffer 15’
  - . Height 30’
  - . Building Coverage No maximum building coverage
  - . Impervious Surface 70%
  - . Lot Area 3,500 SF
  - . Lot Width 30’
  - . Driveway Length 20’
  - . Parking 3 stalls per single-family dwelling: 2 per dwelling for residents, plus 1 additional guest parking. An enclosed private garage may be utilized to meet the required parking for residents. Driveways can be counted as resident or guest parking spaces, provided said driveway complies with the bulk and dimensional standards.
6. Lots that are 5,000 SF or less shall be required to comply with [MMC 22C.010.310 Small lot single-family dwelling development standards](#).
7. The applicant is required to demonstrate compliance with the PRD Decision Criteria, outlined in [MMC 22G.080.050\(2\)](#):
- . Consistency with Applicable Plans and Laws. The development will comply with all applicable provisions of state law, the Marysville Municipal Code, comprehensive plan, and any applicable subarea plan(s).

- . Quality Design. The development shall include high quality architectural design and well-conceived placement of development elements including the relationship or orientation of structures
  - . Design Criteria. Design of the proposed development shall achieve two or more of the following results above the minimum requirements of this title and Chapters 22G.090 and 22G.100 MMC; provided, that such design elements may also be used to qualify for residential density incentives as provided in Chapter 22C.090 MMC:
    - i. Improving circulation patterns or the screening of parking facilities;
    - ii. Minimizing the use of impervious surfacing materials;
    - iii. Increasing open space or recreational facilities on site;
    - iv. Landscaping, buffering, or screening in or around the proposed PRD;
    - v. Providing public facilities;
    - vi. Preserving, enhancing, or rehabilitating natural features of the subject property such as significant woodlands, wildlife habitats or streams;
    - vii. Incorporating energy-efficient site design or building features;
    - viii. Incorporating a historic structure(s) or a historic landmark in such a manner as preserves it's historic integrity and encourages adaptive reuse.
  - . Public Facilities. The PRD shall be served by adequate public facilities including streets, bicycle and pedestrian facilities, fire protection, water, storm water control, sanitary sewer, and parks and recreation facilities.
  - . When PRDs are located within or adjacent to single-family residential zones and are, or may be, surrounded by traditional development with detached dwelling units, PRDs shall be designed and developed to be consistent with a single-family residential environment. If attached dwellings and multiple-family dwellings are part of the PRD they will be dispersed throughout the project to create an integrated mix of housing types
  - . Perimeter Design. The perimeter of the PRD shall be compatible in design, character, and appearance with the existing or intended character of development adjacent to the subject property and with the physical characteristics of the subject property
  - . Open Space and Recreation. Open space and recreation facilities shall be provided and effectively integrated into the overall development of a PRD and surrounding uses.
  - . Streets, Sidewalks and Parking. Existing and proposed streets and sidewalks within a PRD shall be suitable and adequate to carry anticipated motorized and pedestrian traffic within the proposed project and in the vicinity of the subject property. A safe walking path to schools shall be provided if the development is within one-quarter mile of a school (measured via existing or proposed streets or pedestrian corridors) or if circumstances otherwise warrant. Adequate parking shall be provided to meet or exceed the requirements of the MMC.
  - . Landscaping. Landscaping shall be provided in public and semi-public spaces and shall integrate them with private spaces. Landscaping shall create a pleasant streetscape and provide connectivity between homes and common areas, using trees, shrubs, and groundcover throughout the development and providing for shade and visual relief while maintaining a clear line of sight throughout the public and semi-public spaces.
  - . Maintenance Provisions. A means of maintaining all common areas, such as a homeowners' association, shall be established, and legal instruments shall be executed to provide maintenance funds and enforcement provisions.
8. The PRD Site Plan shall include all of the elements outlined in MMC [22G.080.060 Required elements of PRD site plans](#) and [MMC 22G.100.090\(3\)](#).
9. Pursuant to [MMC 22G.080.070](#), the following development standards apply:

- Accessory dwelling units are not permitted for single-family detached dwellings unless approved as part of the PRD site plan.
- Each single-family detached unit shall have at least 200 square feet of private open space set aside as private space for that dwelling unit. No dimension of such open space shall be less than 10 feet. The open space does not need to be fenced or otherwise segregated from other dwellings or open space in the development unless so conditioned through the approval process.
- Common open space is required pursuant to MMC [22G.080.100](#). The common open space must be arranged to maximize usability, must be observable by the neighborhood residents, be centrally located within the project, and abut a neighborhood street.

**Staff comment:** Tract 999 is proposed to be located on the north end of the project property. This location does not meet the requirement for open space to be centrally located. It appears that the majority of the tract is accessible only via E Sunnyside School Road. The open space tract will need to be relocated in a manner that is accessible to all residents.

- At least 25 percent of the dwellings on lots less than 5,000 square feet must have vehicle access points via shared or single-car-width driveway, alley, auto court, or other method of accessing dwellings other than direct street access.
10. 44<sup>th</sup> Street NE is a designated arterial. As such, any lots fronting 44<sup>th</sup> Street shall be oriented towards, and provide pedestrian access to it. Vehicular access will not be permitted to 44<sup>th</sup> Street NE.
  11. Tract 994 will not be permitted access to 44<sup>th</sup> Street NE (Road A).
  12. Tracts 995-998, and the unidentified tract directly north of Tract 994, do not meet the definition or intent and design standards of an autocourt and will not be permitted. An autocourt provides ingress and egress to clusters of dwellings; ends in a 'court' or courtyard area used for garage access and other activities; and is walled by buildings on three sides. See examples of what meets the standards below.



13. The site plan shall comply with the PRD open space standards outlined in [MMC 22G.080.100](#).

**Staff comment:** Provide an inventory of active and passive open space areas. Thirty-five percent (35%) of the required open space shall be active open space as outlined by

subsection (4)(e). Design/locate open space to meet the standards outlined in MMC 22G.080.100.

14. Pursuant to [MMC 22G.080.110 Preservation of existing features](#), the following provisions apply to the PRD:

- Existing trees and other natural and unique features shall be preserved wherever possible. The location of these features must be considered when planning the open space, location of buildings, underground services, walks, paved areas, playgrounds, parking areas, and finished grade levels.
- The city shall inquire into the means whereby trees and other natural features will be protected during construction. Excessive site clearing of topsoil, trees and natural or unique features before commencement of building operations may disqualify the project as a PRD.

15. The following design standards, outlined in the East Sunnyside/Whiskey Ridge Design Standards in [MMC 22C.070](#), apply to the PRD:

- All residential developments shall be designed to front onto streets. Configurations where dwelling units and/or residential lots back up any street are prohibited except for those lots adjacent to State Route 9. For example, new subdivisions along 83<sup>rd</sup> Avenue NE could be configured so that lots fronting on the street feature alley access in the rear or other shared driveway access as approved by the City on the side of the lots. Lot configurations where side yards face the street are acceptable.

**Staff Comment:** Proposed Lots 23 – 28 are required to front onto 83<sup>rd</sup> Avenue NE, rather than being set back. Proposed lots 1, 2, 21, and 22 will be required to front onto 83<sup>rd</sup> Avenue. Pedestrian access will be required for all lots on 83<sup>rd</sup> Ave. NE and 44<sup>th</sup> Street NE.

Lots 4, 19, 30, 34, 38, and 42 (or any other corner lots) shall have a house with the side yard facing Road C.

- The maximum height of solid (more than 50% opaque) freestanding walls, fences, or hedges in any front yard or other location between the street and the façade shall be 3-1/2 feet unless a taller wall is required, per the *Director*, to mitigate significant noise and traffic impacts.
- The maximum height of any decorative wall or fence which allows visibility (no more than 50% opaque), such as a wrought iron or split rail fences, shall be 6 feet. Such fences shall be set back from the sidewalk at least 3 feet to allow for landscaping elements to soften the view of the fence.
- In development configurations where side yards abut a street, fences taller than 3-1/2 feet shall be setback at least 5 feet from the sidewalk to allow for landscaping to soften the view of the fence. Provisions for long-term maintenance of this landscaping shall be addressed on the plat.
- Developments shall avoid configurations that have uses that back up against a street. Where unavoidable, fences between a street and any use shall be limited to 3-1/2 feet in height.

16. A preliminary landscape plan is required with the PRD site plan that includes preservation of existing trees, recreational elements and landscaping pursuant to the design standards outlined in [MMC Chapter 22G.080](#). Additionally, the following landscape elements apply:

- See the plan submittal requirements outlined in [MMC 22C.120.030](#).
- See the water conservation standards outlined in [MMC 22C.120.050](#).
- See the street tree requirements outlined in [MMC 22C.120.140](#).
- See the soil amendment requirements outlined in [MMC 22C.120.170](#).

- . All planter strips shall be landscaped with street trees and sod.
17. Provide landscape maintenance security information (duration, calculation method, timing that it's due, etc.).
  18. Any auto courts shall be constructed with scored concrete, paving blocks, bricks, or other ornamental pavers to clearly indicate that the entire surface is intended for pedestrians as well as vehicles, as outlined in the City of Marysville Design Guidelines and Engineering Design and Development Standard (EDDS) Section 3-219, or as amended. A detail of the surfacing of the auto court will be required to be provided on the civil construction plans and approved by the City Engineer.
  19. All necessary power lines, telephones wires, television cables, fire alarm systems and other communication wires, cables or lines shall be placed in underground location either by direct burial or by means of conduit or duct. All such underground installations or systems shall be approved by the appropriate utility company and shall adhere to all governing applicable regulations including, but not limited to, the applicable City and State regulations and specific requirements of the appropriate utility pursuant to MMC Section 22G.120.270.
  20. Prior to final PRD approval, the applicant shall submit to the City for its approval, covenants, deed restrictions, homeowners' association bylaws, and other documents providing for preservation and maintenance of all common open space, parking areas, walkways, landscaping, signs, lights, roads, and community facilities consistent with MMC Section 22G.080.120. All common areas and facilities shall be continuously maintained at a minimum standard at least equal to that required by the City, and shall be approved by the City at the time of initial occupancy. Said restrictive covenants shall also include provisions to address parking enforcement and a statement from a private attorney as the adequacy of the covenants to fulfill the requirement of the PRD.
  21. The Department of Archaeology and Historic Preservation's (DAHP) Inadvertent Discovery Plan shall be followed during site construction. If at any time during construction archaeological resources are observed on the project site, work shall be temporarily suspended at the location of discovery and a professional archaeologist shall document and assess the discovery. The DAHP and all concerned tribes shall be contacted for any issues involving Native American sites. If project activities expose human remains, either in the form of burials or isolated bones or teeth, or other mortuary items, work in that area shall be stopped immediately. Local law enforcement, DAHP, and affected tribes shall be immediately contacted. No additional excavation may be undertaken until a process has been agreed upon by these parties, and no exposed human remains should be left unattended.
  22. Prior to civil construction plan approval, the applicant shall demonstrate that the natural topography of the site is preserved to the extent feasible, and that the proposal complies with the design criteria outlined in MMC Section 22D.050.030(4).
  23. The following are the current impact fees, vesting and payment due dates:

Impact Fee Type	Impact Fee Rate	Vesting	Payment Due
Marysville Traffic	\$6,300 per PMPH trip	Complete Application	Prior to recording
Marysville Parks	\$1,825 per lot	Building Permit Submittal	Prior to BP issuance
Lake Stevens Schools	\$11,434 + \$50 admin. Fee per lot	Building Permit Submittal	Prior to BP issuance

*Amy Hess*

Amy Hess  
Senior Planner

ecc: Chris Holland, Planning Manager



**MARYSVILLE**  
WASHINGTON

**MARYSVILLE CIVIC CAMPUS**  
501 Delta ♦ Marysville, WA 98270  
(360) 363-8100 ♦ (360) 651-5099 FAX

**MEMORANDUM**

To: Amy Hess, Senior Planner

From: Kacey Simon, Civil Plan Reviewer

RE: Cornelius and Lacey Property, File# PREA23-036  
Pre-application for 69-lot Planned Residential Development (PRD).  
8310 E Sunnyside School Road & Parcel #'s 0059070016102, 0059070017700, and  
059070018601

Date: 8/3/2023

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The following comments are offered after review of the above referenced application.

1. **Existing utilities:**

- a. Sanitary sewer: There is currently a new sewer forced main located at the intersection of E. Sunnyside School RD and 87<sup>th</sup> Ave NE. Project is proposing to connect to the sewer extension proposed for the East Sunnyside PRD development that will extend sewer to the northeast corner of the site.
  - b. Water: There is a 16" ductile iron water main and a 24" ductile iron water main located in 83<sup>rd</sup> Ave NE & record drawings RD299 and W604.
  - c. Storm: There is only an open channel ditch located along 83<sup>rd</sup> Ave NE.
2. Per MMC 14.03.250, utilities are to be extended along the street frontages of the proposed project.
- a. Sewer will need to be extended along the project frontage along 83<sup>rd</sup> Ave NE.
  - b. Water is already installed along the project frontage.
  - c. Storm will need to be extended along the project frontage.
3. **Frontage Improvements:** Frontage improvements are required per MMC 12.02A.090 on all projects. Frontage improvements are described as curbs, gutters, and sidewalks; underground storm drainage facilities; patching the street from its preexisting edge to the new curb line; and overlayment of the existing public street to its centerline.
- a. 83<sup>rd</sup> Ave NE is classified as a minor arterial street and is to be built compliant with SP 3-201-003 of the EDDS and shall have a 6' sidewalk and 6' planter.
  - b. 44<sup>th</sup> ST NE (Road A) is to be built as per SP 3-201-004 of the EDDS as a half street improvement.
  - c. No frontage improvements will be required along Sunnyside School Rd.



4. **Dedication Requirements:**
  - a. It appears that an additional 5' of right-of-way is required for 83<sup>rd</sup> Ave NE.
  
5. **Access:**
  - a. TRACT 994 will not be allowed as shown since Road A is an arterial. It will not meet intersection spacing requirements.
  - b. The minimum width of a residential driveway is 12-feet and the maximum is 26-feet. Curb cuts shall be limited to a 20 foot maximum.
  - c. Per EDDS 3-302 bullet 5: A minimum corner clearance of 50 feet shall be maintained from the nearest edge of any access point to the edge of traveled way. When minimum corner clearances cannot be attained, the Engineer may require investigation to substantiate whether or not left turns should be prohibited into or out of the access point. See standard plan 3-301-001 dimension A. (only applies to subdivisions off of an arterial)
  - d. The new roads shall be constructed to SP 3-218-001.
  - e. Auto courts are permitted in a PRD. The auto court is to be built per the private road profile, SP3-202-004, with decorative concrete or stamped asphalt. They shall not exceed 150' in length or come off of a cul-de-sac and shall serve a maximum of 6 lots.
  
6. **Drainage:** All projects in the city of Marysville must comply with requirements stipulated under the MMC 14.15.040 and 14.15.050.
  - a. Stormwater drainage: The city has adopted the 2019 Ecology Manual. Projects above the 2,000 square feet and/ or 5,000 square feet threshold must comply with requirements stipulated in Volume I of the Stormwater Management Manual for Western Washington.
  - b. A geotechnical report will be required. Should infiltration methods be proposed and less than 5 feet of separation exists to the seasonal high water table, a mounding analysis will be required. The mounding analysis shall be performed during the wet season.
  - c. The maximum allowed impervious surface coverage for the Zoning designation is 70%.

Standard Comments:

7. Survey control datum NAVD-88 and NAD-83 are required to be used. Civil construction plans will not be accepted in any other datum.
8. Fire flow will need to be completed prior to 1<sup>st</sup> civil plan review and submitted with 1<sup>st</sup> civil plan review.
9. Trench restoration is to be completed in accordance with section 3-703 of the EDDS. A full lane or full street overlay may be required.
10. The onsite grading and placement of any retaining walls must be compliant with section 22D.050.030 of the MMC.

11. A right of way use permit for all work proposed within City right of way is required. Cost for the ROW permit is \$250.00. ROW permit fees must be paid before right of way permit issuance.
12. The applicant is responsible for identifying any existing well or septic systems on site or on adjacent properties. If there are any existing septic systems on site they need to be decommissioned based on the Snohomish Health District standards. If there are any wells on site they need to be decommissioned based on Department of Ecology standards.
13. Engineering construction plan review fees will be due prior to release of approved civil construction plans.  
Engineering construction plan review per MMC 22G.030.020:  
Residential = \$250.00 per lot or unit (for duplex or condominium projects),  
\$2000.00 minimum for first two reviews, \$120.00/hour for each subsequent review.  
Multiple residential/commercial/industrial = \$250.00 base fee + \$135.00 per hour.
14. Engineering construction inspection fees will be due prior to project final or building final whichever comes first.  
Engineering construction inspection fees per MMC 22G.030.020:  
Residential = \$250.00 per lot/unit (for duplex or condominium projects),  
\$2000.00 minimum  
Multiple residential/commercial/industrial = \$250.00 base fee + \$135.00 per hour.  
Bond administration fee = \$20.00/lot or unit, with a minimum amount being \$250.00
15. **All civil construction plan submittals are to be routed directly to Kacey Simon, Civil Plan Reviewer.** The first *civil construction* plan submittal is to consist of a completed grading permit application, a plan set, a copy of the drainage report and a copy of the geotechnical report. **Once the documents are ready to be submitted, we will provide you a link to where the materials can be uploaded to.**
  - a. Review timing:
    - i. First review = 5 weeks
    - ii. Second review = 3 weeks
    - iii. Third review = 3 week
    - iv. Subsequent reviews will be 3 weeks.
16. Please be advised these comments are in reference to specific items and do not imply a full review of the proposed application. Additional comments which may change the design requirements will be provided during the civil construction plan review process.

If you have additional questions regarding the above comments, please contact me at [ksimon@marysvillewa.gov](mailto:ksimon@marysvillewa.gov) or at (360) 363-8280.

cc: Ken McIntyre, PE, Assistant City Engineer



**MARYSVILLE**  
PUBLIC WORKS

## MEMORANDUM

TO: Amy Hess – Senior Planner

FROM: Jesse Hannahs, P.E. – Traffic Engineering Manager

DATE: August 18, 2023

SUBJECT: PREA 23-036 – Cornelius Lacey PRD

I have reviewed the Pre-application Site Plan for the proposed Cornelius Lacey PRD at 8310 E Sunnyside School RD and 4427 83<sup>rd</sup> Ave NE and have the following comments:

- 1) Traffic impact fees will be required from the City and depending on trip generation/distribution, may be required from the County and State.
- 2) A Traffic Impact Analysis (TIA) will be required.
  - a. This would include, for City approval, development of trip generation/distribution followed after City review/approval by identification of impacts and, where required, mitigation approaches.
  - b. TIA should follow City guidelines to be provided.
  - c. Trip Distribution shall follow representations to be provided for neighboring areas developed based upon Comprehensive Plan Traffic Model to be provided.
- 3) Undergrounding of existing overhead utilities along frontage of 83<sup>rd</sup> Ave NE shall be required.
- 4) Frontage improvements shall be required upon 83<sup>rd</sup> Ave NE frontage.
  - a. 83<sup>rd</sup> Ave NE is designated as a Minor Arterial.
  - b. Roadway cross-section shall be 70' ROW three lane roadway with bike lanes per EDDS Standard Plan 3-201-004.
- 5) Per the Comprehensive Plan, 44<sup>th</sup> ST NE shall be extended east from 83<sup>rd</sup> Ave NE to 87<sup>th</sup> Ave NE as a relocation of the E Sunnyside School RD minor arterial.
  - a. Roadway cross-section shall be 70' ROW three lane roadway with bike lanes per EDDS Standard Plan 3-201-004.
    - i. Half street improvements shall be constructed with a minimum of 20' of asphalt pavement.
  - b. Per EDDS Access Management Standards, direct access to an arterial shall not be allowed.
  - c. ROW shall be provided on the Northeast corner of intersection of 83<sup>rd</sup> Ave NE & 44<sup>th</sup> ST NBE to enable potential for future traffic signal installation.
- 6) Frontage improvements will not be required upon existing E Sunnyside School RD as the Comp Plan designated this roadway with the construction of 44<sup>th</sup> ST NE extension to become a trail only in the future.
- 7) Per EDDS 3-506, street lighting will be required.
  - a. Roadways:

(360) 363-8100

Public Works  
80 Columbia Avenue  
Marysville, WA 98270

- i. Street Lighting upon public residential streets shall be PUD installed fiberglass pole installation type street lighting utilizing 100 watt equivalent LED fixtures.
      - ii. Street Lighting upon Arterial Streets of 83<sup>rd</sup> Ave NE and 44<sup>th</sup> ST NE shall be PUD installed fiberglass pole installation type street lighting utilizing 250 watt equivalent LED fixtures.
    - b. Spacing of fixtures should be approximately 180'-220'.
    - c. As part of civil construction approval proposed PUD street lighting locations will be provided by the City to the developer for submission to PUD and incorporation into the PUD site electrical plans.
    - d. Snohomish County PUD Process:
      - i. For specific questions regarding street lighting, contact Eddie Haugen of Snohomish County PUD at (425) 783-8276 or [wehaugen@snopud.com](mailto:wehaugen@snopud.com) for more information.
- 8) A signing and channelization plan shall be required as part of civil construction plans.

# WHISKEY RIDGE EAST - EXISTING



# City of Marysville

November 2017

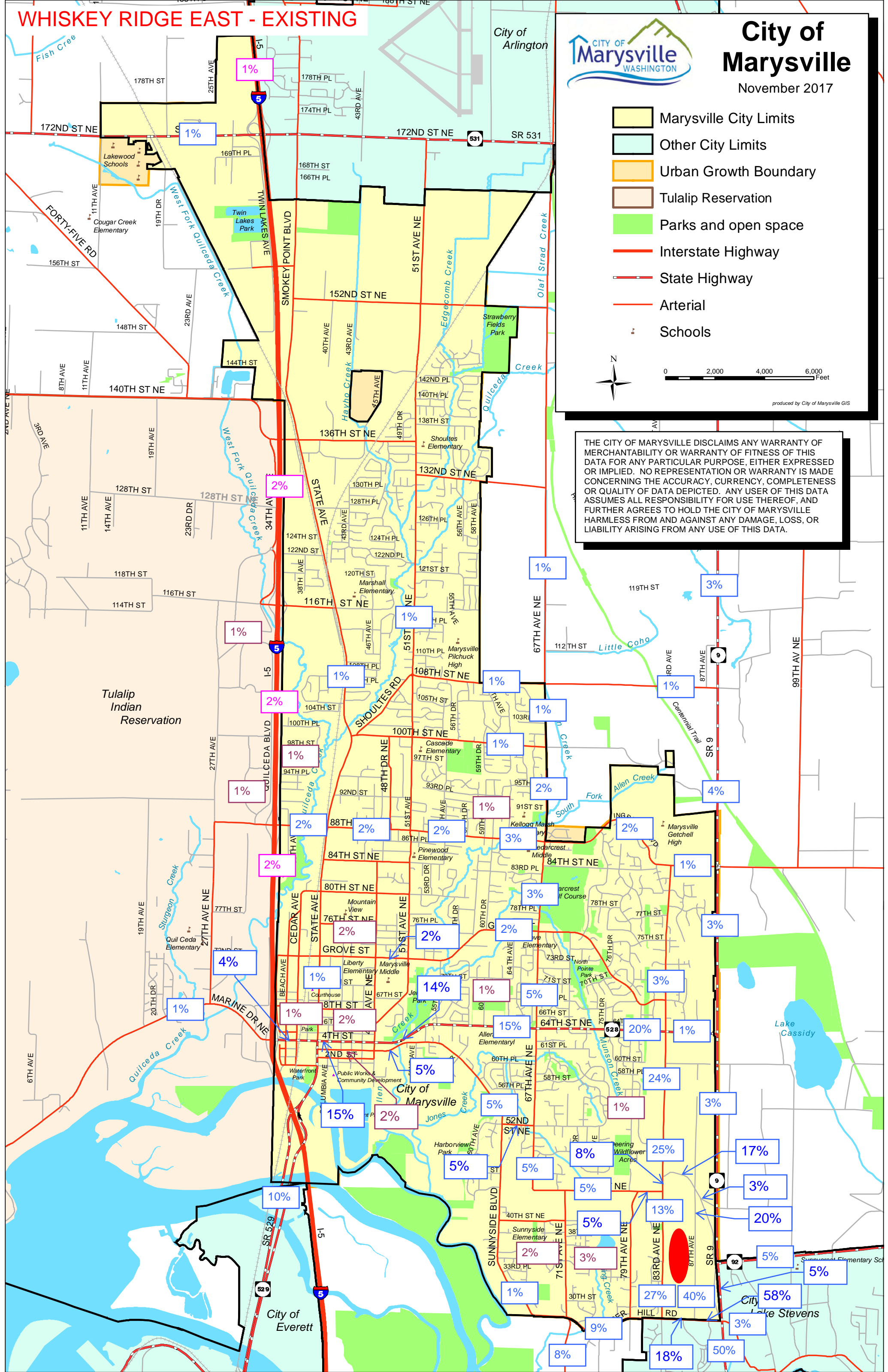
- Marysville City Limits
- Other City Limits
- Urban Growth Boundary
- Tulalip Reservation
- Parks and open space
- Interstate Highway
- State Highway
- Arterial
- Schools



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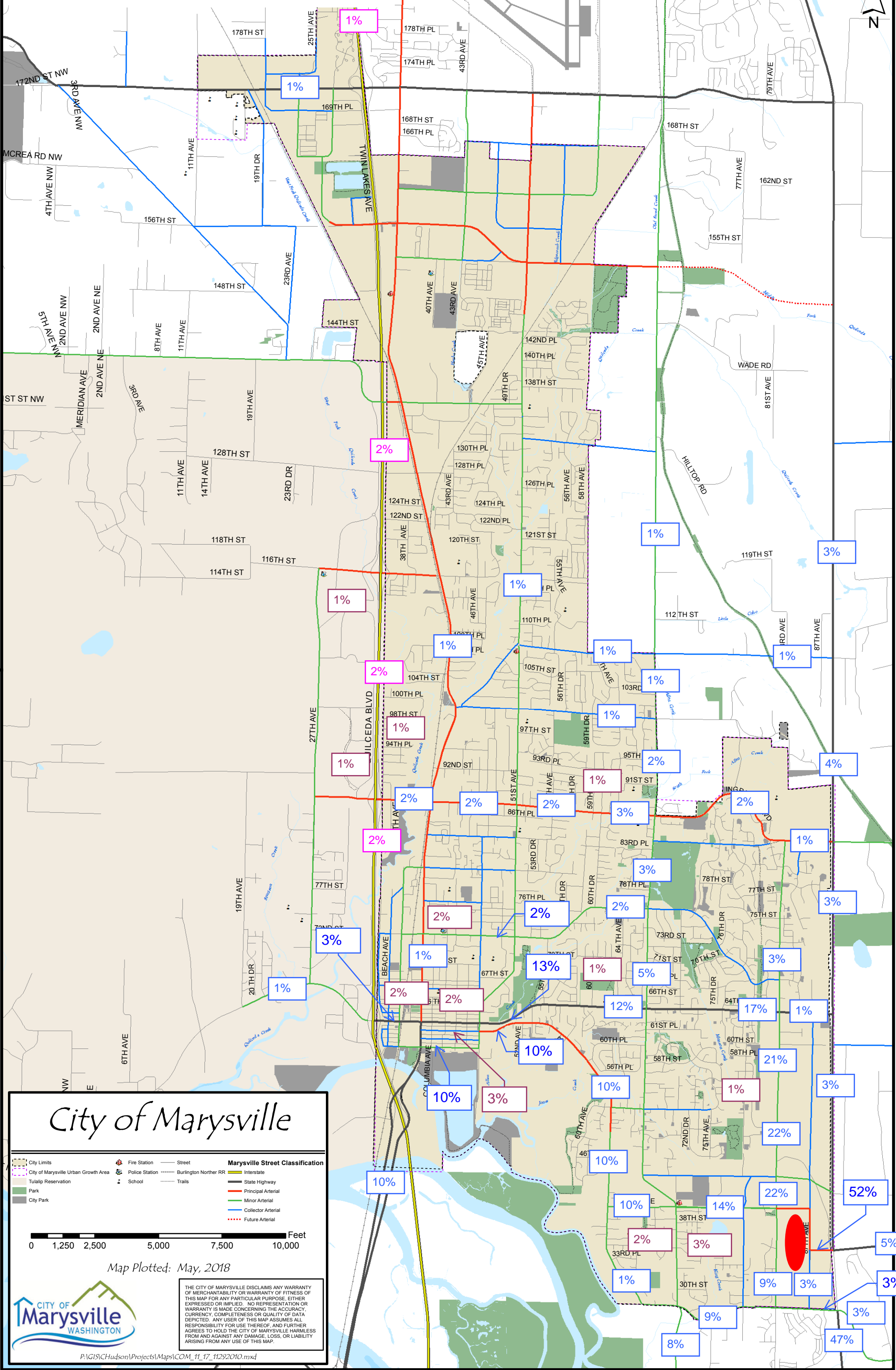
Tulalip Indian Reservation

City of Marysville

City of Everett

City of Lake Stevens

# WHISKEY RIDGE EAST - HORIZON



## City of Marysville

City Limits	Fire Station	Street	<b>Marysville Street Classification</b>
City of Marysville Urban Growth Area	Police Station	Burlington Northern RR	Interstate
Tulalo Reservation	School	Trails	State Highway
Park			Principal Arterial
City Park			Minor Arterial
			Collector Arterial
			Future Arterial

0 1,250 2,500 5,000 7,500 10,000 Feet

Map Plotted: May, 2018

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## MEMORANDUM

FROM: Jesse Hannahs, Traffic Engineering Manager  
Jesse Birchman, Transportation & Parks Maintenance Manager

DATE: June 5, 2023

SUBJECT: Traffic Impact Analysis Guidelines

All major new developments within City boundaries will require a Traffic Impact Analysis (TIA). Developments generating trips greater than defined Impact Thresholds shall have a TIA prepared to analyze impacts to the transportation system and to identify appropriate mitigation measures, if necessary.<sup>1</sup> All documents submitted in support of a TIA shall be prepared under the direction of a Professional Engineer with experience in traffic engineering licensed in the State of Washington. Final documents shall bear the seal of the responsible Professional Engineer. All direction and approvals are by the City Traffic Engineering Manager.

### 1) Definitions

- a) *Major Developments* generate ten (10) or more weekday p.m. peak hour trips or other hours as defined by the City Traffic Engineer during scoping.
- b) *Minor Development* generate less than ten (10) peak hour trips shall provide trip generation during project scoping only unless other distribution and analysis is necessary, such as proximity to other jurisdictions, known inadequate roadway condition, etc.
- c) *Impact* is defined as any intersection or site access driveway serving twenty five (25) or more peak hour project trips.
- d) *Opening Year* is defined as the anticipated year in which the development will be complete and open to the public.
- e) *Horizon Year* is the future year at which without and with-project traffic conditions are compared to forecast project impacts. The horizon year for each phase of the development shall be six (6) years from anticipated opening/completion of the development.
- f) *Mitigation Measures* are street improvements or a reduction of development trips to satisfy concurrency requirements of SEPA impacts.

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<sup>1</sup> Documentation of trip generation or greater as at least a Minor Development is required when the City anticipates three or more new weekday PM peak hour trips will be generated by a proposal ([MMC 22D.030.060](#)).

- 2) Scoping
- a) Describe the site's location, proposed and existing land uses and quantities, opening year, and any constraints.
  
  - b) Estimate the forecast increase in vehicular weekday p.m. peak hour trip generation and other periods as directed (e.g. daily, a.m. peak hour).
    - i) Required use of the most current edition of *Trip Generation Manual* published by the Institute of Transportation Engineers, or other approved methodology.
      - (1) All study sites used to develop a local trip rate must be reviewed and approved by City staff.
      - (2) Diverted Link Trips are not allowed
      - (3) Pass-By Trip shall use rates in the latest version of the ITE Trip Generation Manual or from the currently adopted Public Works Rules for Snohomish County Chapter 30.66B.<sup>2</sup>
      - (4) The ITE Trip Generation Manual multi-use (internal capture) methodology may only be used for projects
        - a) over 100,000 square footage of total floor space constructed at one time by a single owner conforming to criteria cited in ITE (multiple, differing land uses with applicable capture rates), or
        - b) For projects having mixed use zoning with multiple land-use types.
      - (5) Relocation of Existing Business:
        - a) A development project that relocates from an existing building to a new building shall not receive traffic mitigation credits if the existing building is not demolished or removed.
        - b) Credits shall be based on the trip generation methods described elsewhere in this document.
    - ii) Other non-vehicular trip generation estimates may be required when potentially greater than 25 peak hour trips. Trip generation values for City TIF and other fee calculations shall be carried to one (1) decimal point. Values for operational analysis should be rounded to the nearest whole number.
  
  - c) Identify the TIA Study Area & Peak Hour Analysis Periods – Arterial/arterial,<sup>3</sup> signalized, or roundabout transportation facilities impacted by twenty five (25) or more peak hour project trips are required to

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<sup>2</sup> See "Concurrency and Road Impact Mitigation Requirements of Chapter 30.66B SCC" at <https://www.snohomishcountywa.gov/1095/Public-Works-DPW-Rules>.

<sup>3</sup> Major, minor, or collector



evaluated, regardless of travel mode, day of the week, or time of day. If less than 10 trips are forecast, summarize that no TIA is necessary.

- i) Typically the weekday PM peak hour is required. Other required periods may include weekday AM peak hour, generator peaks, Saturday, or Sunday peaks.
- ii) Trips shall be distributed using the distribution maps provide in Attachment A and proposal-specific distribution & assignment provided.
  - (1) Note that the construction of the 156th St NE interchange is currently funded to occur after 2030 and typically should not be assumed. Assuming this only with City approval.
- iii) Intersections and roadways shall be included except:
  - (1) Development having a total net building square footage of greater than 1 million square feet and/or
  - (2) Any peak hour required for analysis having greater than 1,000 development generated trips after determination of any acceptable trip reductions.

Developments meeting these criteria may be allowed to utilize the following to determine intersections for Intersection Analysis:

- a) Intersections beyond 3 roadway centerline miles from the development's boundary serving 50 or more peak hour trips
  - b) Intersections beyond 5 roadway centerline miles from the development's boundary serving 100 or more peak hour trips
  - c) Intersections with Traffic Impact Fee improvements beyond 3 roadway centerline miles from the development's boundary unless otherwise directed.
- iv) The following WSDOT intersections shall be evaluated when serving 25 vehicles during any one-hour period:
    - (1) SR529/State Avenue/Smokey Point Blvd. Corridor
    - (2) State Route 528 (4th Street/64th Street NE)
    - (3) State Route 531 (172nd St NE)
    - (4) All other intersections of two arterial/arterial or functionally classified streets on signalized or roundabout intersections
  - v) Snohomish County intersections and roadway segments serving three (3) or more weekday a.m. or p.m. peak hour trips are required to provide trip assignment figures and tables.<sup>4</sup>

- d) Provide an estimate of the required Traffic Impact Fee. Contact the City's Planner for current fee rate. Any Snohomish County traffic mitigation fee shall also be estimated.<sup>2,4</sup>

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<sup>4</sup> See <https://www.snohomishcountywa.gov/888/Traffic-Mitigation-Concurrency>.

- 3) Transportation Impact Analysis
- a) Describe the site's location, proposed and existing land uses and quantities, opening year and horizon years, and any constraints.
  - b) Existing & Forecast Without-Project Conditions
    - i) Describe all existing transportation infrastructure and funded changes impacted by 25 or more project trips during any peak one-hour period. This may include but is not limited to roadways, driveways, sidewalks, transit stops and transit service rates, bicycle facilities, and multi-use trails. This shall include the impacted street network by functional classification, speed, geometry, and non-motorized facilities.
      - (1) Planned improvements by other entitled developments shall be identified. These shall not be assumed when evaluating horizon year without-project traffic operations.
    - ii) Summarize existing and forecast travel volumes for each mode of travel with specific numbers identified used for the operational analysis.
      - (1) This typically focuses on vehicular volumes but volumes of other travel modes shall be at least generally described.
      - (2) Traffic counts shall be no more than 12 months old<sup>5</sup> and should include bicycles, pedestrians, peak hour factors and percentage of trucks.
      - (3) A general growth rate of 2% per year shall be used for operational analysis. A growth rate of 3% per year shall be used where pipeline data does not exist.
      - (4) The City will supply pipeline traffic data from previously entitled land use approvals add.
        - a) Pipeline data are for approved development projects distributing 25 or more trips to an arterial/arterial or signalized intersections.
      - (5) Note that previous permitted diversion of 25% of non-pipeline development background traffic volumes on 172<sup>nd</sup> St NE east of 19<sup>th</sup> Ave NE for Horizon Year analysis is typically not permitted. Construction of the 156th St NE interchange is currently funded to occur after 2030.

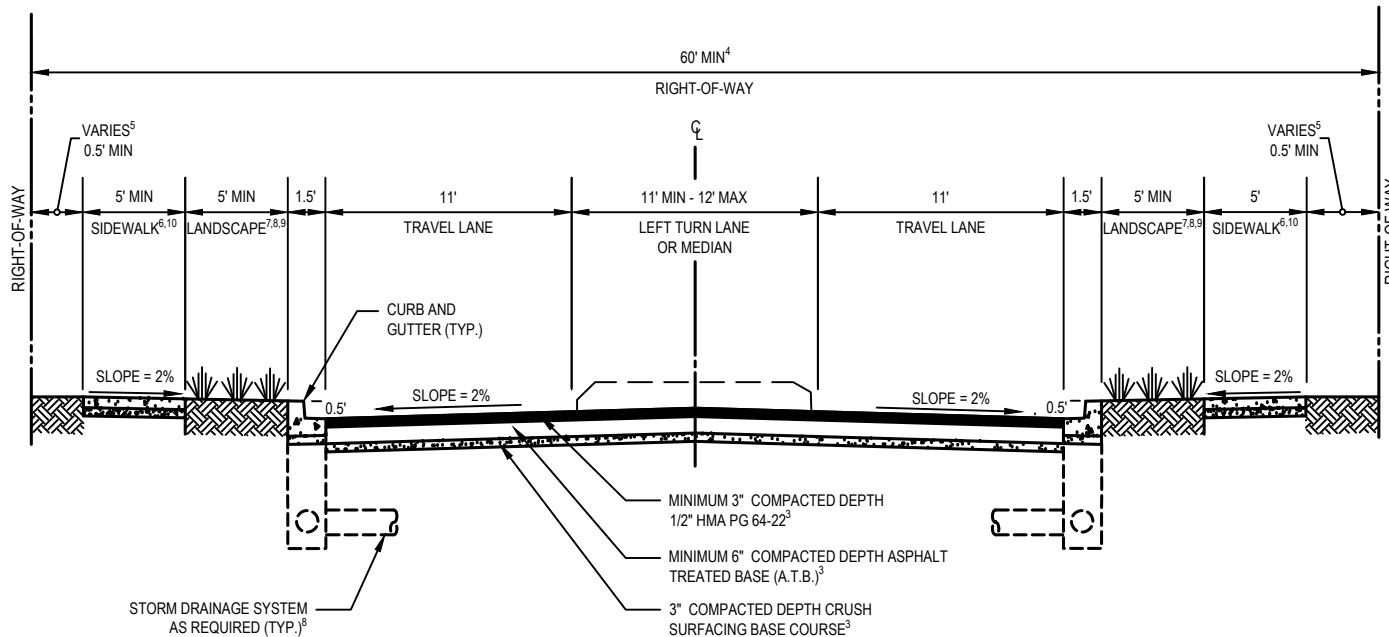
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<sup>5</sup> 12 months at the time of first TIA submittal. Up to 24 months is permitted for TIA updates/corrections up to land-use permit approval. New/updated counts TIA are required if permit approval before counts are 24 months old.

- iii) Vehicular traffic operations shall use the most recent version of the *Highway Capacity Manual* except roundabout operations shall use the most recent version of the WSDOT's Sidra policy/protocol.
  - (1) Detailed software output sheets shall be provided for all intersections and analysis scenarios to permit review or input and out analysis values.
  - (2) All City TIF and WSDOT capital projects funded to be constructed by the horizon year should be included but otherwise should be excluded.
  - (3) Planned improvements by other entitled developments shall not be assumed when evaluating horizon year without-project traffic operations unless construction permits have been issued.
  - (4) Vehicular LOS standards
    - a) LOS D for all City intersections except LOS E for those along:
      - (i) SR 529/State Avenue/Smokey Point Boulevard
      - (ii) 4th Street/64th Street NE (SR 528)
      - (iii) 88th Street NE east of I-5 to 67th Avenue
    - b) SEPA evaluation of roundabout v/c and queues are required.
    - c) The LOS standard applicable to each study intersection should be included for easy comparison in any summary tables.
  - (5) Signal Timing
    - a) Existing signal timings must be used for existing conditions. Timings shall be optimized for future conditions with cycle length between 60-180 seconds in 10 second intervals.
    - b) Minimum phase lengths for future operational analysis shall allow for adequate pedestrian crossing time per MUTCD/ITE standards.
      - (i) Citywide All Red time is 1.0 seconds.
      - (ii) Yellow Clearance intervals are determined based upon ITE methodology and range from 3.0 to 4.5 seconds.
    - c) Left Turn Phasing:
      - (i) Minimum phase lengths for future operational analysis shall allow for a minimum of 15 seconds for protected only left turns.
      - (ii) Minimum phase lengths for future operational analysis shall allow for a minimum of 10 seconds for protected/permitted left turns.
      - (iii) Lead/lag optimization shall only be allowed for coordinated systems at intersections with flashing yellow arrow (FYA) or protected only left turn phasing.

- (6) Ideal saturation flow rates greater than 1900 vehicles per hour of green per lane should not be used unless otherwise measured in the project vicinity.
- (7) Peak Hour Factors (PHF) shall be for the entire intersection consistent with traffic counts used for the existing analysis, or use a PHF = 1.00 and multiply the peak 15 minute period traffic volumes by 4.
- (8) Queuing:
  - a) Queuing analysis may be required in areas of known queue constraints and land uses with drive-through windows. If so, all study intersections shall be analyzed.
  - b) Queue lengths shall be calculated at the 95th percentile.
- iv) Summarize the most recent three (3) calendar years of WSDOT-provided roadway and intersection data.
  - (1) Patterns related to serious injuries, travel modes, all fatalities, or high collision locations shall be described.
  - (2) A rate of more than 1.0 collisions per million entering vehicles at an intersection and 10.0 collisions per million entering vehicles on a roadway segment are locations requiring more detailed review.
- c) Forecast With-Project Conditions
  - i) Estimate the forecast increase in vehicular weekday p.m. peak hour trip generation and other periods as directed (e.g. daily, a.m. peak hour).
  - ii) Trips shall be distributed as approved through scoping.
  - iii) Vehicular traffic operations shall be summarized.
  - iv) Impacts to roadways, driveways, sidewalks, transit stops and service rates, bicycle facilities, and multi-use trails should be described.
  - v) Impacts potentially increasing safety risks shall be evaluated. This includes adding any traffic to locations requiring detailed review (see 4.b above).
  - vi) Mitigation is required when the project results in or worsens operations below adopted standards, or worsens existing adverse safety conditions (e.g. intersection sight distance or stopping sight distance).
    - (1) Any required mitigation improvements included in the Traffic Impact Fee project list or other Local Improvement District project list are credited toward these fees.
    - (2) New or Modified Traffic Signals:
      - a) Shall meet at least one MUTCD warrant in the applicable horizon year.
      - b) Flashing yellow arrow (FYA) or protected left-turn phasing shall be provided where left turn lanes are present or warranted.

- c) Right-turn overlap phasing shall be provided where an exclusive right-turn lane is provided complementary to left-turn phasing.
  - d) All approaches with two-way center left-turn lanes, when signalized shall include dedicated left turn lanes with FYA signal displays.
- (3) Unsignalized turn lanes
  - a) Left-turn lanes - WSDOT Design Manual 1310.03(2) or other approved Exhibit used for storage length.
  - b) Right-turn Lanes - WSDOT Design Manual 1310.03(3) should be used for right turn lanes at unsignalized intersections. The note exempting multi-lane approaches for Exhibit 1310-21 should be ignored.
- (4) The use of traffic control devices to reduce impacts on residential streets is required by City EDDS 3-525. Traffic calming devices should be negotiated with City staff with the goal of reducing neighborhood infiltration of development generated spillover traffic.
  - a) City policy does not allow installation of new speed humps however allows for speed tables, traffic circles, curb bulb outs, etc.
- d) Required supporting information and data preferably provided in appendices include:
  - i) Maps not contained in the body of the report.
  - ii) Count data used for analysis.
  - iii) Level Of Service (LOS) calculations
    - (1) Summary sheets showing all signal timing and HCM inputs is required, including signal progression/coordination (e.g. green band figure).
  - iv) Warrant worksheets for signals, all-way stops, protected turn phasing, right and left turn lanes, intersection sight distance, etc.
- 4) Concurrency
  - a) The Public Works Department shall make a concurrency determination for each development application and the applicant shall provide an acceptance letter unless in disagreement with plans to appeal to the Hearing Examiner. Any change in the development after approval will be resubmitted to the director and re-evaluated for concurrency.



**NOTES:**

1. REFER TO CITY OF MARYSVILLE STANDARD PLAN 3-201-000 FOR ARTERIAL SECTION GENERAL NOTES.
2. INTERSECTIONS MAY WARRANT ADDITIONAL TURN LANES THAN SHOWN ON THIS DRAWING. COORDINATE WITH THE CITY ENGINEER OR DESIGNEE FOR INTERSECTION CONFIGURATIONS.
3. THIS DRAWING ILLUSTRATES A MINIMUM ROADWAY PAVEMENT SECTION. ROADWAY SECTION SHALL BE DESIGNED IN ACCORDANCE WITH AASHTO GUIDE FOR DESIGN OF PAVEMENT STRUCTURES.
4. THE RIGHT-OF-WAY WIDTH SHALL BE DETERMINED BY THE CITY ENGINEER OR DESIGNEE.
5. SLOPES AND DRAINAGE REQUIREMENTS BEHIND SIDEWALK SHALL BE REVIEWED/APPROVED ON A CASE-BY-CASE BASIS BY THE CITY ENGINEER OR DESIGNEE.
6. SIDEWALK WIDTH SHALL BE BASED ON MASTER PLAN COMMUNITY GUIDELINES AS APPLICABLE. REFER TO "SIDEWALK WIDTH" TABLE ON THIS SHEET FOR ADDITIONAL GUIDANCE. ALL OTHER SIDEWALKS SHALL BE 5' MINIMUM WIDTH, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER OR DESIGNEE.
7. LANDSCAPE WIDTH SHALL BE BASED ON MASTER PLAN COMMUNITY GUIDELINES AS APPLICABLE. REFER TO "LANDSCAPE WIDTH" TABLE ON THIS SHEET FOR ADDITIONAL GUIDANCE. ALL OTHER LANDSCAPE STRIPS SHALL BE 5' MINIMUM WIDTH, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER OR DESIGNEE.
8. THE USE OF LOW IMPACT DEVELOPMENT (LID) DESIGN ELEMENTS SHALL BE REVIEWED/APPROVED ON A CASE-BY-CASE BASIS BY THE CITY ENGINEER OR DESIGNEE.
9. LANDSCAPING MAY BE PLACED BEHIND SIDEWALK AND SHALL BE REVIEWED/APPROVED ON A CASE-BY-CASE BASIS BY THE CITY ENGINEER OR DESIGNEE.
10. SIDEWALK WIDTH SHALL BE 6' MINIMUM IF ADJACENT TO CURB.

**LANDSCAPE WIDTH**

MASTER PLAN	WIDTH
LAKEWOOD	5' MIN*
DOWNTOWN	3' MIN*
88TH ST	5' MIN*
SMOKEY POINT	6' MIN*
STATE AVENUE	5' MIN*

\*SHALL BE PER CITY ENGINEER OR DESIGNEE.

**SIDEWALK WIDTH**

MASTER PLAN	WIDTH
EAST SUNNYSIDE - WHISKEY RIDGE	8' MIN*
LAKEWOOD	5' MIN*
DOWNTOWN	5' MIN*
SMOKEY POINT	6' MIN*
STATE AVENUE	5' MIN*

\*SHALL BE PER CITY ENGINEER OR DESIGNEE.

APPROVED BY

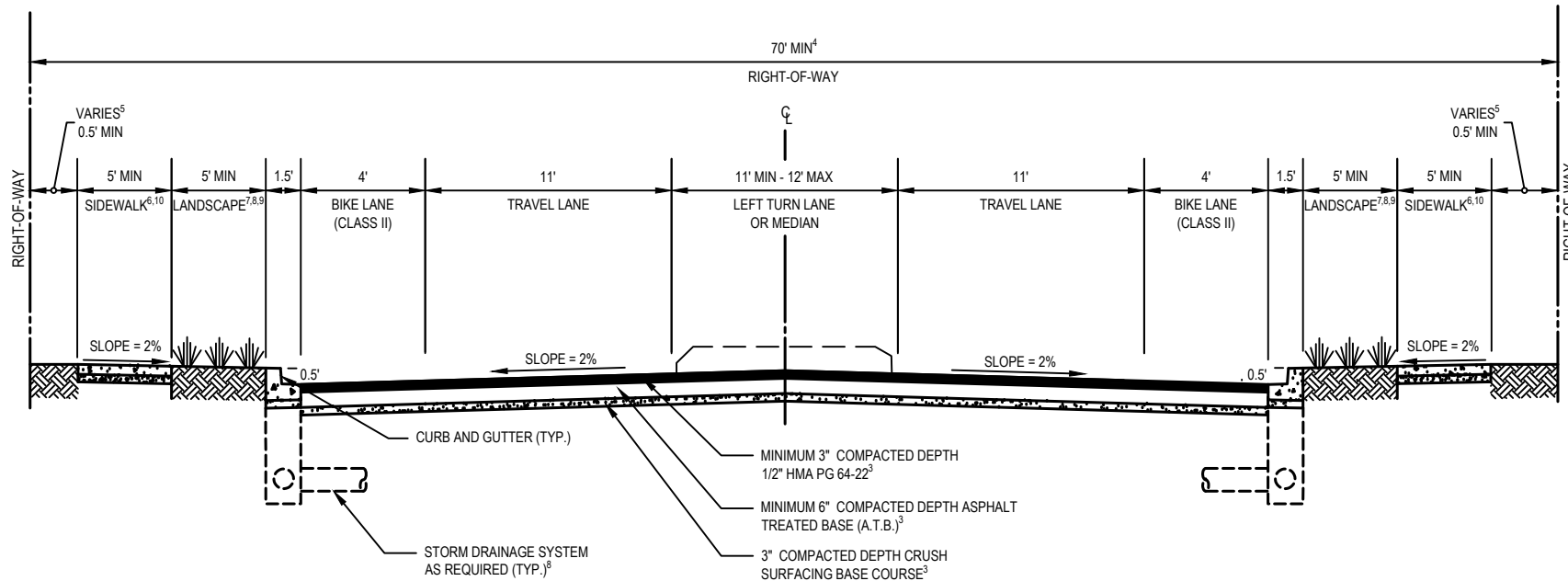
*[Signature]*  
MARYSVILLE CITY ENGINEER

07/14/20

DATE



**3-LANE ARTERIAL**



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10. SIDEWALK WIDTH SHALL BE 6' MINIMUM IF ADJACENT TO CURB.

**LANDSCAPE WIDTH**

MASTER PLAN	WIDTH
LAKEWOOD	5' MIN*
DOWNTOWN	3' MIN*
88TH ST	4' MIN*
SMOKEY POINT	6' MIN*
STATE AVENUE	5' MIN*

\*SHALL BE PER CITY ENGINEER OR DESIGNEE.

**SIDEWALK WIDTH**

MASTER PLAN	WIDTH
EAST SUNNYSIDE - WHISKEY RIDGE	8' MIN*
LAKEWOOD	5' MIN*
DOWNTOWN	5' MIN*
SMOKEY POINT	6' MIN*
STATE AVENUE	5' MIN*

\*SHALL BE PER CITY ENGINEER OR DESIGNEE.

APPROVED BY

*[Signature]*  
MARYSVILLE CITY ENGINEER

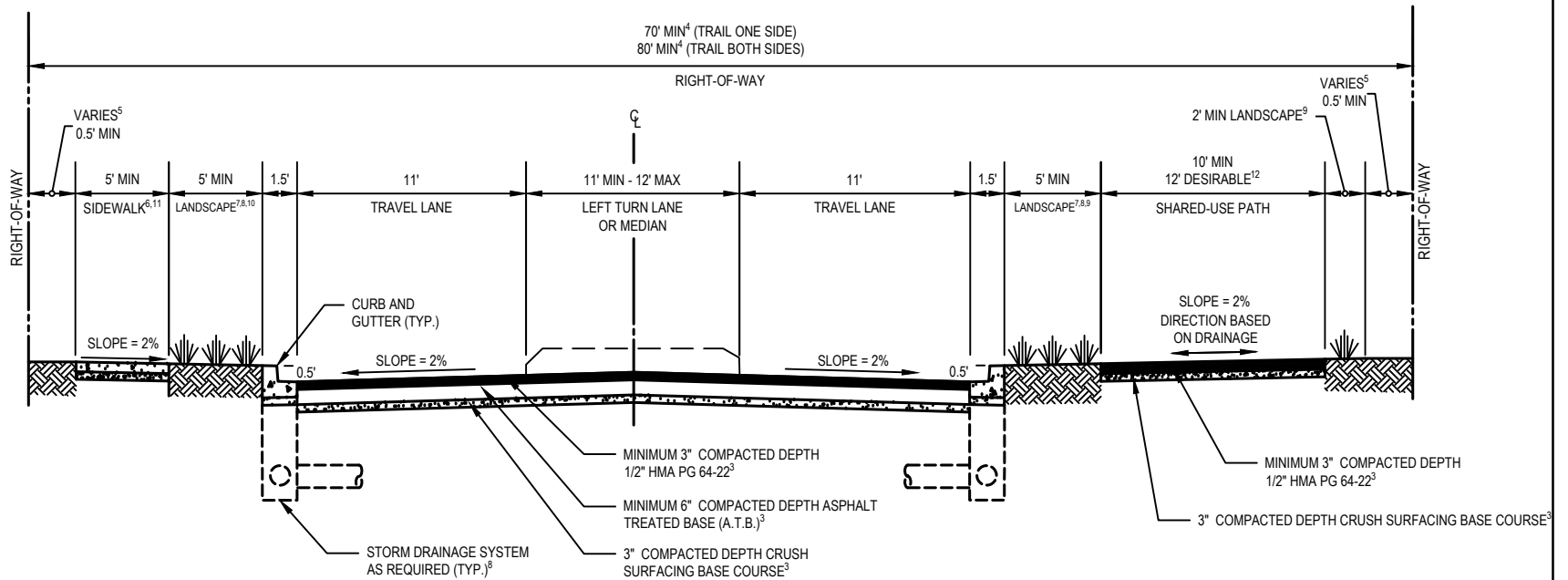
07/14/20

DATE



**3-LANE ARTERIAL**

BICYCLE  
CONFIGURATION



**NOTES:**

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- THE USE OF LOW IMPACT DEVELOPMENT (LID) DESIGN ELEMENTS SHALL BE REVIEWED/APPROVED ON A CASE-BY-CASE BASIS BY THE CITY ENGINEER OR DESIGNEE.
- THE MINIMUM HORIZONTAL CLEARANCE FROM THE EDGE OF SHARED-USE PATH PAVEMENT TO AN OBSTRUCTION SHALL BE 2', UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER OR DESIGNEE. SLOPES SHALL BE NO STEEPER THAN 6H:1V FROM EDGE OF SHARED-USE PATH.
- LANDSCAPING MAY BE PLACED BEHIND SIDEWALK AND SHALL BE REVIEWED/APPROVED ON A CASE-BY-CASE BASIS BY THE CITY ENGINEER OR DESIGNEE.
- SIDEWALK WIDTH SHALL BE 6' MINIMUM IF ADJACENT TO CURB.
- SHARED-USE PATH SHALL BE 12' WHEN LANDSCAPING STRIP BETWEEN THE ROADWAY AND SHARED-USE PATH IS NOT PRESENT.

LANDSCAPE WIDTH	
MASTER PLAN	WIDTH
LAKEWOOD	5' MIN*
DOWNTOWN	3' MIN*
88TH ST	5' MIN*
SMOKEY POINT	6' MIN*
STATE AVENUE	5' MIN*

\*SHALL BE PER CITY ENGINEER OR DESIGNEE.

SIDEWALK WIDTH	
MASTER PLAN	WIDTH
EAST SUNNYSIDE - WHISKEY RIDGE	8' MIN*
LAKEWOOD	5' MIN*
DOWNTOWN	5' MIN*
SMOKEY POINT	6' MIN*
STATE AVENUE	5' MIN*

\*SHALL BE PER CITY ENGINEER OR DESIGNEE.

APPROVED BY  
  
 MARYSVILLE CITY ENGINEER  
 07/14/20  
 DATE



**3-LANE ARTERIAL**

SHARED-USE PATH  
 CONFIGURATION

STANDARD PLAN 3-201-005



## Amy Hess

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**From:** Todd Gray <toddgray@tulaliptribes-nsn.gov>  
**Sent:** Monday, August 14, 2023 8:12 AM  
**To:** Amy Hess  
**Subject:** [External!] RE: Request for Review - Cornelius Lacey PRD Pre-application (PreA23036)

External Email Warning! Use caution before clicking links or opening attachments.

Hi Amy,

I'm curious if there's a connection between the man made pond in the north part of the parcel and King Creek, which is a fish-bearing water. Even though the pond is man-made, I wonder if it may have cut off historic fish access when it was created. I'd like to request that this connection be thoroughly examined. If fish access has been cut off, we would like it to be reestablished, and the pond be regulated as a fish-bearing water.

Thank you,

**Todd Gray**  
Environmental Protection Ecologist  
The Tulalip Tribes | Natural Resources Dept.  
360-716-4620 | [toddgray@tulaliptribes-nsn.gov](mailto:toddgray@tulaliptribes-nsn.gov)

-----Original Appointment-----

**From:** Amy Hess <ahess@marysvillewa.gov>  
**Sent:** Tuesday, August 1, 2023 8:48 AM  
**To:** Tom Maloney; Ken McIntyre; Kacey Simon; Shane Whitney; Don McGhee (dmcghee@mfdrrfa.org); Brian Merkley; Ryan Carney; Max Phan; Adam Benton; Doug Gresham; 'Stillaguamish Tribe'; klyste@stillaguamish.com; Kim Bryant; Kristy Beedle; Wicklund, Mary; Chris Holland; Mike Snook; Brad Zahnow; Jesse Hannahs; Jesse Birchman; Matthew Eyer; Nance, Rob; mae.p.ancheta@usace.army.mil; contact.pwcms@snoco.org; Todd Gray  
**Subject:** Request for Review - Cornelius Lacey PRD Pre-application (PreA23036)  
**When:** Wednesday, August 16, 2023 12:00 AM to Thursday, August 17, 2023 12:00 AM (UTC-08:00) Pacific Time (US & Canada).  
**Where:** N/A RFR

**WARNING:** This email originated outside of our organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.



THIS IS NOT A MEETING INVITE – THIS IS A REQUEST FOR REVIEW (RFR) WITH COMMENTS REQUESTED TO BE RETURNED BY 0

<b>File Number:</b>	PreA23036
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<b>Project Title:</b>	Corenelius Lacey Planned Residential Development Pre-application
<b>Project Description:</b>	Pre-application for 69-lot Planned Residential Development (PRD).
<b>Applicant:</b>	KM Capital, LLC/Land Pro Group, Inc.
<b>Project Location:</b>	8310 East Sunnyside School Road
<b>APNs:</b>	0059070016102, 0059070017700, and 059070018601
<b>Application Materials:</b>	<a href="#">Cornelius Lacey PRD Pre-application</a>

Please return comments via e-mail to [ahess@marysvillewa.gov](mailto:ahess@marysvillewa.gov) on or before **August 16, 2023**.



# Marysville Fire District

**YOUR RISK PREVENTION TEAM**  
1094 Cedar Avenue, Marysville WA 98270

Phone (360) 363-8500  
Fax (360) 659-1382

To: Ryan Larsen, Land Pro Group  
From: Don McGhee, Assistant Fire Marshal  
Date: August 7, 2023  
Subject: PreA23-036 Cornelius Lacey PRD 8310 East Sunnyside School Rd.

I have completed a review of the pre-application plan for this project proposing development of a 10-acre site for a 69-lot PRD. Plans show a single 50' ROW roadway through the site with access into the site from 83<sup>th</sup> Ave NE and from Road A. Six autocourts are proposed, all autocourts must be signed (FIRE LANE – NO PARKING) and shown on the civil plan. Lots 33, 37, 41, and, 45 will require residential fire sprinklers. *Access proposed appears acceptable to all lots.*

The City GIS water map shows existing 8" DI water main along E Sunnyside School Road, and a 24" DI water main along 83<sup>th</sup> Ave NE. No information about available fire flow is provided for the existing fire hydrant near this site. *The minimum fire flow required for the site is 1,000 gpm based on SF residential use.*

Additional comments related to fire code compliance for this project are noted below:

1. The project shall comply with current fire code requirements (2018 IFC) including WA State and local City of Marysville amendments to the fire code, city design standards, and applicable NFPA standards, including IFC Chapter 33 and NFPA 241 construction codes.
2. Fire marshal approval of fire access and fire hydrant/water supply systems is required as part of the civil construction plan review and approval process.
3. It is the developer's responsibility to see that adequate water for fire protection is attainable. The minimum required fire flow is determined using IFC Appendix B, and depends upon building sizes, construction types, and sprinkler systems. Proof of fire flow will be required. Documentation/certification of available water supplies for providing the required fire flows is required for final approval of the water system for this project and prior to building construction. Check with the city Public Works Dept. for water system information.
4. The minimum required fire flow for hydrants protecting SFR dwellings is 1,000 gpm (with 20-psi minimum residual pressure) for dwellings not exceeding 3,600 SF in size.
5. The minimum required fire flow for dwellings exceeding 3,600 SF is 1,500 gpm.
6. Maximum hydrant spacing for the proposed SF use is 600' apart.
7. Fire hydrants shall comply with city Water Design Standard 2-060 Hydrants, including 5" Storz fittings, with blue reflective hydrant markers to be provided in the roadways, located four inches off the centerline on the hydrant side of the road.

***We Care About You!***

8. Fire hydrants shall be provided in approved locations. Fire hydrants on an approved water main extension are required within the site for this development. Provide water main extensions with hydrants along the new roadways and at all road intersections in approved locations, with maximum spacing of 600 feet apart. Fire hydrants with approved water supply must be in service prior to building construction.
9. Fire hydrant coverage shall be provided along all roads and at intersections. *“Fire hydrants meeting city specifications shall be installed on all extensions of the city water system at the time such extensions are constructed. All hydrants shall be owned and maintained by the city. The location and frequency of fire hydrants shall be specified by the city utility department and fire department; provided, that fire hydrants in single-family residential zones shall be spaced not more than 600 feet apart” (MMC 14.03.050).* The location of fire hydrants requires fire marshal approval on civil construction plans.
10. Future homes to be constructed may require residential sprinkler installation for a number of reasons, including: if homes are three or more stories tall, if fire flow from hydrants does not meet fire code requirements, if any part of homes is further than 200’ from the public road ROW with no hydrant provided on-site, or to mitigate access deficiencies.
11. Where residential fire sprinklers may be required the developer should install a water service per Standard Plan 2-090-001 Full ¾” x 1” Meter Service. Under this plan a 1” tap is made at the water main and 1” piping is run to the 1” meter setter. If in the end a ¾” water meter will suffice then all that is required is to install two reducer bushings with the ¾” water meter. A single service tap should be used where sprinklers are required, not a double service installation.
12. Turnaround provision is required for dead-end access in excess of 150 feet long. Turnarounds shall comply with city standard plans.
13. An adequate access route for fire apparatus must be in service prior to any building construction.
14. Access for firefighting operations along all sides of all buildings is required. A minimum 5’ wide access is required for SF dwellings. All parts of building exteriors should be accessible for firefighting by an approved route around the building, and be within 150 feet of a minimum 20’ wide fire apparatus access.
15. The Autocourts will require “NO PARKING FIRE LANE” signs. The signage will need to be identified on the approved Civil Plans.
16. The city address committee will determine road names and address numbers for the lots.

***We Care About You!***



**MARYSVILLE**  
PUBLIC WORKS

## MEMORANDUM

TO: Amy Hess, Senior Planner

FROM: Brad Zahnow, Development Services Technician

DATE: August 3, 2023

SUBJECT: PreA23036 Corenelius Lacey PRD  
8310 East Sunnyside School Road  
APN's: 0059070016102, 0059070017700, and 059070018601

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### **Residential Utility Capital Improvement Fees**

Capital utility fees are assessed in accordance with the attached rate sheet. The "City" rates will be applicable to this project.

### **Recovery (Latecomer) Fees**

No recovery fees are applicable to this project.

### **Utility Main Fees**

No utility main fees are applicable to this project.

### **ULID/LID Fees**

No ULID/LID fees are applicable to this project.

(360) 363-8100

Public Works  
80 Columbia Avenue  
Marysville, WA 98270



**UTILITY CAPITAL IMPROVEMENT CHARGES - 2023**

MMC Section 14.07.010 - Marysville Ord. Nos. 2607 & 2670 - Effective 1-1-2006  
 Community Development Department ♦ 80 Columbia Avenue ♦ Marysville, WA 98270  
 (360) 363-8100 ♦ (360) 651-5099 FAX ♦ Office Hours: Monday - Friday 7:30 AM - 4:00 PM

**RESIDENTIAL UNITS**

Type of Connection		Water		Sewer	
		City	Outside City	City	Outside City
Residential DU*	Eff 1/1/06	\$4,750/du	\$5,490/du	\$4,490/du	\$4,890/du
Inspection		Plumb permit varies	Plumb permit	\$100	\$100
Admin/Filing Fee		\$20	\$20	\$20	\$20

\*Dwelling unit includes single-family, multi-unit housing, apts, condos, manufactured homes and mobile homes.  
 Main fees or latecomer fees may apply, depending on location.

Type of Connection		Water		Sewer	
		City	Outside City	City	Outside City
Hotel/Motel	Eff 1/1/06	\$1,816/rm	\$2,099/rm	\$1,717/rm	\$1,870/rm
RV Park Pads	Eff 1/1/06	\$2,375/pad	\$2,745/pad	\$2,245/pad	\$2,445/pad

**COMMERCIAL / INDUSTRIAL**

**WATER**

Gallons per Minute	City	Outside City
0 – 2000 gpm	\$1.64 / square foot (bldg)	\$1.99 / square foot (bldg)
2001 – 4000 gpm	\$2.40 / sf	\$2.87 / sf
4001+ gpm	\$3.16 / sf	\$3.80 / sf
Warehouse/Storage (Ord No. 3026, Eff 7/15/16)	\$0.48 / sf	\$0.65 / sf
Warehouse/Storage with fire sprinklers	\$0.36 / sf	\$0.49 / sf

**SEWER**

Type of Use	City	Outside City
Retail Sales/Manufacturing/ Churches/Schools/Day Care	\$1.03 / square foot (bldg)	\$1.24 / square foot (bldg)
Offices/Medical/Dental/Nursing Homes and all other uses not listed	\$1.67 / sf	\$2.00 / sf
Warehouses/Storage	\$0.49 / sf	\$0.65 / sf
Restaurants/Taverns/Esspresso	\$2.38 / sf	\$2.86 / sf
Schools without kitchens	\$0.77 / sf	\$0.93 / sf

**SURFACE WATER / STORM DRAINAGE**

Surface water capital fee – Eff 1/1/11	Residential - \$95/du	Commercial - \$95/3200sf of imp surface
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**METER SERVICES**

Meter Size	Tapping Fee	Meter Drop Fee
5/8" x 3/4"	\$1,050	\$500
3/4" x 3/4"	\$1,075	\$525
1"	\$1,200	\$560
1.5"	\$1,600	\$750
2"	\$1,900 min	\$850
3", 4", 6", 8"	Time and Material - \$3,500 min + \$1K/inch	Included in tapping fee

Fire sprinkler systems may require a larger meter for adequate fire flow – consult your designer.

All non-residential water services, including fire sprinkler systems and irrigation systems, require a backflow prevention assembly to be installed immediately downstream of the water meter. Contact the city's cross connection control specialist at (360) 363-8100 to determine the type of assembly required.

## Amy Hess

---

**From:** SPW-Contact.pwCMS <Contact.pwCMS@snoco.org>  
**Sent:** Tuesday, August 1, 2023 2:12 PM  
**To:** Amy Hess  
**Subject:** [External!]SNOCO COMMENTS: Request for Review - Cornelius Lacey PRD Pre-application (PreA23036)  
**Attachments:** Generic Offer Form for All Developments Inside Cities.pdf; City of Marysville Traffic Study Requirements.pdf  
**Follow Up Flag:** Follow up  
**Flag Status:** Completed

External Email Warning! Use caution before clicking links or opening attachments.

Hello Amy,

The county received the city's request for review for Cornelius Lacey PRD (PreA23036), located at 8310 East Sunnyside School Rd.

If the development is subject to SEPA, then mitigation under the county/city interlocal agreement is required.

The applicant has two options for determining the development's proportionate share mitigation.

The applicant may (1) prepare a comprehensive traffic study to determine the development's proportionate share impact to the county adopted capacity improvements or (2) the applicant may have its proportionate share impact mitigation based on its average impact to County facilities as described in exhibit 2 of the ILA.

If option 1 is chosen, a comprehensive traffic study is needed consistent with the attached checklist.

If option 2 is chosen, the mitigation can be calculated based on \$/new ADT impacting the county road system.

The county requests mitigation based on one of the two options identified above.

A written offer is required for either option chosen and an offer form is attached for the applicant's use.

Please return the completed form to [Contact.pwCMS@snoco.org](mailto:Contact.pwCMS@snoco.org).

Thank you for the opportunity to review this proposal.

**Monica Summerset** | *Land Development Analyst, Associate*

[Snohomish County Public Works](#)

3000 Rockefeller Ave, M/S 607 | Everett, WA 98201

425-262-2860 | [Contact.pwCMS@snoco.org](mailto:Contact.pwCMS@snoco.org)

NOTICE: All emails, and attachments, sent to and from Snohomish County are public records and may be subject to disclosure pursuant to the Public Records Act (RCW 42.56)

-----Original Appointment-----

**From:** Amy Hess <ahess@marysvillewa.gov>

**Sent:** Tuesday, August 1, 2023 8:48 AM

**To:** Tom Maloney; Ken McIntyre; Kacey Simon; Shane Whitney; Don McGhee (dmcghee@mfdra.org); Brian Merkley; Ryan Carney; Max Phan; Adam Benton; Doug Gresham; csteven; klyste@stillaguamish.com; Kim Bryant; Kristy Beedle; Wicklund, Mary; Chris Holland; Mike Snook; Brad Zahnow; Jesse Hannahs; jbirchman; Matthew Eyer; Nance, Rob; mae.p.ancheta@usace.army.mil; SPW-Contact.pwCMS; Todd Gray

**Subject:** Request for Review - Cornelius Lacey PRD Pre-application (PreA23036)

**When:** Wednesday, August 16, 2023 12:00 AM to Thursday, August 17, 2023 12:00 AM (UTC-08:00) Pacific Time (US & Canada).

**Where:** N/A RFR

**CAUTION :** This email originated from outside of this organization. Please exercise caution with links and attachments.



**THIS IS NOT A MEETING INVITE – THIS IS A REQUEST FOR REVIEW (RFR) WITH COMMENTS REQUESTED. COMMENTS MUST BE RETURNED BY 08.16.2023.**

<b>File Number:</b>	PreA23036
<b>Project Title:</b>	Corenelius Lacey Planned Residential Development Pre-application
<b>Project Description:</b>	Pre-application for 69-lot Planned Residential Development (PRD).
<b>Applicant:</b>	KM Capital, LLC/Land Pro Group, Inc.
<b>Project Location:</b>	8310 East Sunnyside School Road
<b>APNs:</b>	0059070016102, 0059070017700, and 059070018601
<b>Application Materials:</b>	<a href="#">Cornelius Lacey PRD Pre-application</a>

Please return comments via e-mail to [ahess@marysvillewa.gov](mailto:ahess@marysvillewa.gov) on or before **August 16, 2023**.





**MARYSVILLE**  
PUBLIC WORKS

## MEMORANDUM

TO: Amy Hess, Senior Planner  
FROM: Ryan Carney, Surface Water Inspector  
DATE: 8/16/2023  
SUBJECT: PreA23-036 Cornelius Lacey PRD

1. The City has adopted the 2019 Stormwater Management Manual for Western Washington.

(UIC rules apply to infiltration trenches, see Volume I chapter 4 UIC Program. Contact the Department of Ecology for permitting information.)

2. For residential projects triggering minimum requirements #6 Runoff Treatment and #7 Flow Control, the stormwater facility lot will be dedicated to the City. The HOA will receive an easement to maintain the landscaping on the exterior of the lot. This policy may be modified depending on facility design. The City will take operation and maintenance responsibility for residential stormwater facilities built for minimum requirements 6 Runoff Treatment and #7 Flow Control, the dedication method will depend on final design.

If you have questions regarding these comments, please contact me at 360-363-8140 or [rcarney@marysvillewa.gov](mailto:rcarney@marysvillewa.gov).

cc: Matt Eyer, Storm/Sewer Supervisor

(360) 363-8100

Public Works  
80 Columbia Avenue  
Marysville, WA 98270



## Stormwater Covenant and Easement

Community Development Department 80 Columbia Avenue Marysville, WA 98270

(360) 363 -8100 Phone (360) 651-5099 FAX Office Hours: Monday – Friday 7:30 AM -4:00 PM

### Instructions Page

#### For the Developer:

Does your Project trigger minimum requirements #6 Runoff Treatment, or #7 Flow Control AND the facility(ies) will be on private property?

If “no” then this covenant does not need to be recorded.

Otherwise, please complete the enclosed documents. The draft document should be submitted for review with the other civil plan documents. It does not need signatures at that time. Exhibit B- Facilities Maintenance Plan should include a map showing where the storm water features are located on the property and describe the maintenance requirements. Once the infrastructure is built, review the document. If construction altered the stormwater utility layout update the appropriate information. The documents must be signed by all parties with an ownership interest in the property (include additional signature blocks and notary acknowledgement forms as necessary). Have the final document signatures notarized. Record before final occupancy is issued.

#### Recording notes:

- Do not write within the one-inch border
- Type or print legibly and in an easily readable font
- Print documents single sided and provide original copies with original signatures

When Recorded, Return to:

**City of Marysville**  
**Community Development**  
80 Columbia Ave  
Marysville, WA 98270

**Stormwater Covenant and Easement  
(MMC 14.15.155)**

<b>DOCUMENT TITLE:</b> <i>Project Name</i> Stormwater Covenant and Easement
<b>Grantor:</b> <i>Property Owner Name</i>
<b>Grantee:</b> CITY OF MARYSVILLE, a Municipal Corporation
<b>Legal Description (abbreviated):</b>
<b>Assessor's Parcel(s):</b>
<b>Address:</b>
<b>Reference Number(s):</b>
City of Marysville Project No: City of Marysville Building Permit No:
<b>**Note**</b> The Auditor/Recorder will rely on the information provided on this form. City staff will not read the document to verify the accuracy or completeness of the indexing information provided herein.

## Stormwater Covenant and Easement (MMC 14.15.155)

This Stormwater Covenant and Easement (the "Agreement") is executed in favor of the City of Marysville (the "City") by the undersigned owner(s) (the "Grantor") of the following described real property situated in the City of Marysville, Snohomish County, State of Washington (the "Property") (insert complete legal description):

(attach Exhibit A if necessary to fit full legal description)

WHEREAS, pursuant to Marysville Municipal Code Chapter 14.15, as may be hereafter amended, a condition of developing the Property requires that it have adequate stormwater drainage; and

WHEREAS, the Grantor has installed a private storm drainage system for the Property; and

WHEREAS, such a private storm drainage system will require ongoing maintenance as detailed in the approved Facility Maintenance Plan to ensure it operates as designed;

WHEREAS, the private storm drainage system includes the following specified drainage control facilities, which are documented in the drainage control plan drawing(s), as amended by record drawing(s) on file with the City of Marysville. The following runoff treatment or flow control facilities are onsite:

	Detention or Infiltration Pond		BMP T8.20 Sand Filter vault
	Detention or Infiltration Vault		BMP T8.30 Linear Sand Filter
	BMP T5.15 Permeable Pavements		BMP T8.40 Media Filter Drain
	Detention Tank/Pipes		BMP T9.10 Basic Biofiltration Swale
	BMP T5.16 Tree Retention and Tree Planting		BMP T9.20 Wet Biofiltration Swale
	BMP T5.17 Vegetated Roofs		BMP T9.30 Continuous Inflow biofiltration Swale
	BMP T5.20 Rainwater Harvesting		BMP T9.40 Basic Filter Strip
	BMP T5.30 Full Dispersion area		BMP T10.10 Wetponds-Basic and Large
	BMP T6.10 Presettling Basin		BMP T10.20 Wetvaults
	BMP T7.10 Infiltration Basins		BMP T10.30 Stormwater Treatment Wetlands
	BMP T7.20 Infiltration trenches		BMP T10.40 Combined Detention and Wetpool Facilities
	BMP T7.30 Bioretention Cells, Swales and Planter Boxes		BMP T11.10 API (Baffle type) Separator bay
	BMP T7.40: Compost-amended Vegetated Filter Strips (CAVFS)		BMP T11.11 Coalescing Plate (CP) Separator Bay

	BMP T8.10 Basic Sand Filter basin	Ecology approved Emerging Technology Manufacturer: Device Name:
	BMP T8.11 Large Sand Filter basin	

Now, therefore, the Grantor, on behalf of Grantor and Grantor's heirs, successors, and assigns, agrees to the following and hereby creates a covenant running with the land that shall be binding upon all parties and their heirs, successors, and assigns forever:

- (1) The Grantor, on behalf of the Grantor and the Grantor's heirs, successors, and assigns, agrees to and shall:
  - (a) inspect and maintain the above described drainage control facilities in accordance with the provisions of Marysville Municipal Code (MMC) Title 14, the approved Facility Maintenance Plan (attached hereto as Exhibit B and incorporated by this reference), and any other provisions applicable to the facilities, as now and hereafter in effect;
  - (b) implement the terms of the drainage control plan required for development; and
  - (c) inform all future purchasers, heirs, successors, and assigns of the existence of the drainage control facilities and other elements of the drainage control plan and the limitations of the drainage control facilities.
  
- (2) The Grantor, on behalf of the Grantor and the Grantor's heirs, successors, and assigns, hereby grants permission for authorized representatives of the City of Marysville to enter onto the Property for inspection, monitoring, correction, or abatement of conditions related to the Property's drainage control plan, drainage control facilities, MMC Title 14, or any other MMC provision applicable to drainage control, as now and hereafter in effect.
  
- (3) If the private storm drainage system is not maintained in accordance with the approved or record drawing design, the Grantor, on behalf of the Grantor and the Grantor's heirs, successors, and assigns grants the City the right to inspect and repair the system and assess reasonable costs for the work that may be charged against the Property, the Property owner, or any beneficiary.
  
- (4) The Grantor, on behalf of the Grantor and the Grantor's heirs, successors, and assigns:
  - (a) Agrees and acknowledges that the City is not responsible for the adequacy or performance of the drainage control plan or the drainage control facilities;
  - (b) Agrees to accept any and all risks of harm, loss, injury, or damage related to the drainage control plan or the drainage control facilities; and
  - (c) Hereby waives any right to assert any and all present and future claims against the City, whether known or unknown, for any harm, loss, injury, or damage occurring either on or off the Property, related to the drainage control plan, the drainage control facilities, or drainage

or erosion on the Property, except only for such harm, loss, injury, or damage that directly results from the sole negligence of the City.

- (5) This Agreement shall be recorded in the real estate records of the Auditor's Office of Snohomish County, Washington. If any provision of this Agreement is held invalid, the remainder of the Agreement is not affected.
- (6) The obligations of the Grantor and each of the Grantor's heirs, successors, and assigns under this Agreement shall terminate when that person sells, devises, or transfers the Property, or his or her interest therein, unless the obligation arises out of a claim of negligence or intentional act of that person.

Now, therefore, to this end, the Grantor, on behalf of the Grantor and the Grantor's heirs, successors, and assigns, hereby grants a perpetual easement to the City of Marysville and its authorized representatives to enter the Property, inspect the private storm drainage system, and make necessary repairs, with any expenses incurred being chargeable against the Property, the Property owner, and any beneficiary.

By: \_\_\_\_\_ Date: \_\_\_\_\_

Type signer's name here, Type signer's title or affiliation

Type company name here

Type address here

Type City, State, Zip here

By: \_\_\_\_\_ Date: \_\_\_\_\_

Type signer's name here, Type signer's title or affiliation

Type company name here

Type address here

Type City, State, Zip here



(Entity)

STATE OF WASHINGTON        )  
  )ss.  
COUNTY OF SNOHOMISH     )

I certify that I know or have satisfactory evidence that \_\_\_\_\_  
\_\_\_\_\_ is the person who appeared before me, and said person  
acknowledged that he/she signed this instrument, on oath stated that he/she was authorized to execute  
the instrument and acknowledged it as the \_\_\_\_\_  
of \_\_\_\_\_ to be the free and voluntary act of such party for the uses  
and purposes mentioned in the instrument.

DATED this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.

\_\_\_\_\_  
\_\_\_\_\_

(Legibly print name of notary)

NOTARY PUBLIC in and for the State of

Washington, residing at \_\_\_\_\_

My commission expires \_\_\_\_\_



**ACKNOWLEDGEMENT**

(Individual)

STATE OF WASHINGTON        )  
  )ss.  
COUNTY OF SNOHOMISH    )

I certify that I know or have satisfactory evidence that \_\_\_\_\_  
\_\_\_\_\_ is the person who appeared before me, and said person  
acknowledged that he/she signed this instrument and acknowledged it to be his/her free and voluntary  
act for the uses and purposes mentioned in the instrument.

DATED this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.

\_\_\_\_\_  
\_\_\_\_\_

(Legibly print name of notary)

NOTARY PUBLIC in and for the State of

Washington, residing at \_\_\_\_\_

My commission expires \_\_\_\_\_

(Entity)

STATE OF WASHINGTON        )  
  )ss.  
COUNTY OF SNOHOMISH     )

I certify that I know or have satisfactory evidence that \_\_\_\_\_  
\_\_\_\_\_ is the person who appeared before me, and said person  
acknowledged that he/she signed this instrument, on oath stated that he/she was authorized to execute  
the instrument and acknowledged it as the \_\_\_\_\_  
of \_\_\_\_\_ to be the free and voluntary act of such party for the uses  
and purposes mentioned in the instrument.

DATED this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.

\_\_\_\_\_  
\_\_\_\_\_

(Legibly print name of notary)

NOTARY PUBLIC in and for the State of

Washington, residing at \_\_\_\_\_

My commission expires \_\_\_\_\_

**EXHIBIT A**

**LEGAL DESCRIPTION**

(Insert complete legal description):

Situated in the City of Marysville, County of Snohomish, State of Washington.

**EXHIBIT B**

**FACILITIES MAINTENANCE PLAN**



**MARYSVILLE**  
**PUBLIC WORKS**

**MEMORANDUM**

TO: Amy Hess, Associate Planner

FROM: Kim Bryant, Water Operations Supervisor  
Tim King, Utility Construction Lead II  
Ryan Keefe, Water Operations Lead II

DATE: August 16<sup>th</sup>, 2023

SUBJECT: Cornelius Lacey PRD, Pre23036

Public Works Operations has reviewed the Cornelius Lacey submittal and has the following comments:

1. Water utilities and corresponding details not shown, will comment when shown.

If the applicant has any questions about these comments, I can be contacted at (360) 363-8163 or [kbryant@marysvillewa.gov](mailto:kbryant@marysvillewa.gov).

(360) 363-8100

Public Works  
80 Columbia Avenue  
Marysville, WA 98270

## MEMORANDUM

Date: **August 3, 2023**

**PreA23-036**

To: **Amy Hess, Senior Planner**

From: **Michael Snook, Building Official**

Re: **Project Name:** Cornelius Lacey PRD  
**Applicant:** KM Capital, LLC/Land Pro Group, Inc.  
**Proposal:** Pre-application for 69-lot Planned Residential Development (PRD)  
**Address:** 8310 East Sunnyside School Road

**In response to your request for review of the above project. Please see requirements below;**

1. Applicant shall comply with any and or all provisions the 2018 Edition of the International Building, Residential, Mechanical, 2018 Uniform Plumbing Codes, and current Washington State Amendments, or 2021 International Codes and Uniform Plumbing code if submitted after October 29, 2023
2. All plans and permit applications will be required to be submitted electronically as part of their submittal process. One (1) complete set of building plans, structural calculations, and 2018 Washington State Energy Code work sheets. 2021 Washington State Energy Codes required if submitted after October 29, 2023.
3. Contact our office if you have questions in regards to permit applications, checklists and/or handouts that you and/or your design team will be preparing plans for on your project.
4. If any demolition of structures is proposed, and you are unsure if permit/s will be required for the removal of any existing structures. Please contact the Building Division at 360-363-8100, to ask any specific questions. An asbestos report will be required for each demo permit.
5. Separate permits will be required for any proposed rockeries or underground storm vaults. One (1) complete set of building plans, structural calculations, site plan, and Geotech Report are to be submitted for review.
6. A grading permit will be required. A Geotechnical report shall be submitted to the City for this project. This is to be an in-depth report to address the following:
  - Soil Classification
  - Required Drainage Systems
  - Soil Compaction Requirements
  - Type of Footings, Foundations, and Slabs Allowed
  - Erosion Control Requirements
  - Retaining Walls
  - Fill and Grade
  - Final Grade

**Please provide the below information in regards to this overall project the 2018 International Building requirements;**

1. The building structure will be required to be designed under the 2018 IBC, Chapter 16, and Structural Design Requirements. Or 2021 IBC if submitted after October 29, 2023. The seismic zone criteria is to be established under the guidelines of a Washington State Licensed Architect and/or Structural Engineer.
2. Please provide scaled floor plans with square footage.

3. Show on the plans the type of building materials proposed, and if required, what type of fire-resistant construction will be required.
4. Site plan is to show the distance from the proposed structure to the property lines, from all sides of the building.
5. A Fire Sprinkler system may be required. The applicant is to verify this requirement with the Fire Marshal's Office.
6. All Electrical installations are to be permitted, inspected and approved through the City. The current code is NEC 2020 with WCEC Amendments. A separate application, plans, and plan review will be required.
7. Special Inspection may be required. The list of the type of inspections shall be indicated on the plans by the Engineer of Record. The owner is to notify the City of the registered special inspection agency prior to permit issuance.
8. **Building application for plan review will be approximately 4-6 weeks for first-time plan review comments.**

**We look forward to your project coming to our City!**

If I may be of any further assistance, please feel free to contact me.

Michael Snook, Building Official, 360-363-8210 or [msnook@marysvillewa.gov](mailto:msnook@marysvillewa.gov) during office hours 7:30 am – 4:00 pm, Monday through Friday.



## Memorandum

To: Amy Hess  
From: Billy Gilbert, Water Quality Lead  
Subject: PreA23036  
Date: August 16, 2023

---

In response to your request for review of the above project, please note the following items.

- Plumbing system is subject to applicable requirements of MMC Chapter 14.10 “Water Supply Cross-Connections” and WAC 246-290-490.
- A Double Check Detector Assembly (DCDA) is required for any non-flow through fire line that is connected to the city’s water system.
- A Reduced Pressure Backflow Assembly (RPBA) is required immediately downstream of any irrigation meter and in an above ground hotbox if a chemical/fertilizer injection system is installed. If the irrigation system is not chemically injected, a DCVA is sufficient for this application. The DCVA may be installed in an in-ground meter type box or vault. In accordance with Design Standards 2-15-001
- On-site inspections are to be performed by the City of Marysville Cross Connection Control Specialist at rough-in and final. 48 hours’ notice is required, prior to inspection.
- Testing of all backflow prevention assemblies, by a Washington State Certified Backflow Assembly Tester, is required prior to occupancy use per MMC 14.10.120. Test report shall be forwarded to the City of Marysville Water Quality Office, prior to occupancy.

Any questions regarding these comments, and scheduling for onsite inspections should be directed to Krista Gessner 360-363-8141 [crossconnection@marysvillewa.gov](mailto:crossconnection@marysvillewa.gov)